

NAPA AUTO PARTS PUD 1ST AMENDMENT
LOUISVILLE PLAZA FILING NO. 2, LOT 4, FIRST AMENDMENT, LOT 4-B
1413 HECLA WAY

LOCATED IN THE SW 1/4 OF SECTION 4, T1S, R69W OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER,
STATE OF COLORADO

LEGAL DESCRIPTION

LOT 4-B, FIRST AMENDMENT, LOT 4 LOUISVILLE PLAZA FILING NO. 2

OWNERSHIP SIGNATURE BLOCK

BY SIGNING THIS PUD, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL THE REQUIREMENTS AND
INTENT SET FORTH IN THIS PUD. WITNESS MY/OUR HAND(S) SEAL(S) THIS ____ DAY OF
_____, 20__.

OWNER NAME AND SIGNATURE _____

NOTARY NAME (PRINT) _____

NOTARY SIGNATURE
MY COMMISSION _____

EXPIRES _____

PLANNING COMMISSION CERTIFICATE

APPROVED THIS ____ DAY OF _____, 20__ BY THE PLANNING COMMISSION OF
THE CITY OF LOUISVILLE, COLORADO.
RESOLUTION NO. _____, SERIES _____

CITY COUNCIL CERTIFICATE

APPROVED THIS ____ DAY OF _____, 20__ BY THE CITY COUNCIL OF THE CITY OF
LOUISVILLE, COLORADO.
RESOLUTION NO. _____, SERIES _____

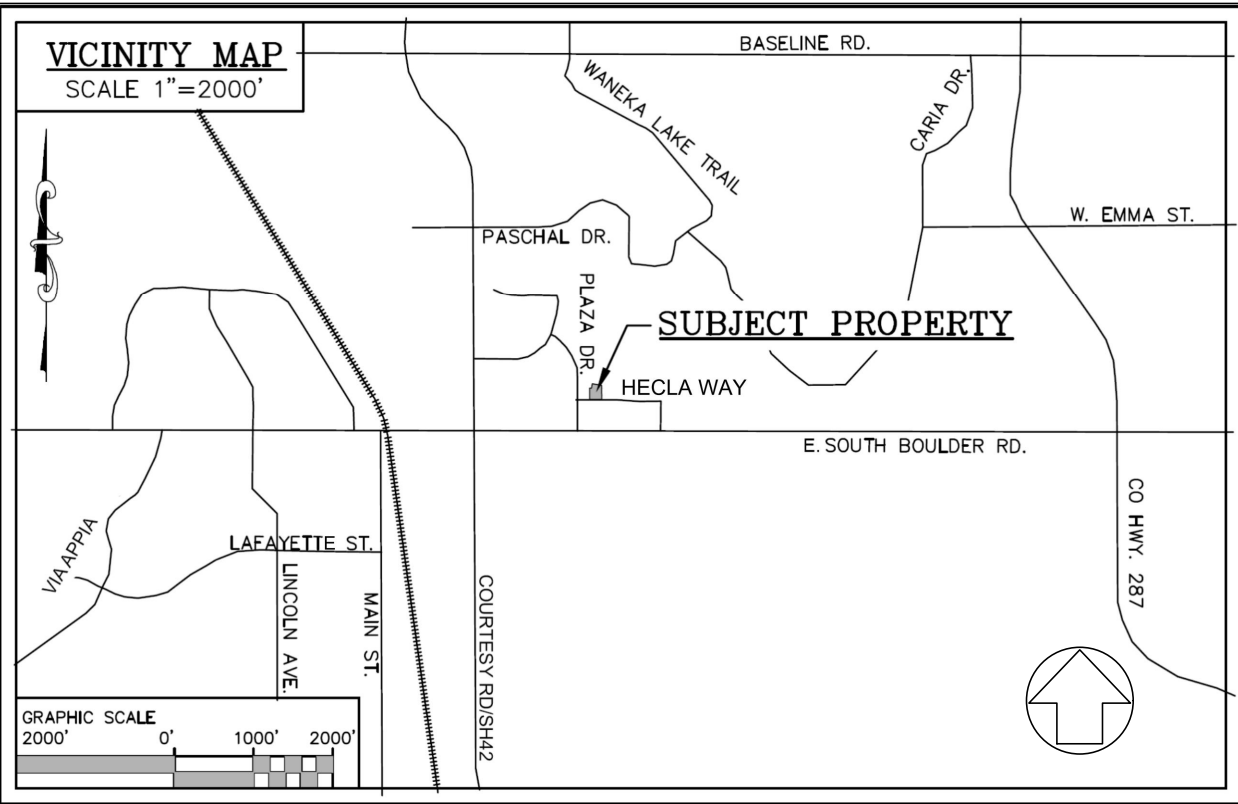
MAYOR SIGNATURE _____

CITY CLERK SIGNATURE
CLERK AND RECORDER CERTIFICATE
(COUNTY OF BOULDER, STATE OF COLORADO)

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT _____ O'CLOCK,
_____, M., THIS DAY OF _____, 20__, AND IS RECORDED IN PLAN FILE _____,
FEE _____ PAID. _____ FILM NO. _____ RECEPTION.

CLERK & RECORDER _____

DEPUTY _____



VICINITY MAP
SCALE 1" = 2000'

Sheet List Table	
Sheet Number	Sheet Title
01	COVER SHEET
02	CIVIL SITE PLAN
03	UTILITY PLAN
04	GRADING AND DRAINAGE PLAN
05	EMERGENCY VEHICLE TRACKING
06	LANDSCAPE PLAN
07	LANDSCAPE DETAILS
08	LANDSCAPE DETAILS
09	ARCHITECTURAL ELEVATIONS
10	ARCHITECTURAL FLOOR PLAN
11	PHOTOMETRIC PLAN

ZONING INFORMATION	
CURRENT ZONING:	PLANNED COMMUNITY COMMERCIAL, SUBJECT TO THE LOUISVILLE PLAZA GENERAL DEVELOPMENT PLAN AND THE CDDSG
REQUIRED SETBACKS	
BUILDING LOTS	LF
STREET	15
SIDE (EAST)	10
SIDE (WEST)	10
REAR	10
PARKING SETBACK	
STREET	15
SIDE (EAST)	10
SIDE (WEST)	10
REAR	10
MAX. BUILDING HEIGHT	35

SITE AREA BREAKDOWN		
LOT 4-B:		
BUILDING COVERAGE	SF:	%
BUILDING A	2,498	9.85%
PARKING & DRIVES	9,462	37.31%
SIDEWALKS	1,168	5%
LANDSCAPE	12,235	48.24%
TOTAL	25,363	100.00%
TOTAL BUILDING AREA:		
	2,498	
PARKING SPACES	REQUIRED	PROVIDED
(4.5 SPACES/1000 SF)		
PARKING:	12	16
HANDICAP PARKING:	1	2
TOTAL PARKING:	13	18
BICYCLE PARKING		
1 BIKE SPACE/10 AUTO SPACES	2	2
1 RACK @ 2 BIKES PER RACK = 1 RACK	1	1

PURPOSE AND INTENT:

TO CONSTRUCT A COMMERCIAL BUILDING ON LOT 4-B ON HECLA WAY.THE BUILDING WILL BE A 1 STORY
RETAIL MARIJUANA STORE, APPROXIMATELY 2,600 SQUARE FEET IN SIZE. THE COMMERCIAL BUILDING WILL
BE SITED ALONG THE SOUTHERN PORTION OF THE PROPERTY, WITH PARKING ALONG THE EAST AND
NORTH SIDES.THE PROPOSAL MAKES USE OF AN EXISTING SHARED ACCESS DRIVE WITH THE ADJACENT
PROPERTY, NAPA AUTO PARTS.

GENERAL NOTES FOR SITE IMPROVEMENTS & LAYOUT

1.) BASE MAPPING: BASE MAPPING BASED UPON: IMPROVEMENT SURVEY PLAT OF LOT 4-B, FIRST
AMENDMENT LOT 4, LOUISVILLE PLAZA FILING NO. 2 LOCATED IN THE SW 1/4 OF SECTION 4, T.1S., R.69W OF
THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO., DATED SEPTEMBER 4,
2019, PREPARED BY:

FALCON SURVEYING INC.,
9940 WEST 25TH AVENUE
LAKEWOOD, CO 80125
303-202-1560

2.) BENCHMARK: BENCHMARK: FOUND 1 1/2" ALUMINUM CAP, AT GRADE, LOCATED IN THE ASPHALT
APPROXIMATELY 16.5' NORTH OF THE NORTH FLOWLINE OF HECLA WAY AND 152' EAST OF THE EAST
FLOWLINE OF PLAZA DRIVE.
POSITION DERIVED FROM THE GPS VRS NETWORK.
NAVD 88 ELEVATION = 5333.02

3.) BASIS OF BEARINGS: BASIS OF BEARINGS: THE GPS DERIVED WEST LINE OF THE SOUTHWEST QUARTER
OF SECTION 4, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN AS EVIDENCED
BY THE SOUTHWEST CORNER OF SECTION 4, BEING A FOUND 2 1/2" ALUMINUM CAP 2.2 FEET BELOW
GRADE IN A RANGE BOX IN THE INTERSECTION OF COURTESY ROAD AND EAST SOUTH BOULDER
ROAD, FROM WHENCE THE WEST QUARTER CORNER OF SECTION 4, BEING A FOUND 2 1/2" ALUMINUM
CAP 0.6 FEET BELOW GRADE IN A RANGE BOX IN THE INTERSECTION OF PASCHAL DRIVE AND
COURTESY ROAD, BEARS NORTH 00°05'34" WEST A DISTANCE OF 2640.99 FEET WITH ALL DISTANCES
HEREIN RELATIVE THERETO.

CONTACTS:

OWNER/DEVELOPER
6 EYED JACK LLC,
1777 WEWATTA ST. #1101
DENVER, CO 80202
PHONE: (720) 434-3980
CONTACT: JESSICA GILLESPIE

ARCHITECT
KSA ARCHITECTURE, LLC
4900 W. 29TH AVE
DENVER, CO 80212
PHONE: (303) 630-9514
CONTACT: JAMES KEAVNEY

CIVIL ENGINEER
ACTION CIVIL ENGINEERING
9777 PYRAMID CT, SUITE 225
ENGLEWOOD, COLORADO 80112
720-260-0433
CONTACT: TROY DENNING P.E.

LAND SURVEYOR
FALCON SURVEYING INC.
9940 WEST 25TH AVENUE
LAKEWOOD, COLORADO 80215
(303) 202 1560
WWW.FALCONSURVEYING.COM



Know what's below.
Call before you dig.

NAPA AUTO PARTS PUD AMENDMENT 1
1413 HECLA WAY LOT 4-B, LOUISVILLE PLAZA FILING NO. 2 SECOND AMENDMENT LOT 4

COVER SHEET

ACTION CIVIL ENGINEERING

9777 PYRAMID CT, SUITE 225
ENGLEWOOD, CO 80112 720.260.0433
tdenning@actioncivileng.com

JOB NO. 1910

SCALE ---

DATE 5/7/2020

SHEETS 11 SHEET 01

REVISION DESCRIPTION

DATE

#

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CHK

DSG

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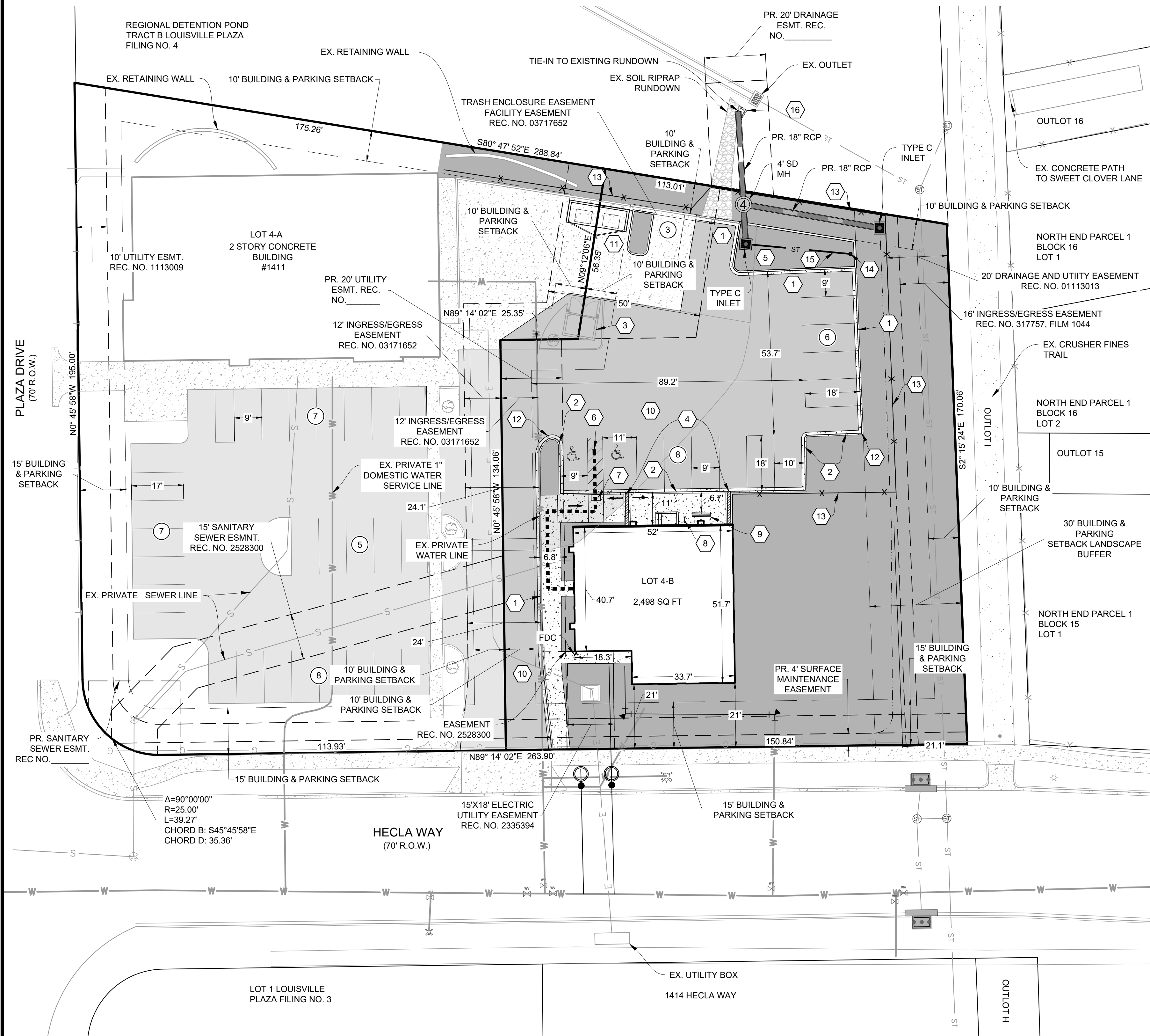
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NAPA AUTO PARTS PUD 1ST AMENDMENT
LOUISVILLE PLAZA FILING NO. 2, LOT 4, FIRST AMENDMENT, LOT 4-B
1413 HECLA WAY

LOCATED IN THE SW 1/4 OF SECTION 4, T1S, R69W OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER,
STATE OF COLORADO

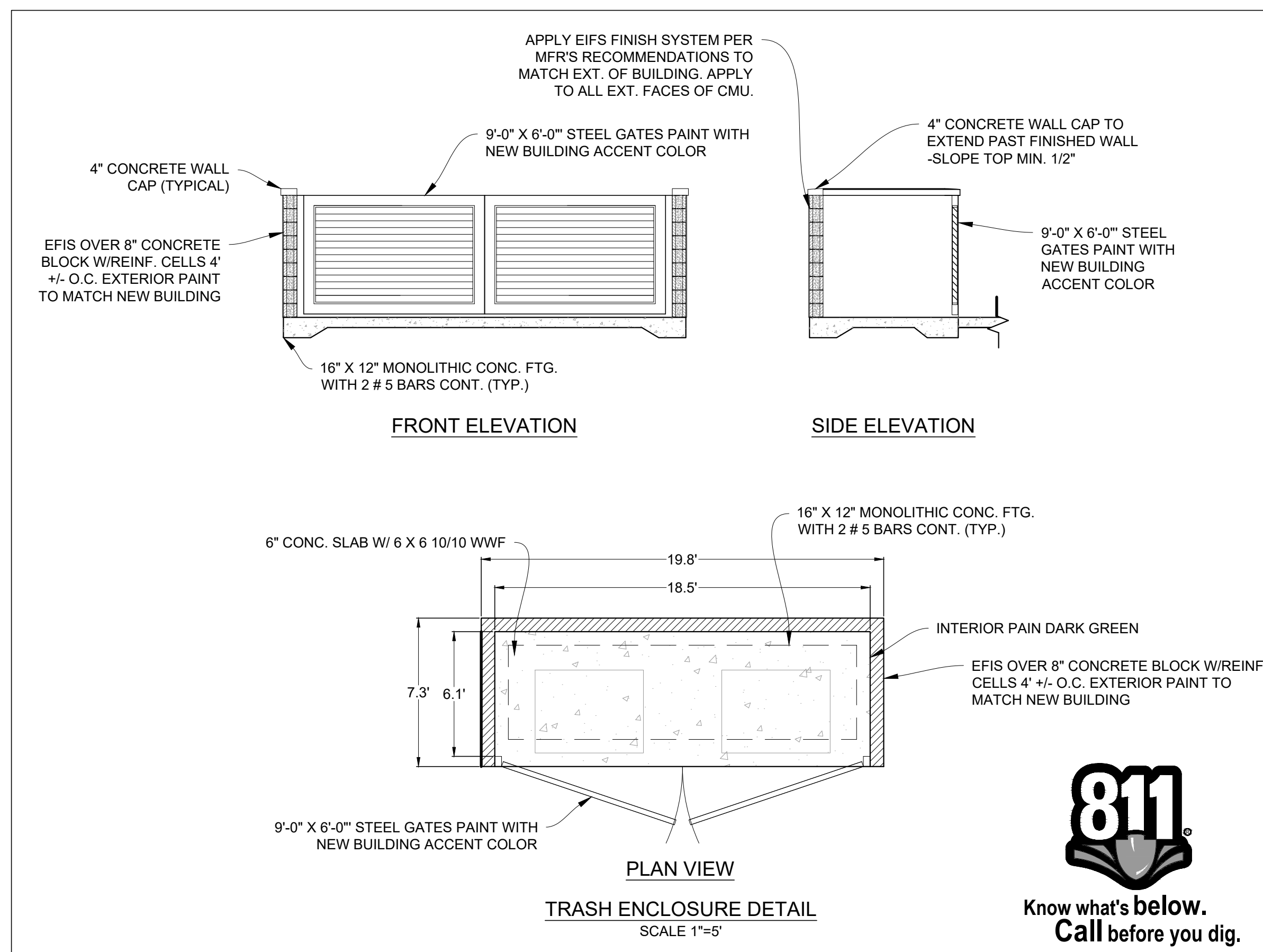
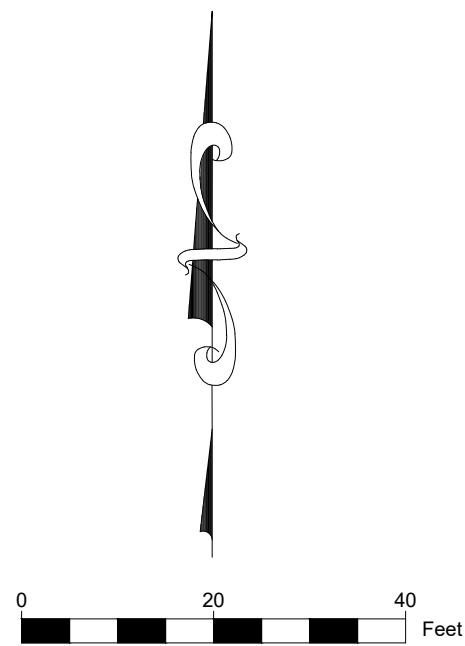


LABEL LEGEND

- 1 6" CATCH CURB
- 2 6" SPILL CURB
- 3 TRASH ENCLOSURE TO BE REMOVED
- 4 ROOF DRAIN & 12" SIDEWALK CHASE
- 5 PR. RAIN GARDEN
- 6 ADA ROUTE
- 7 CURB RAMP
- 8 PROPOSED 2 SPACE BIKE RACK
- 9 PROPOSED BENCH
- 10 EXISTING ASPHALT TO BE REMOVED
- 11 PROPOSED TRASH ENCLOSURE LOCATION
- 12 TRANSITION FROM 6" CATCH CURB TO 6" SPILL CURB
- 13 6FT SCREENING FENCE SEE DETAIL ON SHEET 07
- 14 SOLID 4" CLEANOUT W/ WATER TIGHT CAP
- 15 UNDERDRAIN SLOTTED 4" PIPE PER TABLE B-1 OF UDFCD CRITERIA MANUAL VOLUME 3
- 16 SOIL RIPRAP D50 = 6" & DEPTH = 12"

LEGEND:

- PROPERTY LINE
- CENTERLINE
- EXISTING CONTOUR
- EXISTING FENCE LINE
- EXISTING ELECTRIC LINE
- EXISTING GAS LINE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATER LINE
- PROPOSED TYPE 'C' STORM INLET
- EXISTING STORM INLET
- EXISTING STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING TRANSFORMER
- STORM WATER FLOW DIRECTION
- EXISTING CONCRETE
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED LANDSCAPE
- PROPOSED CONTOUR
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED EASEMENT LINE
- PROPOSED SETBACK LINE
- PROPOSED SANITARY SEWER
- PROPOSED ACCESSIBLE ROUTE
- PROPOSED FENCE
- PROPOSED DRAINAGE SWALE
- EXISTING SECTION LINE
- PROPOSED STREET LIGHT
- PROPOSED STREET SIGN
- TOP OF WALL
- BOTTOM OF WALL
- UTILITY EASEMENT
- EASEMENT
- EXISTING
- PROPOSED
- FINISHED GRADE
- FLOWLINE
- RIGHT-OF-WAY
- FIRE DEPARTMENT CONNECTION
- STRIPED PARKING ISLAND
- NUMBER OF PARKING SPACES



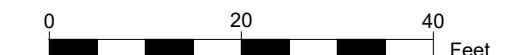
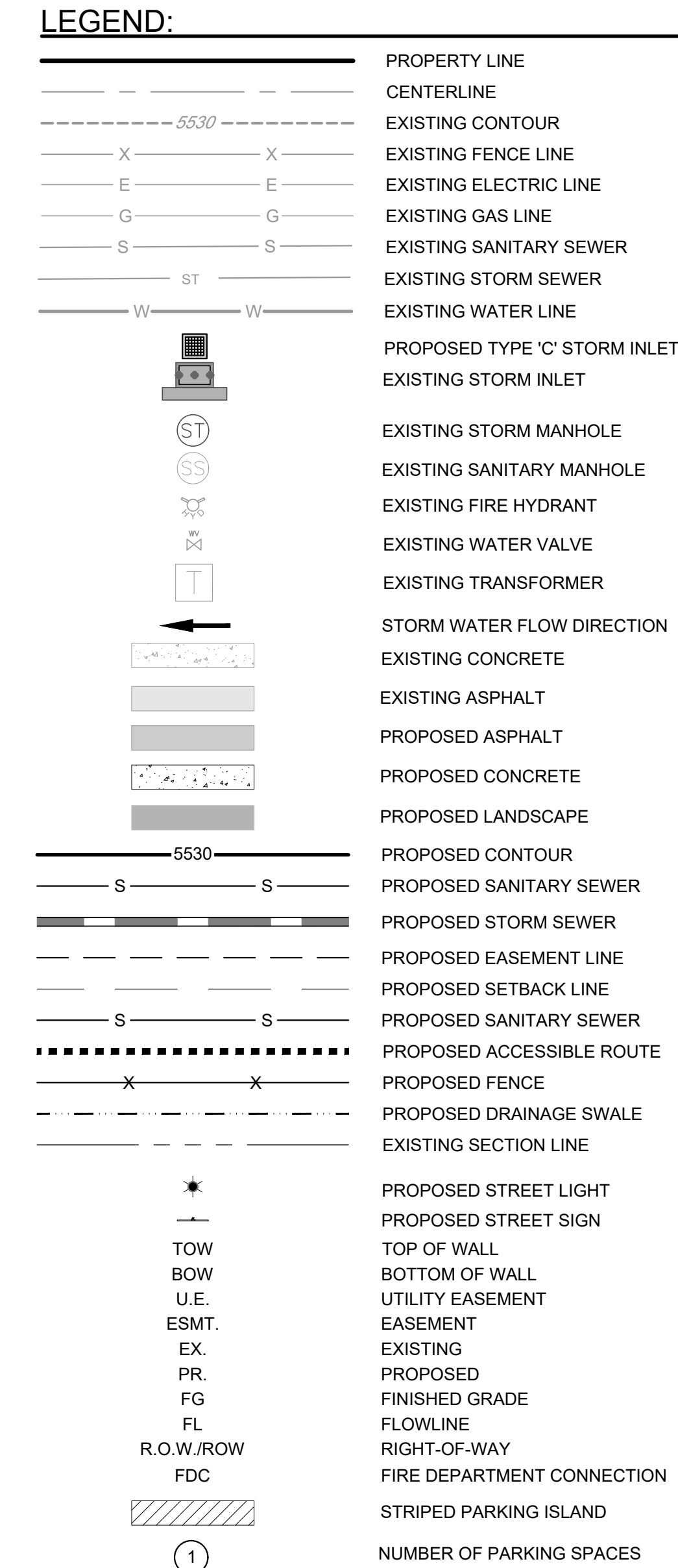
NAPA AUTO PARTS PUD AMENDMENT 1
1413 HECLA WAY LOT 4-B, LOUISVILLE PLAZA FILING NO. 2
SECOND AMENDMENT LOT 4

ACTION CIVIL ENGINEERING
9777 PYRAMID CT, SUITE 225
ENGLEWOOD, CO 80112 720.260.0433
tdenning@actioncivileng.com

JOB NO.	1910
SCALE	---
DATE	5/7/2020
SHEETS	11
SHEET	02



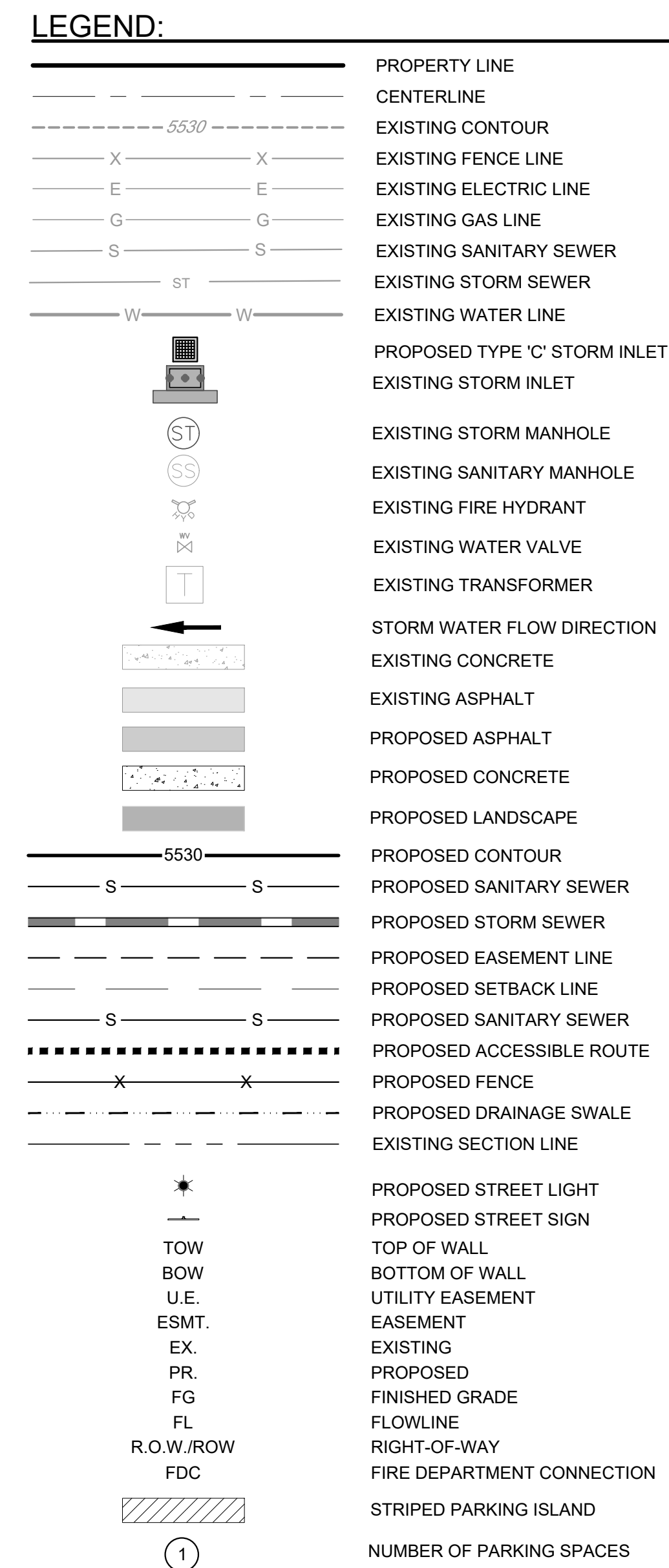
LOCATED IN THE SW 1/4 OF SECTION 4, T1S, R69W OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER,
STATE OF COLORADO



Know what's **below**.
Call before you dig.

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LOCATED IN THE SW 1/4 OF SECTION 4, T1S, R69W OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER,
STATE OF COLORADO



BASIN → BASIN NAME

AREA → BASIN ACREAGE

5 yr → 5 yr C VALUE

100 yr → 100 yr C VALUE

— — — — — BASIN BOUND

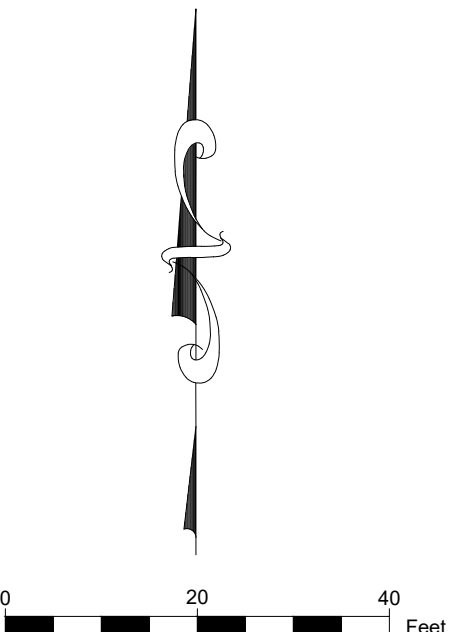


ACTION CIVIL ENGINEERING		NAPA AUTO PARTS PUD AMENDMENT 1	
9777 PYRAMID CT, SUITE 225		14113 HECLA WAY LOT 4-B, LOUISVILLE PLAZA FILING NO. 2	
ENGLEWOOD, CO 80112 720.260.0433		SECOND AMENDMENT LOT 4	
tderning@actioncivileng.com			
JOB NO.	1910		
SCALE	---		
DATE	5/7/2020		
SHEETS	11		
SHEET	04		
		REVISION DESCRIPTION	
		#	DATE
		1	10/25/19
		2	SUBMITTED TO LOUISVILLE
		1	1/22/20
		2	SUBMITTED TO LOUISVILLE
		3	03/03/20
		3	SUBMITTED TO LOUISVILLE
		4	05/07/20
		4	SUBMITTED TO LOUISVILLE
		DRN	TWD
		CHK	
		DSG	TWD
		GRADING AND DRAINAGE PLAN	

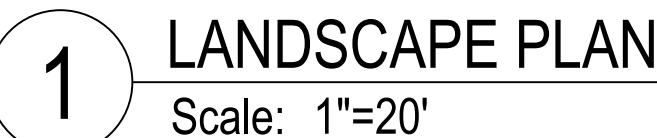
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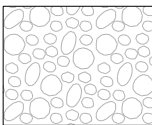
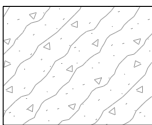
ACTION CIVIL ENGINEERING 9777 PYRAMID CT, SUITE 225 ENGLEWOOD, CO 80112 720.260.0433 tdenning@actioncivileng.com		NAPA AUTO PARTS PUD AMENDMENT 1 14113 HECLA WAY LOT 4-B, LOUISVILLE PLAZA FILING NO. 2 SECOND AMENDMENT LOT 4	
JOB NO.	1910		
SCALE	--		
DATE	5/7/2020		
SHEETS	11		
SHEET	05		



City of Louisville Landscape Requirements					
Parkway Landscape Standards		Requirement	Total Linear Feet	Required Trees	Provided Trees
ROW Tree Requirement		1 tree per 40 feet	150	4	Existing Trees to Remain
		Requirement	Total Linear Feet	Required Shrubs	Provided Shrubs
ROW Shrub Requirement		1 shrub per 5 feet	150	30	Existing Sod to Remain
		Requirement	Total Stores	Required Trees	Provided Trees
Internal Tree Requirement		1 tree per 40 feet	150	4	4
		Requirement	Total Linear Feet	Required Shrubs	Provided Shrubs
Internal Shrub Requirement		1 shrub per 5 feet	150	30	32
Perimeter Landscape Standards		Requirement	Provided		
Buffer Width Requirement		30-feet wide	30'		
		Requirement	Total Linear Feet	Required Trees	Provided Trees
Buffer Tree Requirement		1 tree per 20 feet	170	9	9
		Requirement	Total Linear Feet	Required Linear Feet	Provided Shrubs
Buffer Shrub Requirement		min 50% hedge screen	170	85	31
					73%
Parking Lot Landscape Standards		Requirement	Total Parking Stalls	Required Trees	Provided Trees
Tree Requirement		1 tree per 8 stalls	18	3	3
		Requirement	Total Islands	Required Shrubs	Provided Shrubs
Landscape Island Shrub Requirement		8 shrubs per island or groundcover	2	16	18
Building Site Landscape Standards		Requirement	Total Perimeter Planting Area	Required Planting Area	Provided Planting Area
					Total Percentage
Landscape Planting Area Requirement		6' strip adjacent to building planted min 25%	1,390	348	1,123
		Requirement	Site Area	Required Landscape Area	Provided Landscape Area
Overall Landscape Area Requirement		30% of entire site	25,363	7,609	12,619
					50%

PLANT SCHEDULE

DECIDUOUS TREES		QTY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER/HT.
AF2		4	ACER RUBRUM 'FRANK JR.'	REDPOINTE MAPLE	B & B	2.5" CAL
CV		2	CRATAEGUS VIRIDIS 'WINTER KING'	'WINTER KING' HAWTHORN	B & B	2" CAL
GI2		2	GLEDITSIA TRIACANTHOS INERMIS 'SUNBURST'	SUNBURST COMMON HONEYLOCUST	B & B	2.5" CAL
EVERGREEN TREES		QTY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER/HT.
PL		3	PINUS LEUCODERMIS	BOSNIAN PINE	B & B	6' HT
ORNAMENTAL TREES		QTY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER/HT.
MS3		3	MALUS X 'SPRING SNOW'	SPRING SNOW CRAB APPLE	B & B	2" CAL
PC2		2	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	B & B	2" CAL
DECIDUOUS SHRUBS		QTY	BOTANICAL NAME	COMMON NAME	SIZE	
AA2		7	AMELANCHIER ALNIFOLIA 'REGENT'	SASKATOON SERVICEBERRY	5 GAL	
BA		6	BERBERIS THUNBERGII 'ATROPURPUREA'	RED LEAF BARBERRY	5 GAL	
CA		12	CORNUS SERICEA 'ARTIC FIRE'	ARTIC FIRE DOGWOOD	3 GAL	
FS		15	FORSYTHIA X 'SUNRISE'	SUNRISE FORSYTHIA	5 GAL	
SN		17	SPIRAEA NIPPONICA 'SNOWMOUND'	SNOWMOUND SPIREA	5 GAL	
EVERGREEN SHRUBS		QTY	BOTANICAL NAME	COMMON NAME	SIZE	
JS2		14	JUNIPERUS SABINA 'SCANDIA'	SCANDIA JUNIPER	5 GAL	
JO		16	JUNIPERUS X MEDIA 'OLD GOLD'	OLD GOLD JUNIPER	5 GAL	
JS		19	JUNIPERUS X MEDIA 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL	
PM		7	PINUS MUGO PALOUSE	PALOUSE MUGO PINE	5 GAL	

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME
	1,223 SF	FESCUE/BLUEGRASS BLEND 90/10	SOD
	4,626 SF	GRAY 2" ANGULAR ROCK MULCH	MULCH, ROCK
	6,347 SF	LOW GROW SEED MIX	SEED
	451 SF	RAIN GARDEN SEED MIX	SEED

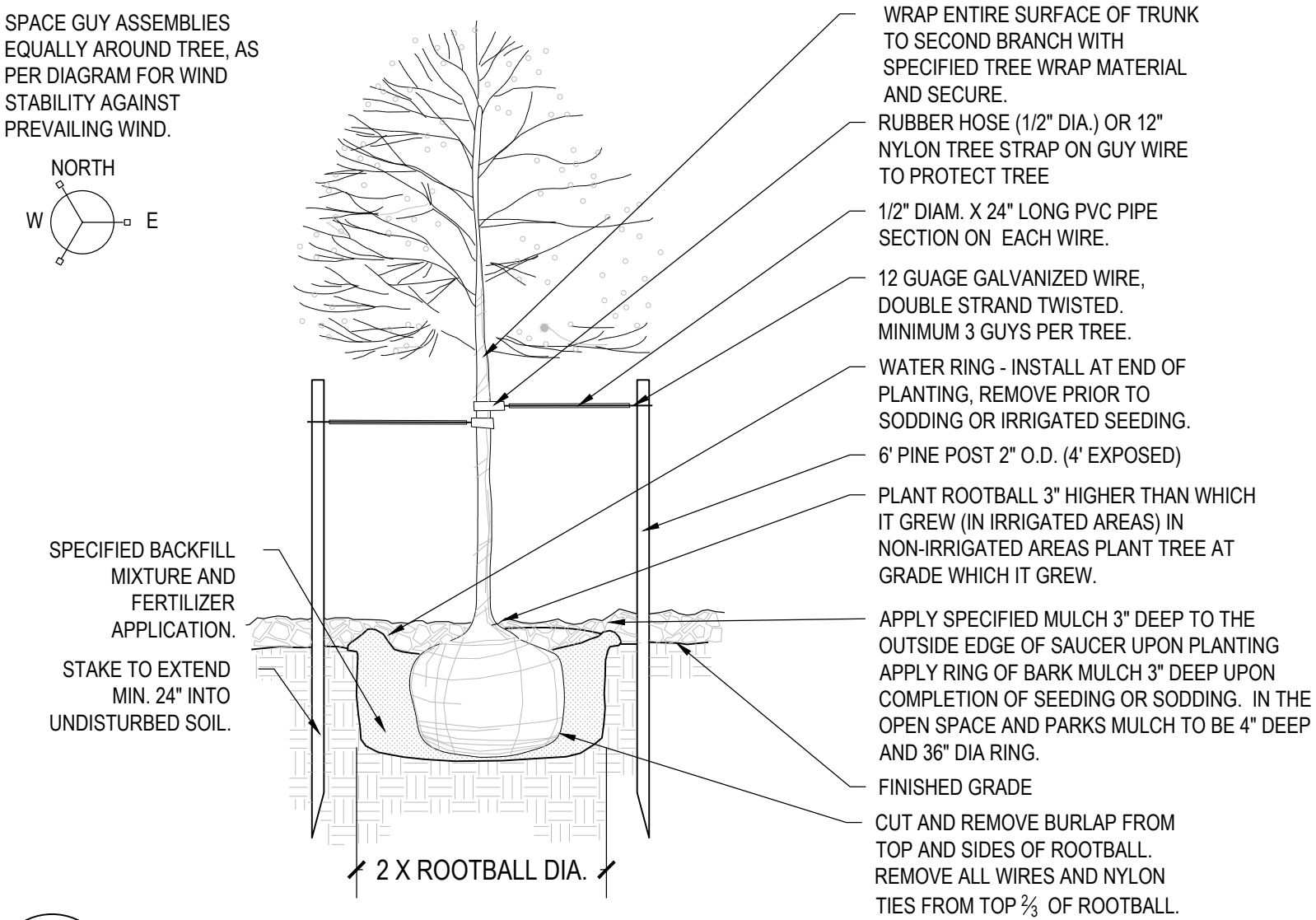
RAIN GARDEN SEED MIX						
COMMON NAME	SCIENTIFIC NAME	VARIETY	PLS ² LBS PER ACRE	OUNCES PER ACRE		
SAND BLUESTEM	ANDROPOGON HALLII	GARDEN	3.5			
SIDE OAT S GRAMA	BOUTELOUA CURTIPENDULA	BUTTE	3			
PRARIE SANDREED	CALAMOVILFALONGIFOLIA	GOSHEN	3			
INDIAN RICEGRASS	ORYZOPSIS HYMENOIDES	PALOMA	3			
SWIT CHGRASS	PANICUM VIRGATUM	BLACKWEL	4			
WESTERN WHEAT GRASS	PASCOPYRUM SMITHII	ARIBA	3			
LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	PATURA	3			
ALKALI SACATON	SPOROBOLUS AIROIDES		3			
SAND DROPSEED	SPOROBOLUS CRYPTANDRUS		3			
PASTURE SAGE ¹	ARTEMISIA FRIGIDA				2	
BLUE ASTER ¹	ASTER LAEVS				4	
BLANKET FLOWER ¹	GALLIARIDA ARISTATA				8	
PRARIE CONEFLOWER ¹	RATIBIDA COLUMNIFERA				4	
PURPLE PRARIECLOVER ¹	DALEA PURPUREA				4	
SUBTOTALS			27.5		22	
TOTAL LBS PER ACRE					28.9	
¹ WILDFLOWER SEED (OPTIONAL).						
² PLS = PURE LIVE SEED.						

LOW GROW SEED MIX		
COMMON NAME	SCIENTIFIC NAME	LBS PER ACRE
EPHRAIM CRESTED WHEATGRASS	AGROPYRON CRISTATUM	7.5
SHEEP FESCUE	FESTUCA OVINA	6.25
PERENNIAL RYE	LOLIUM PERENNE	5
CHEWINGS FESCUE	FESTUCA RUBRA SUBSP. COMMUTATA	3.75
CANADA BLUEGRASS	POA COMPRESSA	2.5
TOTAL LBS PER ACRE		25

GENERAL LANDSCAPE NOTES

- THE BASE OF DECIDUOUS TREES SHALL BE PLANTED NO CLOSER THAN 5' FROM WET UTILITIES. THE BASE OF EVERGREEN TREES SHALL BE PLANTED NO CLOSER THAN 10' FROM ALL WET UTILITIES. DECIDUOUS TREES SHALL BE PLANTED NO CLOSER THAN 5' FROM BACK OF WALKS / CURBS. SHRUBS SHALL BE PLANTED NO CLOSER THEN 3' FROM BACK OF WALKS / CURBS.
- WITHIN STREET INTERSECTION SIGHT DISTANCE TRIANGLES, PLANT MATERIAL SHALL NOT EXCEED 30" IN HEIGHT, UNLESS SAID MATERIALS ARE GREATER THAN 80% TRANSPARENT.
- STREET TREES SHALL BE LIMBED UP TO 8' IN HEIGHT. PRUNING SHALL OCCUR IN THE APPROPRIATE MANNER AT THE NURSERY. SUBSTANTIAL PRUNING AFTER DELIVER TO THE SITE WILL NOT BE ALLOWED.
- MECHANICAL DEVICES SHALL BE SCREENED WITH LANDSCAPE MATERIAL AND/ OR WALLS FROM PUBLIC RIGHT OF WAY AND PARKS/ OPEN SPACE AREAS.
- ALL WORK SHALL CONFORM TO THE CITY OF LOUISVILLE CODES. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE TO THESE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER, OWNER'S REPRESENTATIVE, OR LANDSCAPE ARCHITECT.
- PLANT QUANTITIES TO BE BASED ON CONTRACTOR'S ESTIMATE ACCORDING TO PLANS, WHICH ARE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT.
- GRAPHIC SYMBOLS PRESIDE OVER WRITTEN PLANT QUANTITIES.
- ALL TREE AND SHRUB LOCATIONS ON PRIVATE PROPERTY SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE OWNER, OWNER'S REPRESENTATIVE, OR LANDSCAPE ARCHITECT.
- PLANT SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL BY THE OWNER, OWNER'S REPRESENTATIVE, OR LANDSCAPE ARCHITECT.
- WINTER PROTECTION AND WATERING OF TREES SHALL BE PROVIDED TO MAINTAIN THE HEALTH AND SURVIVAL OF PLANT MATERIAL.
- WOOD MULCH TO BE SHREDDED BARK MULCH TO A DEPTH OF 3 INCHES MINIMUM WITHOUT LANDSCAPE FABRIC.
- ROCK MULCH TO BE 1"-2" ANGULAR MOUNTAIN GRANITE TO DEPTH OF 3 INCHES MINIMUM WITH LANDSCAPE FABRIC.
- ALL TREE RINGS TO BE MULCHED WITH WOOD MULCH TO A DEPTH OF 4 INCHES MINIMUM WITH NO COLLAR. APPLY 4" DEPTH OF WOOD MULCH OVER 3' DIAMETER BED FOLLOWING SOD INSTALLATION.
- SOD TO BE A FESCUE/BUEGRASS BLEND "COLORADO BLUE" FROM GREEN VALLEY TURF COMPANY.
- NATIVE SEED TO BE "LOW GROW MIX" FROM ARKANSAS VALLEY SEED INC. CONTAINING 30% EPHRAIM CRESTED WHEATGRASS, 25% SHEEP FESCUE, 20% PERENNIAL RYE, 15% CHEWINGS FESCUE AND 10% CANADA BLUEGRASS. PHONE: 877.907.3337.
- FOR NEW SEEDING OF LOW GROW MIX, BROADCAST AT 20-25LBS./ACRE OR DRILLED AT 15-20LBS./ACRE. FOR OVER-SEEDING OF LOW GROW MIX, BROADCAST AT 10-15LBS./ACRE OR DRILLED AT 5-10LBS./ACRE.
- THE CITY STANDARD DETAILS AND MANUFACTURE DETAILS DEPICTED IN THESE DRAWINGS SHOULD BE USED AS REFERENCE. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL PERTINENT CONSTRUCTION & INSTALLATION INFORMATION AT TIME OF CONSTRUCTION.
- ALL SHRUB AND SOD AREAS SHALL RECEIVED THE FOLLOWING SOIL AMENDMENTS PER 1000 S.F.: 4 CUBIC YARDS "SUPREME ORGANICS" COMPOST (50% COW MANURE, 50% WOOD FINES) OR APPROVED EQUAL, PLUS 15 LBS. OF 20-10-5 COMMERCIAL FERTILIZER. ROT-TILL TO A MINIMUM DEPTH OF 6".
- PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO SITE. IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HEELED IN AND WATERED TO PREVENT DEHYDRATION.
- PLANTING PITS SHALL BE EXCAVATED TO A MINIMUM OF TWICE THE WIDTH OF THE ROOTBALL. DO NOT DISTURB SOIL AT THE BOTTOM OF PIT BUT SCARIFY SIDES TO PREVENT GLAZING.
- PLANTS SHOULD BE THOROUGHLY WATERED IMMEDIATELY AFTER PLANTING, ALLOWING WATER TO SOAK DOWN AND FILL REMAINDER OF HOLE WITH LOOSE SOIL. WITHOUT FURTHER PACKING, A MOUND OF SOIL SHALL BE FORMED AROUND THE EDGE OF EACH TREE PIT TO FORM A SHALLOW SAUCER.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES TO BE IRRIGATED WITH AUTOMATIC DRIP (TRICKLE) IRRIGATION SYSTEM, OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL. WHEN NATIVE SEED BECOMES ESTABLISHED IRRIGATION TO THOSE AREAS COULD BE TURNED OFF AND / OR USED DURING DROUGHT PERIODS TO ENSURE THE HEALTH OF NATIVE SEED.
- AFTER PLANT INSTALLATION, ALL PLANT MATERIAL SHALL BE PLACED WITH THEIR ROOT COLLARS SLIGHTLY HIGHER THAN FINISH GRADE. (3" HIGHER FOR TREES.)
- ALL LANDSCAPE SHOWN ON THESE PLANS SHALL BE MAINTAINED IN A NEAT AND ADEQUATE MANNER. REQUIRED MAINTENANCE ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO TRIMMING OF HEDGES, ADEQUATE IRRIGATION, REPLACEMENT OF DEAD, DISEASED OR UNSIGHTLY LANDSCAPING, REMOVAL OF WEEDS FROM PLANTING AREAS, AND APPROPRIATE PRUNING OF PLANT MATERIALS.
- A QUALIFIED LANDSCAPE CONTRACTOR SHALL BE EMPLOYED TO PERFORM PERIODIC INSPECTION AND MAINTENANCE OF LANDSCAPED AREAS AS DESCRIBED IN NOTE 25.
- THE CONTRACTOR SHALL STAKE OUT ALL KEY AREAS INCLUDING BUT NOT LIMITED TO SIDE WALKS, STEEL EDGING, PLANT BEDS, TREE AND SHRUB LOCATIONS AND OBTAIN APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER (MAKING MODIFICATIONS AS MAY BE REQUIRED AT NO ADDITIONAL COST), PRIOR TO PROCEEDING WITH THE CONSTRUCTION.
- SOIL BACKFILL MIXTURE FOR ALL PERENNIAL BEDS SHALL BE 1/3 COW MANURE, 1/3 IMPORTED TOPSOIL, AND 1/3 ON-SITE SOIL.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND BASE HIS BID ON ACTUAL ON-SITE CONDITIONS AND MEASUREMENTS. ANY DISCREPANCIES, ERRORS OR OMISSIONS ON THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS DUE TO FAILURE TO GIVE SUCH NOTICE.
- THE CONTRACTOR SHALL RESTORE ANY AND ALL DAMAGE DUE TO HIS CONSTRUCTION OPERATIONS TO THEIR ORIGINAL STATE AT HIS EXPENSE.
- LANDSCAPE EDGER TO BE "PERFEDGE" FROM COYOTE LANDSCAPE PRODUCTS. STEEL EDGER IS TO BE USED WHEREVER THERE IS A CHANGE IN SURFACING TYPE - SEE PLANT LEGEND.
- ANY LANDSCAPE MATERIALS DAMAGED DURING CITY OF LOUISVILLE OPERATION, MAINTENANCE, OR REPAIR OF THE STORM SEWER LOCATED WITHIN THE 20' DRAINAGE & UTILITY EASEMENT SHALL BE REPAIRED BY AND AT THE EXPENSE OF THE PROPERTY OWNER.
- ANY FENCING DAMAGED DURING CITY OF LOUISVILLE OPERATION, MAINTENANCE, OR REPAIR OF THE STORM SEWER LOCATED WITHIN THE 20' DRAINAGE & UTILITY EASEMENT SHALL BE REPAIRED BY AND AT THE EXPESE OF THE PROPERTY OWNER.

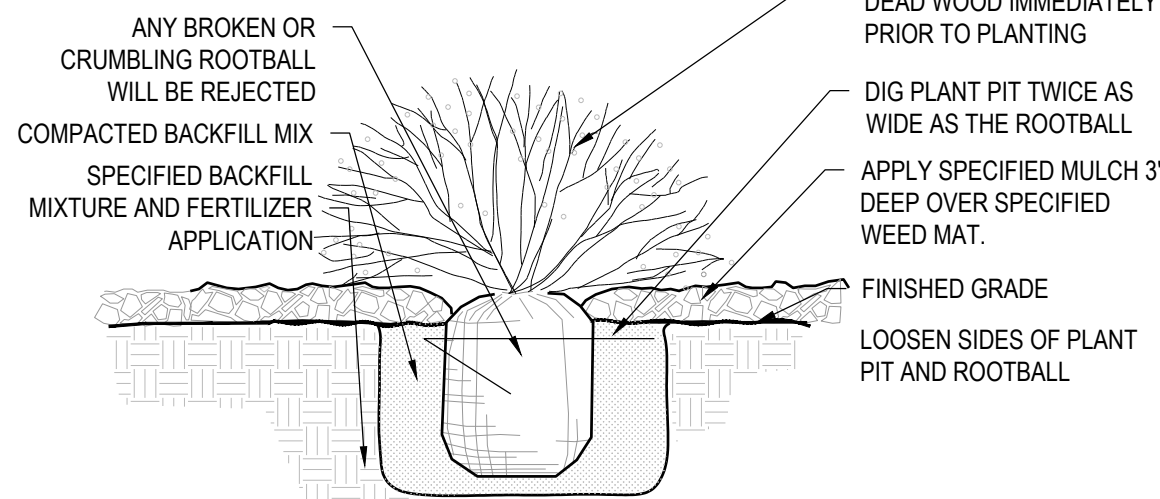
- NOTES:
- ANY BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED.
 - REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
 - STREET TREES ARE TO BE LIMBED UP TO 8'. PRUNING SHALL OCCUR IN THE APPROPRIATE MANNER AT THE NURSERY. SUBSTANTIAL PRUNING WILL NOT BE ALLOWED ON-SITE.



1 DECIDUOUS TREE PLANTING

Scale: NTS

- NOTES:
- ANY BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED. REMOVING THE CONTAINERS WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
 - HOLD GRADE 1" BELOW EDGE OF WALK OR CURB.
 - ALL JUNIPER PLANTS SHOULD BE PLANTED SO TOP OF ROOT MASS OCCURS AT FINISH GRADE OF MULCH LAYER
 - SHRUBS PLANTED WITHIN THE DRAIN STRIP OR SCREE AREAS SHALL HAVE A 12" DIAMETER RING OF MULCH AT THE BASE OF EACH SHRUB
 - PLANT ALL SHRUBS AND AND MULCH RING PRIOR TO PLACING ROCK



2 SHRUB PLANTING

Scale: NTS

REVISION DESCRIPTION

SUBMITTED TO LOUISVILLE

SUBMITTED TO LOUISVILLE

SUBMITTED TO LOUISVILLE

DATE

10/25/19

1/22/20

2/26/20

#

1

2

3

DRN

AML

PMS

Landscape Architecture

people creating spaces

pcs group inc.

www.pcsgrouppco.com

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denver, co 80218

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NAPA AUTO PARTS PUD FILING 1

1413 HECLA WAY LOT 4-B, LOUISVILLE PLAZA FILING NO. 2

SECOND AMENDMENT LOT 4

LANDSCAPE DETAILS

ACTION CIVIL ENGINEERING

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tdenring@actioncivileng.com

JOB NO.

1910

SCALE

DATE

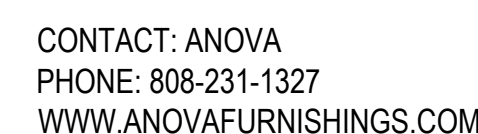
05/08/2020

SHEETS

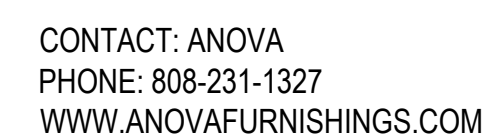
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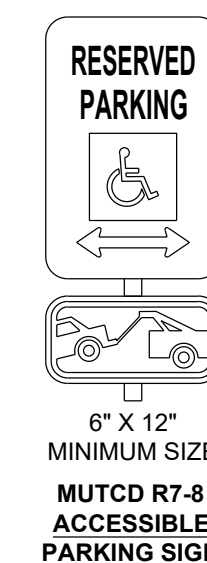


6' BENCH
Scale: NTS



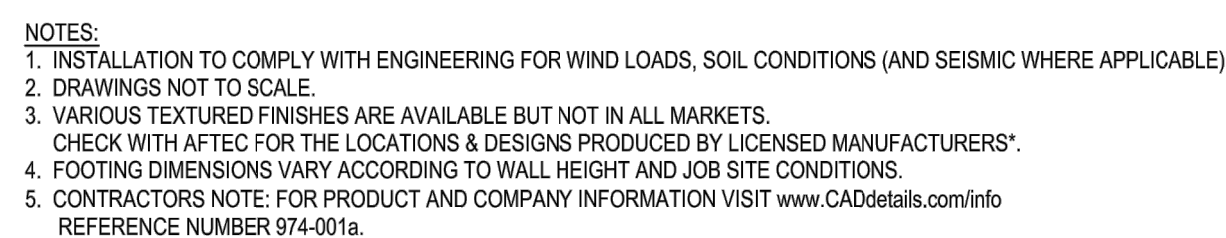
2 BICYCLE RACK

Scale: NTS



3 ADA PARKING SIGNAGE

Scale: NTS



SHEET 1 OF 2



PERFORATED STEEL EDGER
Scale: NTS

DRN	#	DATE	REVISION DESCRIPTION
	1	10/25/19	SUBMITTED TO LOUISVILLE
	2	1/22/20	SUBMITTED TO LOUISVILLE
	3	2/26/20	SUBMITTED TO LOUISVILLE
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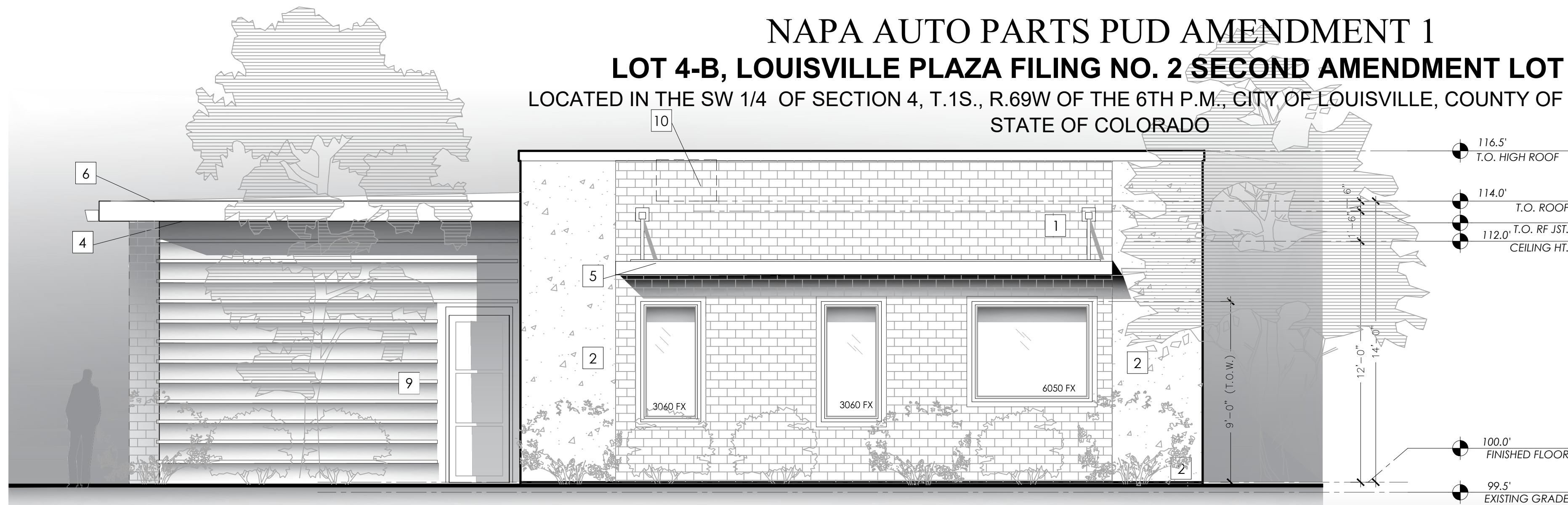
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4133 HECLA WAY LOT 4-B, LOUISVILLE PLAZA FILING NO. 2
SECOND AMENDMENT LOT 4

LANDSCAPE DETAILS

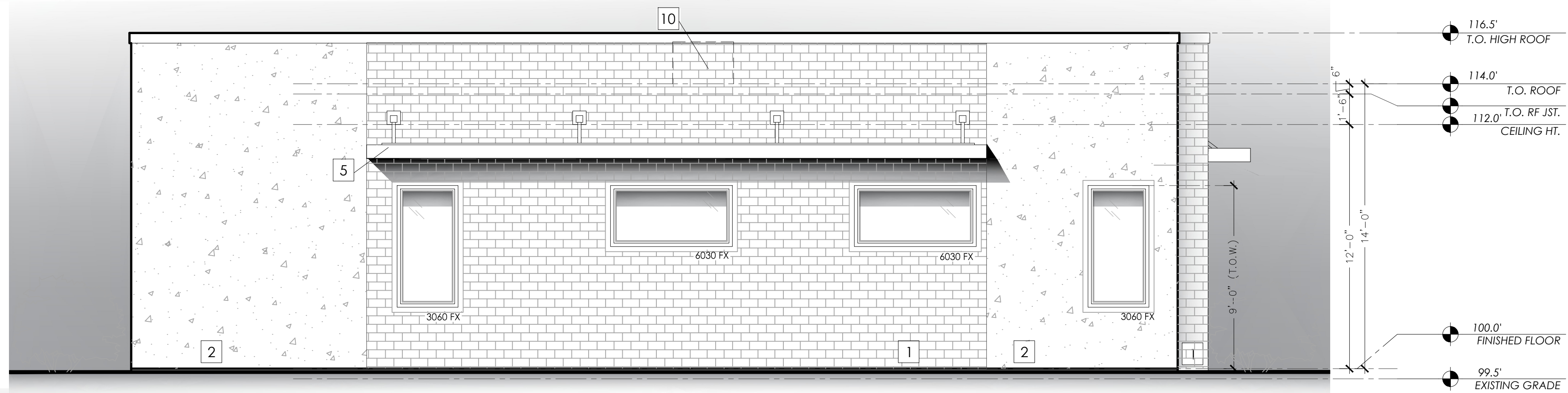
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DATE	05/08/2010	
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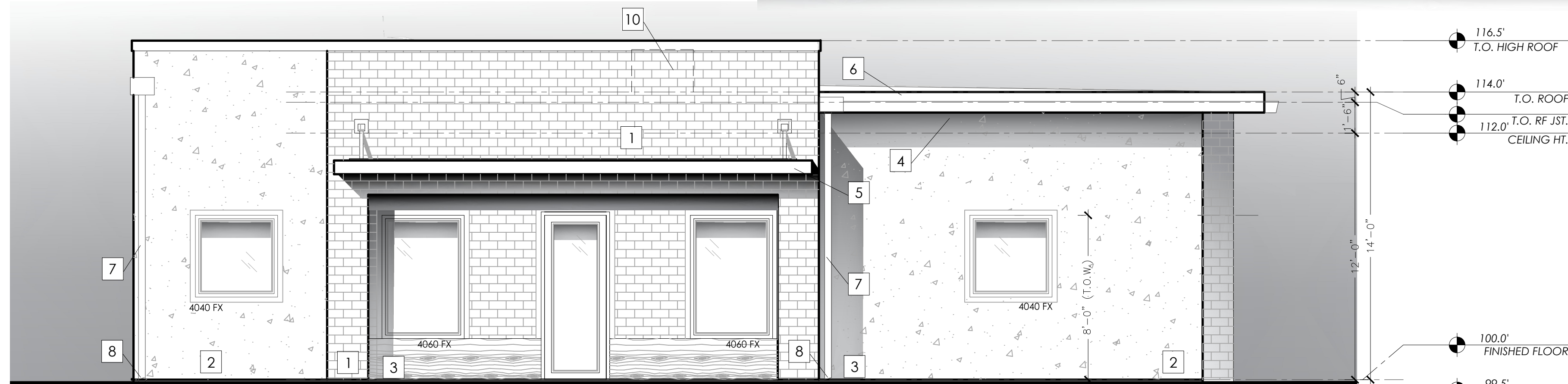
NAPA AUTO PARTS PUD AMENDMENT 1
LOT 4-B, LOUISVILLE PLAZA FILING NO. 2 SECOND AMENDMENT LOT 4
LOCATED IN THE SW 1/4 OF SECTION 4, T.1S., R.69W OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER,
STATE OF COLORADO



4 SOUTH ELEVATION (SIDE)
1/4"=1'-0" HECLA WAY ELEVATION



3 EAST ELEVATION (REAR)
1/4"=1'-0"



2 NORTH ELEVATION (SIDE)
1/4"=1'-0"



1 WEST ELEVATION (FRONT)
1/4"=1'-0"

EXTERIOR FINISH KEY NOTES:

- 1 BRICK VENEER, MANUF: MUTUAL MATERIALS, SLIM BRICK ARCHITECTURAL SERIES, COLOR: HARBOR MIST
NOTE: BRICK MORTAR COLOR TO MATCH STUCCO PAINT
- 2 EXTERIOR 3-COAT SMOOTH COAT STUCCO, PAINT
COLOR: BENJAMIN MOORE AFFINITY THUNDER / AF-685
- 3 WOOD VENEER, 4" CEDAR BOARD
- 4 T&G SOFFIT BOARD, WOOD VENEER, 4" CEDAR BOARD
- 5 SURFACE MOUNTED FLAT PANEL POWDER COATED BLACK METAL AWNING, BRACED TO WALL
- 6 FLAT EPDM ROOF, SLOPE 1/4" / FT. TO DRAIN
- 7 DOWNSPOUT FROM ROOF GUTTER SYSTEM, PAINT TO MATCH SURROUNDING STUCCO
- 8 SPLASHBLOCK BELOW DOWNSPOUT, REFER TO SITE PLAN FOR SITE DRAINAGE
- 9 DECORATIVE HORIZONTAL POWDER COATED BLACK METAL SLATS
- 10 ROOF TOP MECH. UNIT, SCREENED BY ROOF PARAPET

NAPA AUTO PARTS PUD AMENDMENT
1411 HECLA WAY, LOUISVILLE, CO

ARCHITECTURAL ELEVATIONS
DISPENSARY BUILDING

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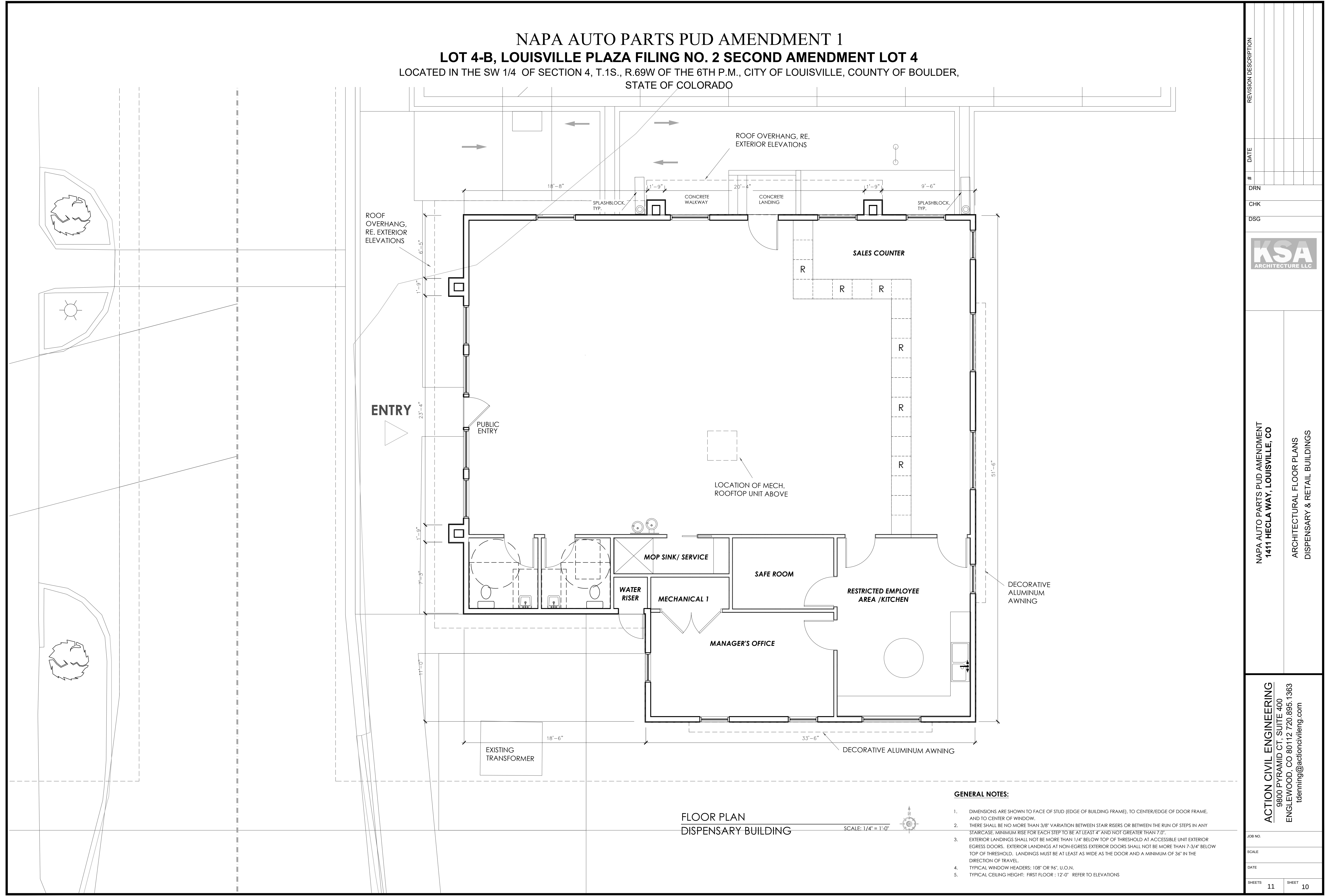
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DRN

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NAPA AUTO PARTS PUD AMENDMENT 1
LOT 4-B, LOUISVILLE PLAZA FILING NO. 2 SECOND AMENDMENT LOT 4
LOCATED IN THE SW 1/4 OF SECTION 4, T.1S., R.69W OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER,
STATE OF COLORADO

REVISION DESCRIPTION

DATE

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NAPA AUTO PARTS PUD AMENDMENT
1411 HECLA WAY, LOUISVILLE, CO

ARCHITECTURAL FLOOR PLANS
DISPENSARY & RETAIL BUILDINGS

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SCALE

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11

SHEET

10

FLOOR PLAN
DISPENSARY BUILDING

SCALE: 1/4" = 1'-0"



GENERAL NOTES:

- DIMENSIONS ARE SHOWN TO FACE OF STUD (EDGE OF BUILDING FRAME), TO CENTER/EDGE OF DOOR FRAME, AND TO CENTER OF WINDOW.
- THERE SHALL BE NO MORE THAN 3/8" VARIATION BETWEEN STAIR RISERS OR BETWEEN THE RUN OF STEPS IN ANY STAIRCASE. MINIMUM RISE FOR EACH STEP TO BE AT LEAST 4" AND NOT GREATER THAN 7.0".
- EXTERIOR LANDINGS SHALL NOT BE MORE THAN 1/4" BELOW TOP OF THRESHOLD AT ACCESSIBLE UNIT EXTERIOR EGRESS DOORS. EXTERIOR LANDINGS AT NON-EGRESS EXTERIOR DOORS SHALL NOT BE MORE THAN 7-3/4" BELOW TOP OF THRESHOLD. LANDINGS MUST BE AT LEAST AS WIDE AS THE DOOR AND A MINIMUM OF 36" IN THE DIRECTION OF TRAVEL.
- TYPICAL WINDOW HEADERS: 108" OR 96" U.O.N.
- TYPICAL CEILING HEIGHT: FIRST FLOOR : 12'-0" REFER TO ELEVATIONS

