MCDONALDS PUD AMENDMENT #4

LOT 4, CENTENNIAL VALLEY, PARCEL "O" FILING NO. 4, CIVIL ENGINEERING PLAN

STORE #50-0294

939 W. DILLON ROAD

LOUISVILLE, COLORADO

SITE DEVELOPMENT DATA

SUBDIVISION/LEGAL DESCRIPTION:

LOT 4, CENTENNIAL VALLEY, PARCEL "O" FILING NO. 3, AMENDED FINAL P.U.D

PRESENT ZONING:

THE PRESENT ZONING IS PCZD

SITE DATA:

BUILDING SIZE= 5,041 S.F.

BUILDING EXPANSION=0.00 S.F.

TOTAL BUILDING AREA=5,041

BUILDING COVERAGE=11.35%

LOT SIZE= 44,387 S.F. (1.02 ACRES)

EXISTING PARKING=41 SPACES (INCLUDING 2 ACCESSIBLE SPACES)

PROPOSED=37 SPACES (INCLUDING 2 ACCESSIBLE SPACES)

REQUIRED PARKING SPACES=33 (1 SPACE PER 3 SEATS WITH 100 PROPOSED SEATS)

LANDSCAPE ADDED=104 S.F.

PAVEMENT REMOVED=104 S.F.

GENERAL NOTES

1. ALL WATER DISTRIBUTION, SANITARY SEWER, AND STORM DRAINAGE CONSTRUCTION SHALL CONFORM TO THE CITY OF LOUISVILLE REQUIREMENTS AND STANDARDS.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO THE CITY STANDARDS AND SPECIFICATIONS.
3. THE CITY OF LOUISVILLE SHALL NOT BE LIABLE FOR THE MAINTENANCE OF IMPROVEMENTS ON MCDONALD'S PROPERTY. THESE FACILITIES MAY NOT MEET CITY STANDARDS AND ARE TO REMAIN IN PRIVATE MAINTENANCE IN PERPETUITY.

SITE PLAN NOTES

1. ALL SIGNS MUST CONFORM TO THE CITY OF LOUSIVILLE SIGN CODE.
2. THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT.
3. THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN OR LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT. ALL LANDSCAPING WILL BE INSTALLED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
4. NO CHANGES TO THE EXISTING UTILITIES SERVING THE SITE ARE PLANNED WITH THIS PROJECT.

BENCHMARK:

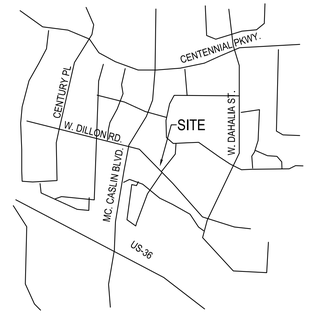
SITE ELEVATIONS ARE BASED ON A FINISH FLOOR ELEVATION OF 100.00 FEET.

NOTES:

1. THE SITE IMPERVIOUS AREA WILL BE REDUCED WITH THIS PROJECT, AND THEREFORE, THE SITE WILL NOT HAVE A NEGATIVE IMPACT ON THE EXISTING DRAINAGE.
2. THESE DRAWINGS ARE BASED ON THE ORIGINAL SITE DRAWINGS, AND AERIAL PHOTOGRAPHY. THE ENGINEER OF RECORD CANNOT BE HELD RESPONSIBLE FOR MISSING OR INACCURATE INFORMATION.

PROJECT NARRATIVE

1. AS PART OF THIS PROJECT McDONALD'S PLANS TO REVISE THE EXISTING ADA ACCESS TO THE BUILDING TO MEET CURRENT JUSTICE DEPARTMENT STANDARDS, AND TO PROVIDE AN ACCESSIBLE ROUTE TO THE ADJACENT PUBLIC SIDEWALK. McDONALD'S ALSO PLANS TO REMODEL THE EXTERIOR AND INTERIOR OF THEIR EXISTING RESTAURANT, AND TO REMODEL THEIR RESTROOMS TO CREATE A MODERN EXPERIENCE FOR THEIR CUSTOMERS.



VICINITY MAP

NOTES:

1. ALL DISTANCES ARE SHOWN IN US FEET.
2. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.
3. NO PRE-CAST STRUCTURES ARE ALLOWED.
4. CONTRACTOR TO RE-STRIP ENTIRE PARKING LOT. CONTRACTOR SHALL USE EXISTING MARKINGS AS A STRIPING BASE OUTSIDE OF THE WORK AREA.
5. ALL PARKING SPACE STRIPING OUTSIDE OF ADA AREAS SHALL BE WHITE.
6. ALL NON- DRIVE THRU DIRECTIONAL ARROWS SHALL BE WHITE. REFERENCE DETAIL SHEETS FOR DRIVE THRU DIRECTIONAL ARROWS.
7. ALL DRIVE THRU STRIPING SHALL BE YELLOW AND RED PER THE DETAIL SHEETS.
8. ALL ADA STRIPING SHALL BE BLUE PER THE DETAIL SHEETS.
9. REFERENCE DETAIL SHEETS FOR STRIPING AND ADA SIGNAGE DETAILS.
10. FINISHED FLOOR ELEVATION IS ABOVE THE FLOOD HAZARD ZONE ELEVATION.

PUD AND PUD AMENDMENT HISTORY:

1. CENTENNIAL MARKET PLACE-1994
2. CENTENNIAL MARKET PLACE AMENDED PUD-2002
3. CENTENNIAL MARKET PLACE AMENDED PUD-2005
4. CENTENNIAL MARKET PLACE AMENDED PUD-2020

LIST OF DRAWINGS

1 of 8	COVER SHEET
2 of 8	SITE PLAN
3 of 8	GRADING PLAN
4 of 8	UTILITY PLAN
5 of 8	SITE PLAN DETAILS
6 of 8	FLOOR PLAN
7 of 8	DEMO ELEVATIONS
8 of 8	EXTERIOR ELEVATIONS

APPROVAL BLOCK

DIRECTOR OF PLANNING AND BUILDING SAFETY CERTIFICATE

APPROVED THIS _____ DAY OF _____, 20___ BY THE DIRECTOR OF PLANNING AND BUILDING SAFETY OF THE CITY OF LOUISVILLE, COLORADO.

BY _____
DIRECTOR OF PLANNING AND BUILDING SAFETY

OWNERSHIP SIGNATURE BLOCK

BY SIGNING THIS PUD AMENDMENT, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL THE REQUIREMENTS AND INTENT SET FORTH IN THIS PUD AMENDMENT.

WITNESS OUR HANDS AND SEALS THIS DAY_____, OF_____2019

OWNER _____ OWNER _____

NOTARY _____

PROJECT CONTACTS

CIVIL ENGINEER:

STRATEGIC LAND SOLUTIONS, INC.
ATTN: MR. ROBERT PALMER, P.E.
2595 PONDEROSA ROAD
FRANKTOWN, CO 80116
Phone: 720-384-7661
Email: RPALMER@STRATEGICLS.NET

OWNER:

McDONALD'S CORPORATION
Rocky Mountain Region
4643 S. ULSTER STREET, STE 1300
DENVER, CO 980237
MR. TREVOR PROPHET
Area Construction Manager
Phone: (303) 519-4001 | Fax: (303) 773-6960
Email: TREVOR.PROPHET@US.MCD.COM

NO.	DATE	REVISION DESCRIPTION

CIVIL ENGINEERING CONSULTANT:

Strategic Land Solutions, Inc.
Civil Engineering • Land Planning • Entitlements
2595 PONDEROSA ROAD
FRANKTOWN, CO 80116
720.384.7661 Phone
rpalmer@strategicls.net
Robert J. Palmer, PE
President

PREPARED UNDER THE DIRECT SUPERVISION OF:

SEAL: COLORADO REGISTERED ROBERT J. PALMER 36320 PROFESSIONAL ENGINEER

BY Robert J. Palmer, PE
Licensed Professional Engineer (CO PE #36320),
AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE: ROCKY MOUNTAIN REGION

ADDRESS: 4643 S. ULSTER STREET, SUITE 1300, DENVER, COLORADO 80237

STREET ADDRESS: 939 W. DILLON ROAD

CITY: LOUISVILLE

STATE: COLORADO

COUNTY: BOULDER

STATE STORE #: 50294

NATIONAL #: XXXXX

REGIONAL DIR. NO: -

SCALE: as noted	McD RE: BOWAN
DATE: 04/30/2021	McD P/CM: PROPHET
DESIGNED BY: RJP	
DRAWN BY: RJP	FILE NAME: CURRENT.DWG
CHECKED BY: RJP	SLS JN: 14-001-47

DRAWING TITLE: COVER SHEET

SHEET NO: 1 of 8

MCDONALDS PUD AMENDMENT #4

LOT 4, CENTENNIAL VALLEY, PARCEL "O" FILING NO. 4,
CIVIL ENGINEERING PLAN
STORE #50-0294
939 W. DILLON ROAD
LOUISVILLE, COLORADO

PLAN SCALE: 1" = 20'

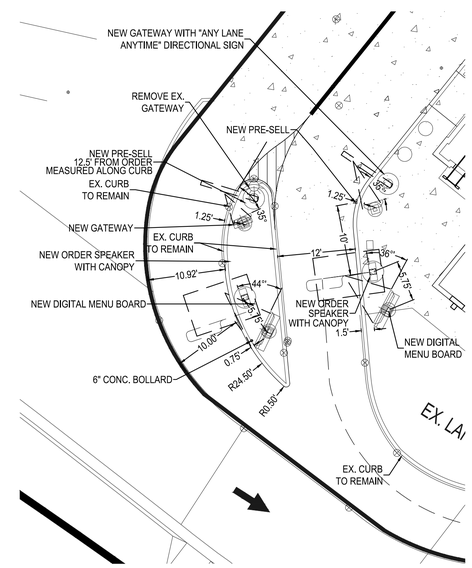
NOTE: THIS SITE PLAN REQUIRES THE LOSS OF 4 PARKING SPACES, AND ALLOWS FOR A 108 SEAT SEAT RESTAURANT

SITE PLAN LEGEND

- SITE PROPERTY LINE (WITH METES & BOUNDS NOTED)
- ADJACENT PARCEL PROPERTY LINE
- EXISTING CURBLINE
- PROPOSED MONILITHIC 6" CURBLINE
- PROPOSED 6" CURBLINE W/1' CATCH PAN GUTTER, UNLESS OTHERWISE NOTED
- PROPOSED 6" CURBLINE W/1' SPILL PAN GUTTER, UNLESS OTHERWISE NOTED
- PROPOSED CONCRETE PAVEMENT
- PROPOSED OVERHEAD ROOF/CANOPY LINE
- PROPOSED BUILDING LINE

SITE PLAN NOTES

1. ALL DIMENSIONS AND RADII ARE TO THE FACE (FOR 6" REVEAL CURB) OR FLOWLINE (FOR CURB & GUTTER) UNLESS OTHERWISE NOTED.
2. PARKING SPACE STRIPING TO BE WHITE, 4" WIDE, UNLESS OTHERWISE NOTED.
3. LOT LINE AND EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY PREPARED BY ENGINEERING SERVICES COMPANY, INC.
4. CONCRETE PAVEMENT, SIDEWALK, CURB & GUTTER TO BE REMOVED (IF APPLICABLE) SHALL BE SAWCUT. CONTRACTOR SHALL REMOVE TO NEXT JOINT IF SAWCUT IS WITHIN 5 FOOT OF A JOINT.
5. THE PARKING AREAS AND ACCESS DRIVES SHALL CONSIST OF A FLEXIBLE COMPOSITE PAVEMENT SECTION OF SIX-INCHES OF ASPHALT OVER FOUR-INCHES OF AGGREGATE BASE COURSE (REFERENCE: SOILS REPORT). AT A MINIMUM, THE PAVEMENT SHALL BE DESIGNED TO SUPPORT THE WEIGHT IMPOSED BY FIRE APARATUS (24 TON, 2 AXLES, 34 TON, 3 AXLES).
6. THE DRIVE THRU, LOADING AREA, AND TRASH DUMPSTER AREA SHALL CONSIST OF A PORTLAND CEMENT CONCRETE PAVEMENT WITH A MINIMUM THICKNESS OF EIGHT (8) INCHES (UNLESS OTHERWISE NOTED) WITH A 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, REINFORCED WITH #3 BARS, 16" O.C.B.W. IN CENTER OF SLAB. USE 3½" CHAIRS AT 48" O.C.B.W.
7. ALL HANDICAP RAMPS TO INCLUDE DETECTABLE WARNING PANELS.
8. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY THAT WILL INVOLVE ANY EXISTING OR PROPOSED STREET SIGNS OR TRAFFIC CONTROL DEVICES WITHIN THE PUBLIC RIGHT-OF-WAY (ROW), THE CONTRACTOR SHALL CONTACT THE CITY TRAFFIC DIVISION AT (970) 962-2535 TO COORDINATE THE REMOVAL, RELOCATION, INSTALLATION, AND/OR PROPER STORING OF THE SIGN(S) OR TRAFFIC CONTROL DEVICE(S) AND OBTAIN A ROW WORK PERMIT FROM THE CITY PUBLIC WORKS ENGINEERING DIVISION TO DO SUCH WORK. HOWEVER, IF THE CONTRACTOR REMOVES OR RELOCATES ANY EXISTING STREET SIGN(S) OR TRAFFIC CONTROL DEVICES(S) WITHIN THE PUBLIC ROW WITHOUT FIRST OBTAINING A ROW WORK PERMIT FROM THE CITY PUBLIC WORKS DIVISION, THEN THE CONTRACTOR WILL BE CHARGED FOR THE LABOR, MATERIALS, AND EQUIPMENT TO REINSTALL THE SIGN(S0 OR TRAFFIC CONTROL DEVICES(S) AS DEEMED NECESSARY BY THE CITY. THE CONTRACTOR WILL ALSO BE CHARGED TO REPLACE ANY EXISTING STREET SIGNS OR TRAFFIC CONTROL DEVICES THAT WERE DAMAGED OR BLEMISHED DURING ANY CONSTRUCTION ACTIVITY AS DEEMED NECESSARY THE BY THE CITY. THE CONTRACTOR MAY ALSO BE SUBJECT TO ADDITIONAL FINES AS PER THE LOUISVILLE MUNICIPAL CODE. ADDITIONALLY, ANY WORK WITHIN THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) ROW WILL ALSO NEED TO OBTAIN A ROW WORK PERMIT FROM CDOT.



PLAN SCALE: 1" = 10'

Know what's **below.**
Call before you dig.

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CIVIL ENGINEERING CONSULTANT:

Strategic Land Solutions, Inc.
Civil Engineering • Land Planning • Entitlements
2595 PONDEROSA ROAD
FRANKTOWN, CO 80116
720.384.7661 Phone
rpalmer@strategicls.net
Robert J. Palmer, PE
President

PREPARED UNDER THE DIRECT SUPERVISION OF:

SEAL: COLORADO REGISTERED ROBERT J. PALMER 36320 PROFESSIONAL ENGINEER

BY Robert J. Palmer, PE
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McDonald's®

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DRAWING TITLE: SITE PLAN

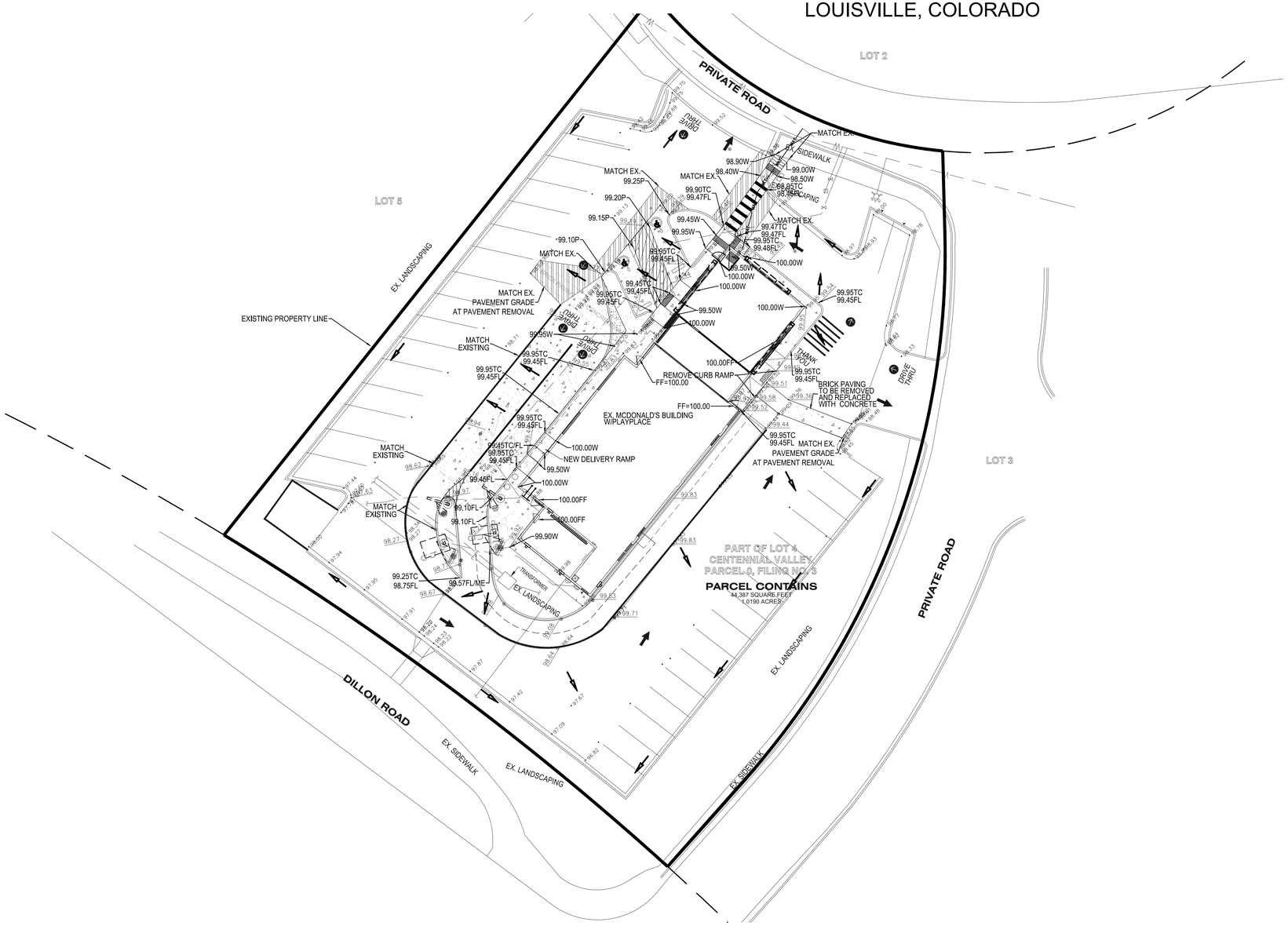
SHEET NO: 2 of 8

MCDONALDS PUD AMENDMENT #4

LOT 4, CENTENNIAL VALLEY, PARCEL "O" FILING NO. 4, CIVIL ENGINEERING PLAN

STORE #50-0294

939 W. DILLON ROAD
LOUISVILLE, COLORADO



GRADING & DRAINAGE LEGEND

5811	EXISTING CONTOUR (1' INTERVAL)
5805	PROPOSED CONTOUR
+5808.50P	PROPOSED SPOT GRADE – PAVEMENT
+5808.50TW	PROPOSED SPOT GRADE – TOP OF WALK
+5808.5G	PROPOSED SPOT GRADE – GROUND
+5808.50ME	PROPOSED SPOT GRADE – MATCH EXISTING
	APPROXIMATE DIRECTION OF OVERLAND FLOW
24" RCP ST	EXISTING STORM DRAIN WITH PIPE SIZE & TYPE NOTED
	EXISTING STORM INLET
	EXISTING STORM MANHOLE

GRADING & DRAINAGE NOTES

1. REFER TO SITE LAYOUT PLAN FOR DIMENSIONS AND IDENTIFICATION OF PROPOSED IMPROVEMENTS.
2. LOT LINE AND EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY ENGINEERING SERVICES COMPANY, INC.
3. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. USE WHATEVER MEANS NECESSARY INCLUDING BUT NOT LIMITED TO STAKED STRAW BALES AND/OR SILT FENCES. CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE BY THE OWNER AND/OR THE CITY OF LOUISVILLE. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER AND/OR CITY OF LOUISVILLE MAY AT THEIR OWN OPTION DIRECT THE CONTRACTOR IN THESE METHODS. ANY DEPOSITING OF SILT OR MUD ON NEW OR EXISTING PAVEMENT, STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF LOUISVILLE AT THE EXPENSE OF THE CONTRACTOR.
4. ALL CURB AND GUTTER ELEVATIONS ARE FLOWLINE UNLESS NOTED OTHERWISE. ALL CURB AND GUTTER IS CATCH UNLESS NOTED OTHERWISE. FINISHED WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT UNLESS NOTED OTHERWISE NOTED. PROPOSED ELEVATIONS ARE SHOWN TO FINISHED PAVEMENT OR GRADE. LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF WALKS AND CURBS. FINISH GRADING IS BY THE GENERAL CONTRACTOR.
5. ALL FILL AREAS SHALL BE SCARIFIED EIGHT-INCHES AND RECOMPACTED TO 95% OF STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT ±2% FROM OPTIMUM, UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER. THE LOOSE THICKNESS OF EACH LAYER OF FILL MATERIAL SHALL NOT EXCEED EIGHT-INCHES. AREAS TO BE PAVED SHALL BE SCARIFIED AND RECOMPACTED TO 95% OF STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT ±2% FROM OPTIMUM UNLESS DIRECTED OTHERWISE BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL EMPLOY THE ORIGINAL SOILS ENGINEER TO TEST ALL EARTHWORK TO INSURE COMPLIANCE WITH SOILS REPORT.
6. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY OF LOUISVILLE ENGINEERING DIVISION. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
7. THE CONSTRUCTION PLANS SHALL BE CONSIDERED VALID FOR ONE (1) YEAR FROM THE DATE OF CITY ACCEPTANCE, AFTER WHICH TIME THESE PLANS SHALL BE VOID AND WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE CITY OF LOUISVILLE.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER / OWNER'S REPRESENTATIVE OF ANY PROBLEM(S) IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
9. CURB (HANDICAP ACCESSIBLE) RAMPS ARE TO BE PROVIDED AT INTERSECTIONS, AS SHOWN.
10. ALL HANDICAP RAMPS SHALL CONFORM TO THE CITY OF LOUISVILLE STANDARD DETAILS. 5 FOOT BY 5 FOOT LANDINGS WITH A MAXIMUM GRADE OF 2 PERCENT SHALL BE LOCATED AT THE TOP OF ALL HANDICAP RAMPS.

NOTES:

1. ZONING DISTRICT: PLANNED COMMUNITY COMMERCIAL (P-C).
2. REQUIRED PARKING= 25 PARKING SPACES
   RESTAURANT= 1 SPACE PER 3-SEATS (75 SEATS)
3. REQUIRED HANDICAP PARKING=2 SPACES (1 VAN ACCESSIBLE SPACE)

20 0 10 20

PLAN SCALE: 1" = 20'

Know what's **below.** **Call** before you dig.

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Civil Engineering • Land Planning • Entitlements
2595 PONDEROSA ROAD
FRANKTOWN, CO 80116
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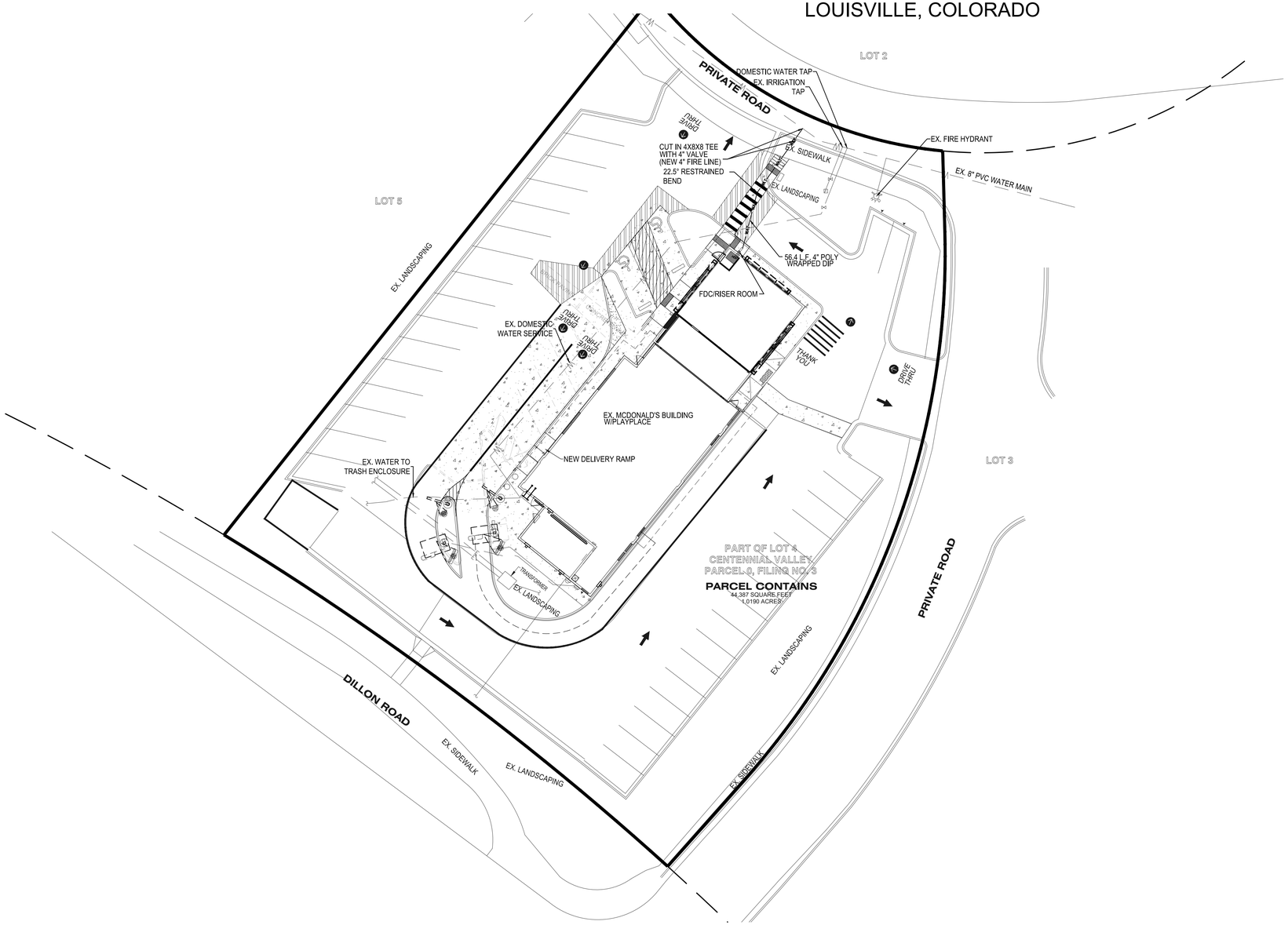
DRAWING TITLE: GRADING PLAN

SHEET NO: 3 of 8

MCDONALDS PUD AMENDMENT #4

LOT 4, CENTENNIAL VALLEY, PARCEL "O" FILING NO. 4,
CIVIL ENGINEERING PLAN
STORE #50-0294
939 W. DILLON ROAD
LOUISVILLE, COLORADO



UTILITY PLAN LEGEND

	SITE PROPERTY LINE (WITH METES & BOUNDS NOTED)
	ADJACENT PARCEL PROPERTY LINE
8" PVC SAN	EXISTING SANITARY SEWER W/SIZE & TYPE NOTED
12" DIP WAT	EXISTING WATER MAIN W/SIZE & TYPE NOTED
6" PVC SDR-35 @ 1.50% SAN	PROPOSED SEWER SERVICE W/SIZE, TYPE & SLOPE NOTED
1" TYPE "K" COPPER WAT	PROPOSED WATER SERVICE W/SIZE & TYPE NOTED
ELEC	PROPOSED ELECTRIC SERVICE
GAS	PROPOSED GAS SERVICE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED GREASE TRAP
CO	PROPOSED SANITARY SERVICE CLEANOUT
	PROPOSED OVERHEAD ROOF/CANOPY LINE
	PROPOSED BUILDING LINE

UTILITY NOTES:

1. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE FROM INFORMATION PROVIDED BY UTILITY COMPANIES AND MUST BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION PRIOR TO COMMENCING WORK. PROTECT UTILITIES FROM DAMAGE DURING CONSTRUCTION.
2. OWNER WILL OBTAIN ALL PERMITS FOR UTILITY HOOKUPS. CONTRACTOR WILL COORDINATE ACTUAL HOOKUPS WITH UTILITY COMPANIES IMPACTED.
3. REFER TO SITE LAYOUT PLAN FOR DIMENSIONS AND IDENTIFICATION OF PROPOSED IMPROVEMENTS.
4. EXISTING UTILITY INFORMATION TAKEN FROM THE SURVEY PREPARED BY ENGINEERING SERVICES COMPANY, INC.
5. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY OF LOUISVILLE INSPECTORS. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
6. THE CONTRACTOR SHALL NOTIFY THE CITY OF LOUISVILLE ENGINEERING DIVISION INSPECTION SECTION, A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER / OWNER'S REPRESENTATIVE OF ANY PROBLEM(S) IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.
8. UTILITY TRENCHES ARE TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES IN COMPLIANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS. PIPE ZONE (BEDDING) COMPACTION SHALL BE 90% STANDARD PROCTOR DENSITY OR EQUIVALENT RELATIVE DENSITY. TRENCH ZONE COMPACTION SHALL BE 95% STANDARD OR MODIFIED PROCTOR DENSITY OR EQUIVALENT RELATIVE DENSITE INSIDE STREET RIGHTS-OF-WAY, AND 90% STANDARD OR MODIFIED PROCTOR DENSITY OR EQUIVALENT RELATIVE DENSITY OUTSIDE STREET RIGHTS-OF-WAY UNLESS SPECIFIED OTHERWISE.
9. PRIVATE STORM SEWERS WILL BE RCP CLASS III, OR OTHER MATERIAL APPROVED BY THE CITY OF LOUISVILLE ENGINEERING DEPARTMENT.
10. SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) PIPE SHALL CONFORM TO ASTM D-3034 TYPE PSM WITH A MINIMUM SDR OF 35. JOINTS SHALL BE ELASTOMETRIC GASKET TYPE MEETING THE REQUIREMENTS OF ASTM D-3212.
11. THE CONTRACTOR SHALL VIDEO INSPECT THE SANITARY SEWER FROM THE CONNECTION POINT TO THE MAIN PRIOR TO THE START OF CONSTRUCTION, OR PRIOR TO DEMOLITION ON RAZE AND REBUILD SITES.
12. DOMESTIC WATER SERVICE LINES SHALL BE TYPE "K" COPPER.
13. COORDINATE LOCATION OF ELECTRIC METER AND TRANSFORMER, AND GAS METER WITH MECHANICAL DRAWINGS. CONTRACTOR TO COORDINATE SERVICE CONNECTIONS WITH CITY.

20 0 10 20

PLAN SCALE: 1" = 20'

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DRAWING TITLE: UTILITY PLAN

SHEET NO: 4 of 8

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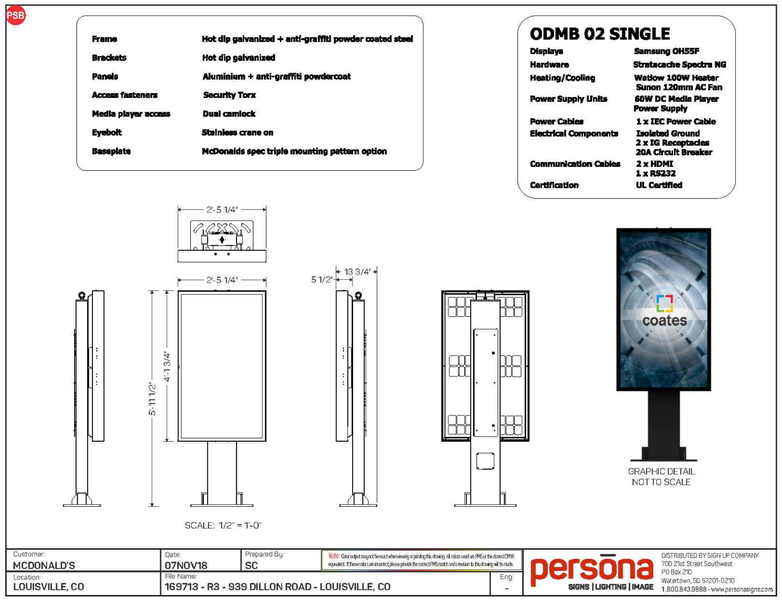
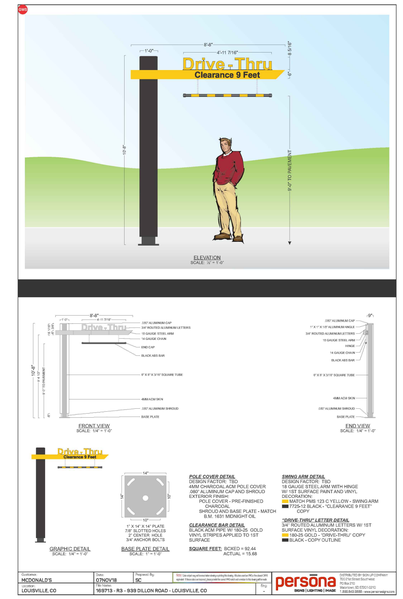
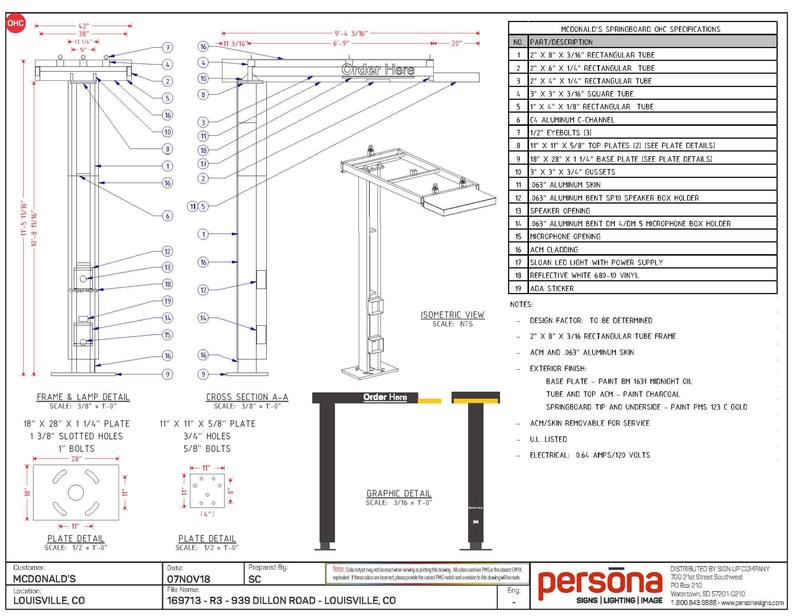
STORE #50-0294
939 W. DILLON ROAD
LOUISVILLE, COLORADO



PRE-SELL



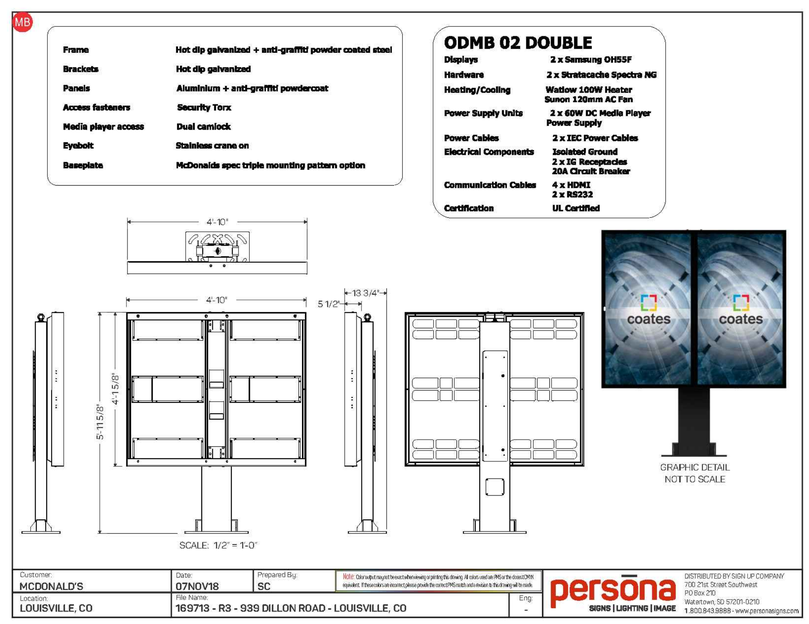
GATEWAY



MCDONALD'S SPRINGBOARD OHC SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	2" X 8" X 3/16" RECTANGULAR TUBE
2	2" X 6" X 1/4" RECTANGULAR TUBE
3	2" X 4" X 1/4" RECTANGULAR TUBE
4	3" X 3" X 3/16" SQUARE TUBE
5	1" X 4" X 1/8" RECTANGULAR TUBE
6	C4 ALUMINUM C-CHANNEL
7	1/2" EYEBOLTS (3)
8	11" X 11" X 5/8" TOP PLATES (2) (SEE PLATE DETAILS)
9	18" X 28" X 1 1/4" BASE PLATE (SEE PLATE DETAILS)
10	3" X 3" X 3/4" GUSSETS
11	.063" ALUMINUM SKIN
12	.063" ALUMINUM BENT SP10 SPEAKER BOX HOLDER
13	SPEAKER OPENING
14	.063" ALUMINUM BENT DM 4/DM 5 MICROPHONE BOX HOLDER
15	MICROPHONE OPENING
16	ACM CLADDING
17	SLOAN LED LIGHT WITH POWER SUPPLY
18	REFLECTIVE WHITE 680-10 VINYL
19	ADA STICKER

NOTES:
- DESIGN FACTOR: TO BE DETERMINED
- 2" X 8" X 3/16 RECTANGULAR TUBE FRAME
- ACM AND .063" ALUMINUM SKIN
- EXTERIOR FINISH:
  - BASE PLATE – PAINT BM 1631 MIDNIGHT OIL
  - TUBE AND TOP ACM – PAINT CHARCOAL
  - SPRINGBOARD TIP AND UNDERSIDE – PAINT PMS 123 C GOLD
- ACM/SKIN REMOVABLE FOR SERVICE
- U.L. LISTED
- ELECTRICAL: 0.64 AMPS/120 VOLTS

ORDER CANOPY



OUTDOO DIGITAL MENU BOARD (ODMB)

NO.	DATE	REVISION DESCRIPTION

CIVIL ENGINEERING CONSULTANT:

Strategic Land Solutions, Inc.
Civil Engineering · Land Planning · Entitlements
2595 PONDEROSA ROAD
FRANKTOWN, CO 80116
720.384.7661 Phone
rpalmer@strategicls.net
Robert J. Palmer, PE
President

PREPARED UNDER THE DIRECT SUPERVISION OF:

SEAL: COLORADO REGISTERED ROBERT J. PALMER 36320 PROFESSIONAL ENGINEER

BY Robert J. Palmer, PE
Licensed Professional Engineer (CO PE #36320),
AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

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CITY: LOUISVILLE
STATE: COLORADO
COUNTY: BOULDER
STATE STORE #: 50294
NATIONAL #: XXXXX
REGIONAL DWG. NO: -

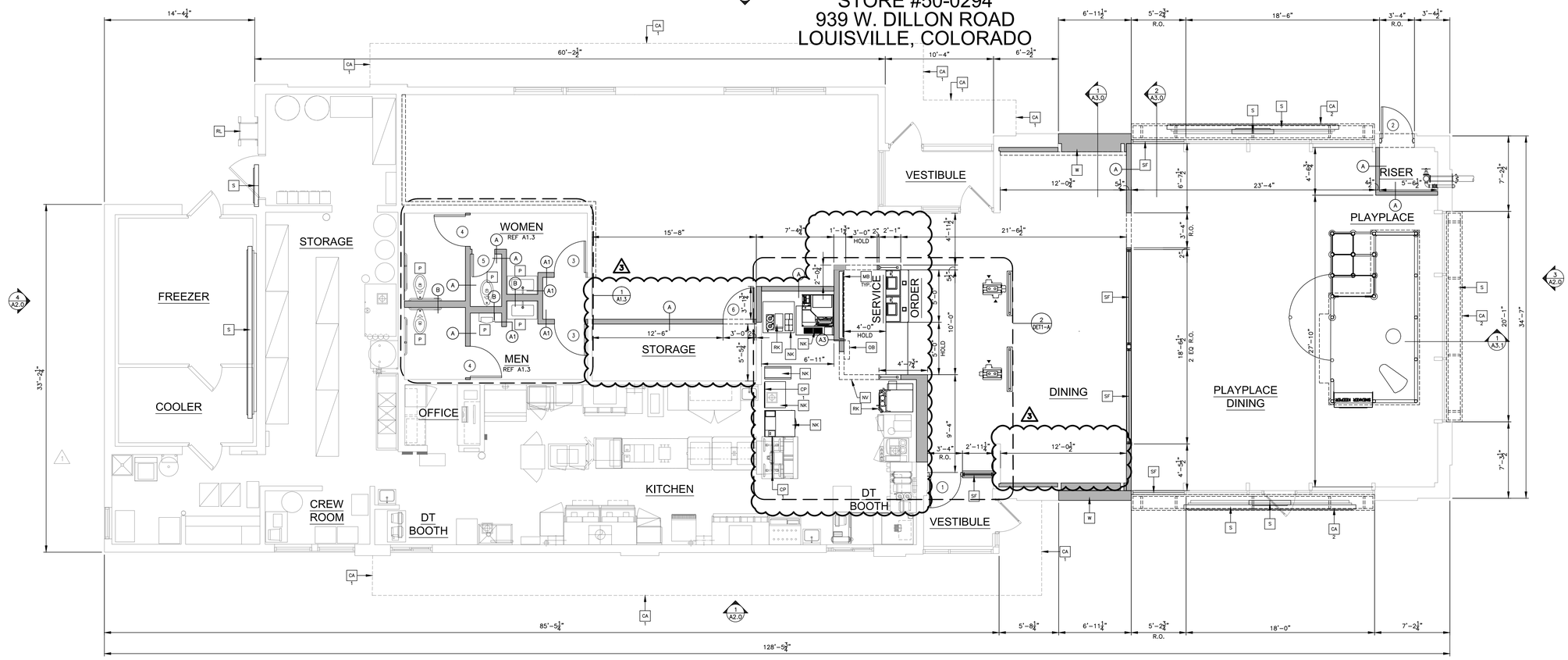
SCALE:	as noted	McD RE:	BOWAN
DATE:	04/30/2021	McD P/CM:	PROPHET
DESIGNED BY:	RJP		
DRAWN BY:	RJP	FILE NAME:	CURRENT.DWG
CHECKED BY:	RJP		SLS JN: 14-001-47

DRAWING TITLE: SITE PLAN DETAILS

SHEET NO: 5 of 8

MCDONALDS PUD AMENDMENT #4

LOT 4, CENTENNIAL VALLEY, PARCEL "O" FILING NO. 4,
CIVIL ENGINEERING PLAN
STORE #50-0294
939 W. DILLON ROAD
LOUISVILLE, COLORADO



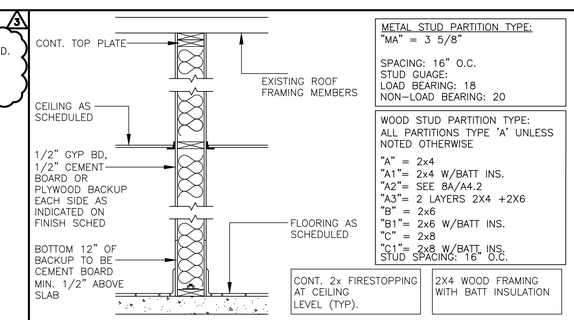
EXISTING WALLS TO REMAIN, PROTECT AND PRESERVE

NEW 2X WOOD STUD FRAMING, REF WALL TAGS FOR SIZE

EXISTING WALLS, WINDOWS, AND FIXTURES TO BE REMOVED

KEYED FLOOR PLAN NOTES:

- CP — CP1–DARK CURATED VIEW PANEL: COLOR: WILSONART – STEEL MESH 4879–38
  CP2–LIGHT CURATED VIEW PANEL: COLOR: WILSONART – FASHION GRAY D381–60
  NOTE: GC TO RECEIVE CURATED PANEL MOUNTS FROM S&D VENDOR
- P — NEW ADA COMPLIANT PLUMBING FIXTURES, REF MEP
- RL — EXISTING ROOF LADDER PAINT TO MATCH BASE BUILDING
- S — SIGNAGE BY OTHERS SEE ELEVATIONS, REUSE EXISTING WHERE POSSIBLE
- CA — 1– EXISTING CANOPY SYSTEN. GC TO RE–CLAD–COLOR: CITYSCAPE
  2– NEW CANOPIES WITH COLOR FASCIA
- SF — NEW STOREFRONT SYSTEM, SEE 3/A3.0 FOR NOTES, MATCH EXISTING
- EV — EXISTING VALANCE TO REMAIN.
- OB — NEW ORDER READY BOARD.
- NV — NEW VALANCE TO TIE INTO EXISTING. GC TO REFERENCE 6/DET1–A FOR FINISHES.
- W — NEW WOOD INFILL WALL, REF SECTIONS AND ELEVATIONS
- NK — NEW KITCHEN EQUIPMENT TO BE PROVIDED BY KES
  –ABS 2.0 W/ TEA TABLE, 3' CENTER ISLAND, LANDING CART, STAGING CART, 30" ORDER ASSEMBLY STATION W/ FRIDGE, BLENDER BRACKET & DESSERT BUTLER
- RK — EXISTING KITCHEN EQUIPMENT TO BE RELOCATED.
  –EQUIPMENT ON TOP OF CENTER ISLAND
  –McFLURRY BLENDER
  –COMBO SHAKE MACHINE
- FE — RELOCATED EXISTING FIRE EXTINGUISHER.



1 NEW FLOOR PLAN SCALE 3/16" = 1'–0"

3 DOOR HARDWARE SCALE N/A

2 INTERIOR WALL SECTION SCALE 3/4" = 1'–0"

GENERAL FLOOR PLAN NOTES:

ALL EXIT DOORS SHALL BE KEYLESS IN THE DIRECTION OF EGRESS.

THE OPENING FORCE OF ALL EXTERIOR PUSH/PULL DOORS SHALL NOT EXCEED 8 1/2 LBS.

THE OPENING FORCE OF ALL INTERIOR PUSH/PULL DOORS SHALL NOT EXCEED 5 LBS.

PROVIDE PANIC HARDWARE FOR ALL EXTERIOR DOORS AS NOTED ON THE DOOR SCHEDULE.

ALL DOOR HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.

PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING WALLS, FLOORS, CEILINGS, ETC... THAT ARE TO REMAIN, CONTRACTOR TO PATCH & REPAIR ANY DAMAGED PORTIONS OF THE EXISTING BUILDING AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION & FINISHES.

HARDWARE A
CLOSER: LCN 4021 x 18
HINGES: OFFSET PIVOT ANSI –A–156.4 GRADE 1; PROVIDE EXPOSED PARTS OF CAST ALUMINUM ALLOY, AS SUPPLIED BY DOOR MANUFACTURER
HANDLE: KAWNEER #CO–9 OR HAGER PUSH/PULL SET 164D/V/B
PANIC: ADAMS RITE MFG. CO. 8800 SERIES WITH OUTSIDE CYLINDER ON 1, 1A DOOR ONLY (FINISH TO MATCH STOREFRONT DOOR)
THRESHOLD: NATIONAL GUARD PRODUCTS, INC. SADDLE TYPE THRESHOLD 325, 36" WIDE x 1/2" RISE (ADA ACCESSIBLE)
WEATHER: PROVIDE COMPRESSION WEATHER STRIPPING AGAINST FIXED STOPS. AT OTHER EDGES PROVIDE SLIDING WEATHER STRIPPING RETAINED IN ADJUSTABLE STRIP MORTISED INTO DOOR EDGE. PROVIDE EPDM OR VINYL GASKET WEATHER STRIPPING IN BOTTOM DOOR RAIL ADJUSTABLE FOR CONTACT W/THRESHOLD

HARDWARE B
CLOSER: LCN LDPA4031 SNB ALUM, PULL SIDE MOUNTED
HINGES: HAGER –BB1279 US26D 4 1/2"x4 1/2" – 1 1/2 PAIR OR EQUAL.
HINGET:
PUSH/PULL: PUSH & PULL PLATE: PUSH – HAGER 30S 4x16 US 28KICK PLATES: HAGER 190S US28, ALUM. 8" x 34" (2) PER DOOR PULL – HAGER H33E 4x16 US 28
WALL STOP: HAGER 236W US 32 D
KICK PLATES: HAGER 190S US28, ALUM. 8" x 34" (2) PER DOOR
SILENCERS: HAGER, QUANTITY = 3
SAFETY: FINGER SAFE MKIB OPEN HINGE SIDE AND MKIB CLOSED HINGE SIDE OF DOOR, BRN
BOTTOM: UNDERCUT DOOR BY 3/4"

HARDWARE C
HINGES: HAGER BB1250 US 26D 4 1/2 x 4 1/2 – 1 PAIR AND HAGER BB1279 US 26D 4 1/2 x 4 1/2 – 1/2 PAIR
LOCKSET: HAGER #3215 (modified) US 26D DEAD BOLT
HANDLE: PULL – HAGER CA09 CFC 2 1/8 32D (EACH SIDE)
WALL STOP: HAGER 236W US 32 D
COAT HOOK: BRADLEY 932 ROBE HOOK, INSIDE FACE OF DOOR AT 48" A.F.F.

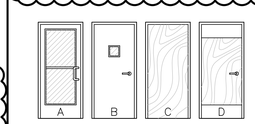
HARDWARE D (NOT USED)
CLOSER: LCN 4041 x 18
HINGES: OFFSET PIVOT ANSI –A–156.4 GRADE 1; BY DOOR MANUFACTURER
HANDLE: HAGER PUSH/PULL SET 164D/V/B

HARDWARE E
HINGES: HINGE 780–112HD 83" ALUM HAGER
LOCK: ND80PD RHO 626 SCHLAGE
LOCK GUARD: CLP110 US32D DON JO
WTH/STP: 160V 36 X 84 N.GUARD
THRESHOLD: 425E 36" N.GUARD
SWEEP: 101VA 36" N.GUARD
SEC. LOUVER: LVRSG–3 DKB 18 X 18 N.GUARD

HARDWARE F
HINGES: HINGE BB1279 4 1/2 X 4 1/2 US26D HAGER
LOCK: ND80PD RHO 626 SCHLAGE

DOOR SCHEDULE

(DOOR)	MATERIAL & SIZE	TYPE	H.W.	FRAME
1	ALUMINUM 3070 WITH GLASS	A	A	ALUM
2	HM 3070 FIRE RISER	B	E	H.M.
3	SCWD 3070 RESTROOM MAIN	C	B	H.M.
4	SCWD 3050 RESTROOM STALL	D	C	H.M.
5	SCWD 2250 RESTROOM STALL	D	C	H.M.
6	SCWD 3068 SERVICE CLOSET	C	F	H.M.



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DRAWN BY: RJP	FILE NAME: CURRENT.DWG
CHECKED BY: RJP	SLS JN: 14-001-42
DRAWING TITLE: A1.0	
SHEET NO: 60F8	

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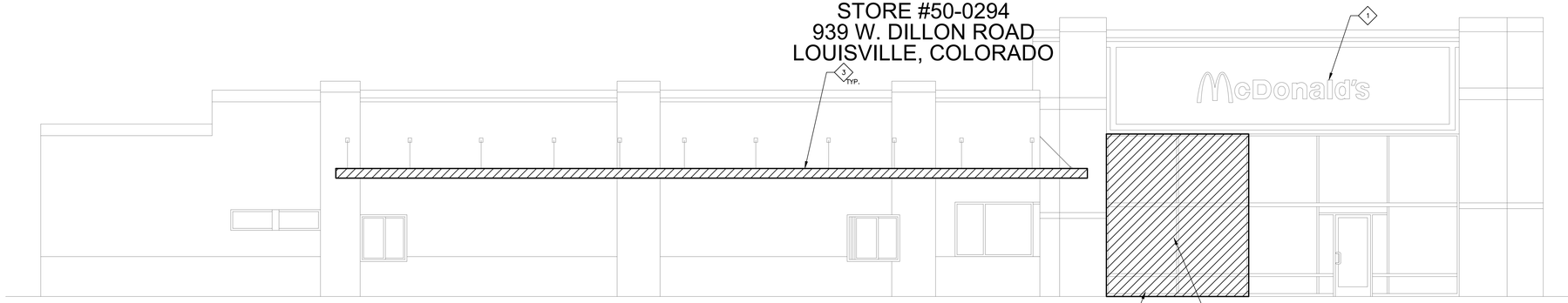
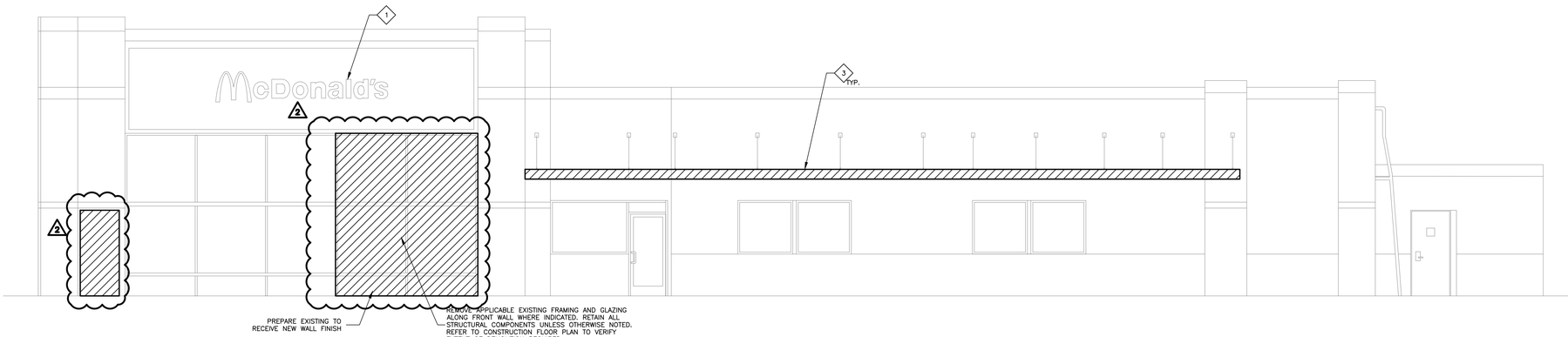
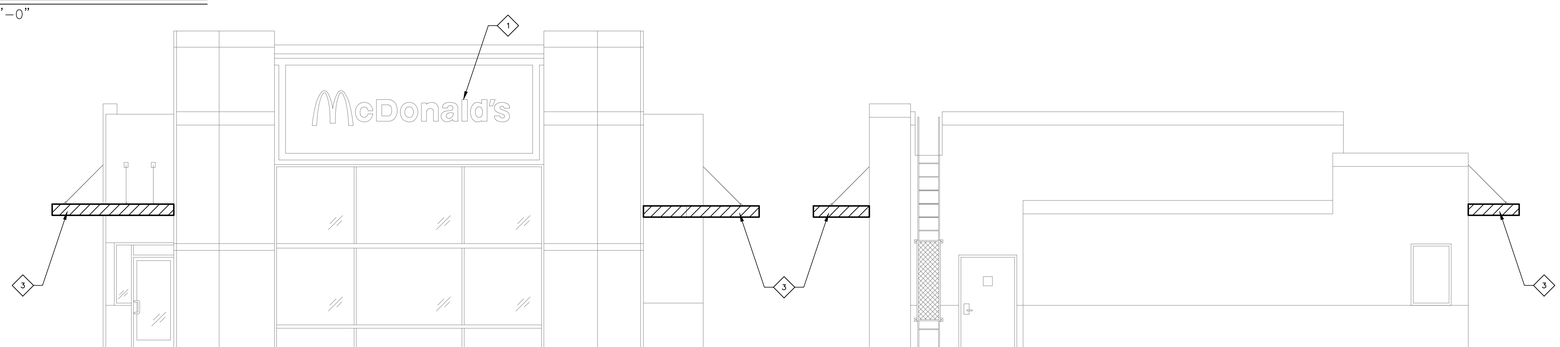


1 / D1.1 **DEMO EXISTING EAST ELEVATION**
3/16" = 1'-0"



2 / D1.1 **DEMO EXISTING WEST ELEVATION**
3/16" = 1'-0"



3 / D1.1 **DEMO EXISTING NORTH ELEVATION**
3/16" = 1'-0"

4 / D1.1 **DEMO EXISTING SOUTH ELEVATION**
3/16" = 1'-0"

DEMOLITION KEY NOTES:

1. REMOVE EXISTING BUILDING SIGNAGE EXTEND REUSE EXISTING SUPPORTS

3. CANOPY SYSTEM TO BE RECLADED. REF A2.0.

AS NECESSARY:
REMOVE EXISTING EXTERIOR PLAYPLACE FENCING AND EXISTING SAFETY SURFACE
REMOVE EXISTING EXTERIOR TABLES AND CHAIRS
REMOVE EXISTING CONCRETE CURBS AS NECESSARY
REMOVE EXISTING EXTERIOR DECORATIVE WOOD TRIM
REMOVE EXISTING ASPHALT PARKING LOT GUARDRAILS AND BOLLARDS AS REQUIRED TO ACCOMMODATE NEW WORK

1. THESE DRAWINGS WERE PREPARED BASED ON INFORMATION ATTAINED FROM A SITE SURVEY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION & NOTIFY THIS OFFICE IN CASE OF DISCREPANCIES ASAP. DEMOLITION IS TO BE EXECUTED SO AS NOT TO DISTURB EXISTING STRUCTURAL & ROOFING SYSTEMS, AND OTHER AREAS THAT ARE INTENDED TO REMAIN INTACT. VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO STRUCTURAL SYSTEM PRIOR TO DEMOLITION.

2. ALL DIMENSIONS SHOWN AS EXISTING SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION. VERIFY ALL DEMOLITION WORK W/ NEW CONSTRUCTION & INSTALLATION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.

3. DEMOLITION CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF STARTING DEMOLITION, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE THE NECESSARY ALLOWANCES IN PREPARING HIS BID.

4. ELECTRICAL DEMOLITION NOTE: REFER TO ELECTRICAL DRAWINGS FOR DETAILED ELECTRICAL DEMOLITION NOTES.

5. VERIFY DISPOSITION OF ALL FURNISHINGS, MILLWORK, LIGHTING FIXTURES, ETC. TO BE REMOVED W/ OWNER. ALL ITEMS TO BE DISPOSED SHALL BE DISPOSED OF OFF-SITE AND IN AN EXPEDITIOUS MANNER.

6. ROOFING CONTRACTOR TO FIELD INSPECT EXISTING ROOF FOR WEATHER TIGHTNESS & PROPER DRAINAGE PRIOR TO BID. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING ROOF CONDITION AND FOR INCLUDING ANY NECESSARY REPAIR COSTS IN BID.

7. SAWCUT & REMOVE EXISTING SLABS AS REQUIRED FOR UNDERGROUND ELECTRICAL & PLUMBING LINES. REFER TO PLUMBING, ELECTRICAL & KITCHEN DRAWINGS FOR ALL SAWCUTS & TRENCHING WORK REQUIRED. ALL CONCRETE FLOOR WORK TO BE FINISHED FLUSH WITH EXISTING FLOOR. DOWEL NEW SLABS TO EXISTING W/ #4 REBAR @ 24" O.C. EACH SIDE (STAGGERED). REBAR TO EXTEND 6" INTO EXISTING SLAB & ACROSS CUT OPENING. SECURE REBAR INTO EXISTING SLAB W/ EPOXY GROUT. REPLACE OR REPAIR ANY VAPOR BARRIERS DISTURBED DURING EXCAVATIONS.

8. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.

9. PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING WALLS, FLOORS, CEILINGS, ETC. THAT ARE TO REMAIN. CONTRACTOR TO PATCH & REPAIR ANY DAMAGED PORTIONS OF THE EXISTING BUILDING AS REQUIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION & FINISHES.

10. THIS PLAN INDICATES A GENERAL SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR TO COMPLETE THE BUILDING MODIFICATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL & HVAC WORK.

11. IF CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION OR CONSTRUCTION, HE SHALL IMMEDIATELY SUSPEND WORK & NOTIFY THE MCDONALD'S AREA CONSTRUCTION MANAGER BEFORE PROCEEDING.

12. ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER & IN STRICT ACCORDANCE WITH OSHA REGULATIONS.

13. THE SUB-CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION. THE WORK INCLUDES, BUT IS NOT LIMITED TO THE DEMOLITION AND REMOVAL OF ANY WALLS, COUNTERS, FURNITURE, BULKHEADS, DOORS, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS INCLUDING CONDUITS AND DUCTWORK AS SHOWN ON THE DRAWINGS OR AS REQUIRED TO COMPLETE THE INSTALLATION OF THE NEW WORK FOR A COMPLETE JOB.

14. REMOVE ANY SINKS, WATER CLOSETS, URINALS, LAVATORIES, FLOOR DRAINS, NOTED ON DRAWINGS AS WELL AS ALL ASSOCIATED PLUMBING ACCESSORIES. CAP, PLUG ALL ABANDONED SUPPLY & WASTE LINES. PATCH & SEAL ALL FLOOR PENETRATIONS. SEE MECHANICAL & PLUMBING DRAWINGS FOR DETAILED DEMOLITION NOTES.

15. WHEN UTILITIES ARE REMOVED, CAP & SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH CEILING.

NO.	DATE	REVISION DESCRIPTION

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DRAWING TITLE: D1.1

SHEET NO: 70F8

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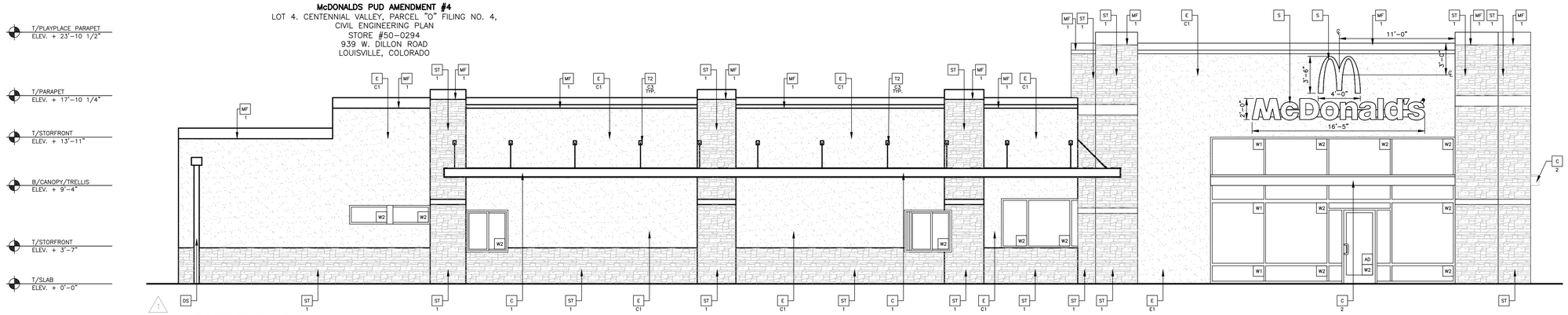
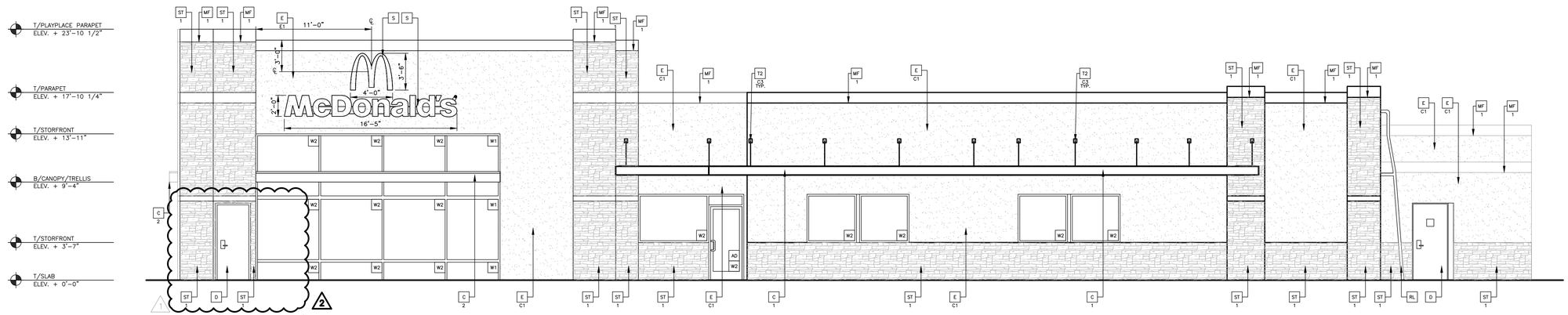
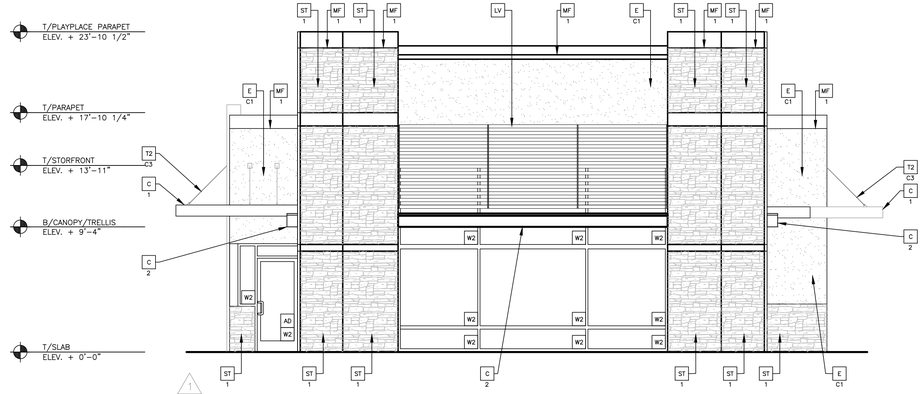


1 EAST ELEVATION SCALE 3/16" = 1'-0"



2 WEST ELEVATION SCALE 3/16" = 1'-0"



3 NORTH ELEVATION SCALE 3/16" = 1'-0"

4 SOUTH ELEVATION SCALE 3/16" = 1'-0"

D — HOLLOW METAL DOOR PAINT TO MATCH COLOR OF SURROUNDING MATERIAL

DS — EXISTING MTL GUTTER AND DOWN SPOUTS. (G.C. TO VERIFY DRAINING PROPERLY.) PAINT TO MATCH BUILDING

LV — METAL LOUVER PANEL BY TRELLIS VENDOR COLOR: CITYSCAPE

E — EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.) 'OUTSULATION PLUS MD' BY DRYVIT OR EQUAL
XX — HIGH IMPACT ZONES: 'PANZER 20' ULTRA HIGH IMPACT MESH ASSEMBLY FOR EIFS AREAS WITHIN 8'-0" OF GRADE
FINISH: HYDROPHOPIC TEXTURE: SANDPEBBLE

COLOR: STATOTONE HIGH PERFORMANCE COLORANT – MATCH TO BENJAMIN MOORE OR EQUAL
C1 = FAIRVIEW TAUPE HC-85 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE

MF — METAL FASCIA (COLOR: CITYSCAPE)
X-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA

RL — EXISTING ROOF LADDER PAINT TO MATCH BASE BUILDING

ST — STONE
1 = EXISTING UNPAINTED MASONRY

S — McDONALD'S SIGNAGE BY OTHERS UNDER SEPARATE PERMIT

T2 — ALUMINUM TRELLIS TIE-BACK SYSTEM
XX-COLOR:
C3 = CHARCOAL

W1 — NEW STOREFRONT AND GLAZING
1-1 = NEW STOREFRONT AND GLAZING
2 = EXISTING WINDOW TO REMAIN

C — ALUMINUM CANOPY FASCIA SYSTEM
1= EXISTING CANOPY RECLAD CANOPY, COLOR: CITYSPACE
2 = ALUMINUM CANOPY FASCIA SYSTEM. COLOR: WHITE

T2 — ALUMINUM TRELLIS TIE-BACK COLOR: CHARCOAL

AD — NEW ADA SIGNAGE MOUNT AT 60" AFF TO CENTER OF SIGN PROVIDE 1 ON INSIDE AND OUTSIDE

BASE BUILDING PAINT

BM FAIRVIEW TAUPE
HC - 85

"McDonald's" Wall Signs
North Elevation- 0 SF
East Elevation- 47.8 SF
West Elevation- 47.8 SF
South Elevation-47.8 SF

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CITY: LOUISVILLE
STATE: COLORADO
COUNTY: BOULDER
STATE STORE #: 50294
MATERIAL #: XXXXX
REGIONAL DWG. NO: -

SCALE: as noted	McD RE: BOWAN
DATE: 04/30/2021	McD P/CM: PROPHET
DESIGNED BY: RJP	
DRAWN BY: RJP	FILE NAME: CURRENT.DWG
CHECKED BY: RJP	SLS JB: 14-001-47

DRAWING TITLE:

A2.0

SHEET NO:

80F8