



NORTHEAST VIEW FROM ALLEY (VIA ARTIST)



SOUTHEAST VIEW FROM MAIN STREET AND PINE STREET



NORTHWEST VIEW FROM MAIN STREET

OWNERSHIP SIGNATURE BLOCK

By signing this PUD, the owner acknowledges and accepts all the requirements and intent set forth in this PUD. Witness my/our hand(s) seal(s) this ____ day of _____, 20__.

Steven A. Erickson
Owner of 712 Main Street: 712 Main Street LLC
Steven A. Erickson
Owner of 722 Main Street: 722 Main Street LLC

Notary Name (print) (Notary Seal)

Notary Signature
My Commission Expires _____

CLERK AND RECORDER CERTIFICATE
(COUNTY OF BOULDER, STATE OF COLORADO)

I hereby certify that this instrument was filed in my office at _____ o'clock, _____. M., this ____ day of _____, 20__, and is recorded in Plan File _____, Fee _____ paid, _____ Film No. _____ Reception.

Clerk & Recorder

Deputy

CITY COUNCIL CERTIFICATE

Approved this ____ day of _____, 20__ by the City Council of the City of Louisville, Colorado.

Resolution No. _____, Series _____

Mayor Signature

City Clerk Signature

PLANNING COMMISSION CERTIFICATE

Approved this ____ day of _____, 20__ by the Planning Commission of the City of Louisville, Colorado.

Resolution No. _____, Series _____

PROJECT DATA

PROJECT LOCATION: 712-722 MAIN ST.

LOT AREA: 14,114 SF

ZONING: CC - COMMERCIAL COMMUNITY
OVERLAYS: DOWNTOWN CORE AREA; CENTRAL BUSINESS DISTRICT

APPLICABLE STANDARDS: DESIGN HANDBOOK FOR DOWNTOWN LOUISVILLE
DOWNTOWN LOUISVILLE FRAMEWORK PLAN
DOWNTOWN LOUISVILLE SIGN MANUAL

PROPOSED USES: ANY APPROVED USES INCLUDING RETAIL, RESTAURANT, AND PROFESSIONAL OFFICES

LEGAL DESCRIPTION: LOTS 8 AND 9 OF BLOCK 3 TOWN OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

PROJECT DESCRIPTION: FINAL PUD TO REDEVELOP THE TWO EXISTING BUILDINGS @ 712 & 722 MAIN STREET TO PROVIDE A NEW 3-STORY COMMERCIAL BUILDING OF 22,020 sf PLUS AN AT-GRADE PARKING GARAGE OF 5,802 sf FOR 14 VEHICLES PLUS ALLEY PARKING FOR 4 VEHICLES.

YARD & BULK REQUIREMENTS		
	Required	Provided
Minimum Lot Area	N/A ¹	N/A
Minimum Lot Width	N/A ¹	N/A
Maximum Lot Coverage	N/A ¹	N/A
Minimum Front Yard	0 ¹	0
Minimum Side Yard	0 ¹	0
Minimum Rear Yard	20'	20'
Maximum Building Height	45' ²	45'

FOOTNOTES PER LMC 17.12.040

- These requirements for the C-C district shall not be applicable in the Central Business District
- In the Commercial Core area of downtown, maximum building height for principal uses shall be 45' or as applicable in the Design Handbook for Downtown Louisville

FLOOR AREAS

BASEMENT	
Tenant Areas	0 SF
Storage Area N	2,129 SF
Storage Area S	2,821 SF
Common Area	810 SF
Total Basement Floor Area	5,560 SF

MAIN LEVEL	
Tenant Areas	4,446 SF
Common Area	1,063 SF
Garage	5,802 SF
Total Main Level Floor Area	5,509 SF

SECOND LEVEL	
Tenant Areas	7,831 SF
Common Area	2,018 SF
Total Second Level Floor Area	9,849 SF

THIRD LEVEL	
Elevator/Lobby Area	693 SF
Potential Kitchenette	409 SF
Total Third Level Floor Area	1,102 SF

TOTAL	
Tenant Areas:	12,277 SF
Total Storage Areas:	4,750 SF
Total Common Areas:	4,993 SF
Total Garage Areas:	5,802 SF

BUILDING FLOOR AREA:	
TOTAL GARAGE AREA:	5,802 SF

TENANT FLOOR AREA	
TOTAL STORAGE AREA	12,277 SF (For Parking)
TOTAL STORAGE AREA	4,750 SF (Not incl. in parking calc.)

ABOVE GRADE	
BUILDING FLOOR AREA	22,262 SF (For FAR calc. Not incl. basement but incl. main level pkg garage)

GENERAL NOTES

- OVERHEAD POWER LINES ON THIS PROPERTY WILL BE BURIED UNDERGROUND.

REQUESTED WAIVERS

- LMC 17.12.040: 20' REAR SETBACK ENCROACHMENT OF 19'-3" FOR 12' WIDE STAIR TOWER & 6'-11" FOR OVERHANGING BALCONIES. THESE ELEMENTS VISUALLY LESSEN THE IMPACT OF THE MASS OF THE BUILDING.

REQUIREMENTS FOR DOWNTOWN CORE AREA

FAR	
Allowed	2.0
Actual	1.58
(Building Floor Area not including Basement divided by Lot Area)	

PARKING

Required	
Required	23
Provided	18

*One alley parking space used for loading from Sam to Sam only

BIKE PARKING

Required	
Required	3
Provided	5

(Bicycle parking is required at the rate of 1 bicycle parking space per every 10 required parking spaces)

PARKING NOTES:

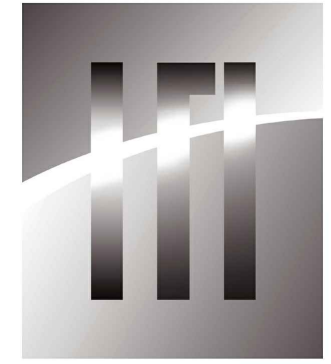
- LMC 17.020.025 DESIGNATES PARKING STANDARDS FOR DOWNTOWN LOUISVILLE
1.1. REQUIRED: AFTER FIRST 999SF, PARKING SHALL BE PROVIDED AT A RATE OF 1 SPACE PER 500SF
- COMMON AREAS LISTED ON THE FLOOR AREA TABULATION CHART ARE THE AREAS EXCLUDED FROM REQUIRED PARKING CALCULATIONS UNDER LOUISVILLE MUNICIPAL CODE SECTION 17.20.025, WHICH ALLOWS EXCLUSION OF VENT SHAFTS, COURTS, UNINHABITABLE AREAS BELOW GROUND LEVEL OR IN ATTICS, OR AREAS WITHIN HALLWAYS, STAIRWAYS, ELEVATOR SHAFTS AND BATHROOMS. FURTHER, STORAGE & COMMON AREAS IN THE BASEMENT ARE INTENDED SOLELY FOR STORAGE, MECHANICAL EQUIPMENT, A FIRE ROOM & THE ELEVATOR SHAFT AND SHALL NOT COUNT TOWARDS REQUIRED PARKING. ANY MODIFICATIONS TO USE OF THE BASEMENT IS SUBJECT TO CITY REVIEW & APPROVAL AS AN AMENDMENT TO THE PLANNED UNIT DEVELOPMENT AND REEVALUATION OF REQUIRED PARKING UNDER SECTION 17.20.025 OF THE LMC - PARKING STANDARDS DESIGNATED FOR DOWNTOWN LOUISVILLE OR AS HEREINAFTER AMENDED.
- THE CITY MAY VERIFY AND ADJUST THE TOTAL REQUIRED PARKING AT THE TIME OF BUILDING PERMIT FOR TENANT FINISH BASED ON THE REQUIREMENTS OF SECTION 17.20.025 OF THE LMC - PARKING STANDARDS DESIGNATED FOR DOWNTOWN LOUISVILLE OR AS HEREINAFTER AMENDED.

**TERRACES ON MAIN
BOULDER CREEK
NEIGHBORHOODS
LOTS 8 & 9 OF BLOCK 3
TOWN OF LOUISVILLE, CO**

**FINAL PUD &
SPECIAL REVIEW USE**

PROJECT DIRECTORY	
OWNER	712 MAIN STREET, LLC & 722 MAIN STREET, LLC 712 Main Street Louisville, CO 80027 (303) 544-5857 Contact: Rick Woodruff
ARCHITECT/PLANNER	Harttronn Associates, p.c. 950 Spruce Street, #2A, Louisville, CO 80027 (303) 673-9304 / Fax (303) 673-9319 Contact: J. Erik Harttronn, AIA Email: erik@hapcdesign.com
CIVIL ENGINEER	Scott Cox & Associates, Inc. 1530 55th Street, Boulder, CO 80303 (303) 444-3051 / Fax (303) 444-3387 Contact: Don Ash Email: ash@scottcox.com

SHEET INDEX	
SHEET	DESCRIPTION
ARCHITECTURAL	
1 - A0.1	COVER, SIGNATURE BLOCKS, PROJECT DATA, SHEET INDEX
2 - A1.0	PUD PLAN, FLOOR PLANS, PERSPECTIVE
3 - A1.1	SPECIAL REVIEW USE PLAN
4 - A2.0	ELEVATIONS, MATERIALS, AND SECTION
5 - PH1.0	PHOTOMETRIC PLAN
CIVIL	
6 - C1.01	GRADING, DRAINAGE, & EROSION CONTROL PLAN
7 - C1.02	UTILITY PLAN



**HARTTRONN
ASSOCIATES**
A Professional Corporation

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BOULDER CREEK NEIGHBORHOODS
LOTS 8 & 9 OF BLOCK 3 TOWN OF LOUISVILLE, CO
FINAL PUD AND SPECIAL REVIEW USE**

**FINAL PUD
& SPECIAL
REVIEW USE**

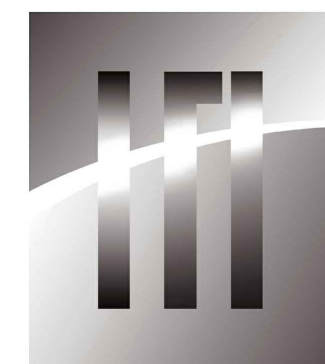
PROJECT # 1451
DATE: 10/2/17
DRAWN BY: HAPC
CHECKED BY: JEH
REVISIONS:
R1 - 10/2/17
R2 - 10/2/17
R3 - 10/2/17
R4 - 10/2/17
R5 - 10/2/17

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**COVER
SIGNATURE
BLOCK
PROJECT DATA
SHEET INDEX**

Sheet
A0.1
1 of 7 Sheets





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BOULDER CREEK NEIGHBORHOODS
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FINAL PUD
& SRU
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RCC-02 - 01/26/18
RCC-03 - 03/20/18
RCC-04 - 05/20/18
RCC-05 - 01/22/19

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SPECIAL REVIEW
USE PLAN

Sheet

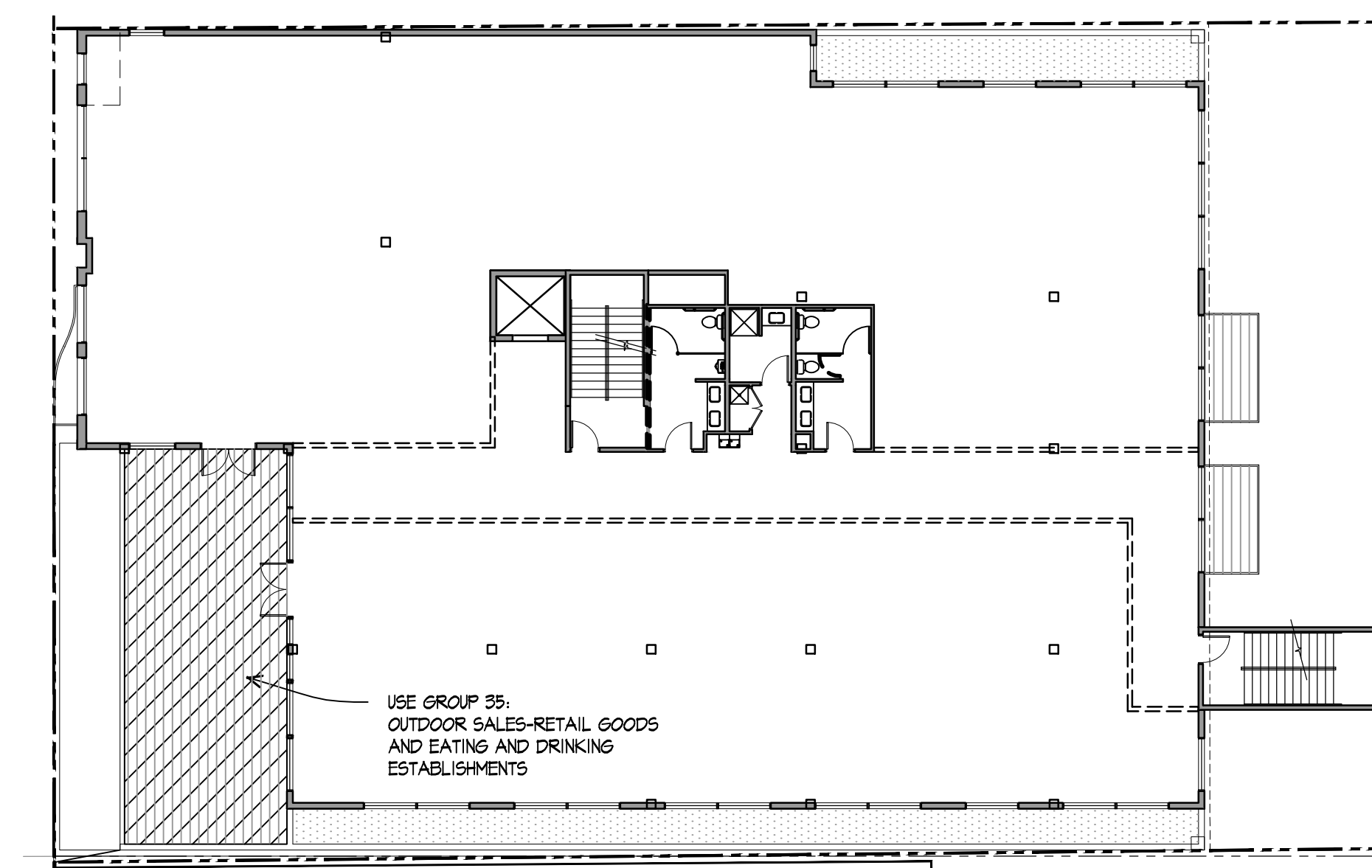
A1.1

3 of 7 Sheets

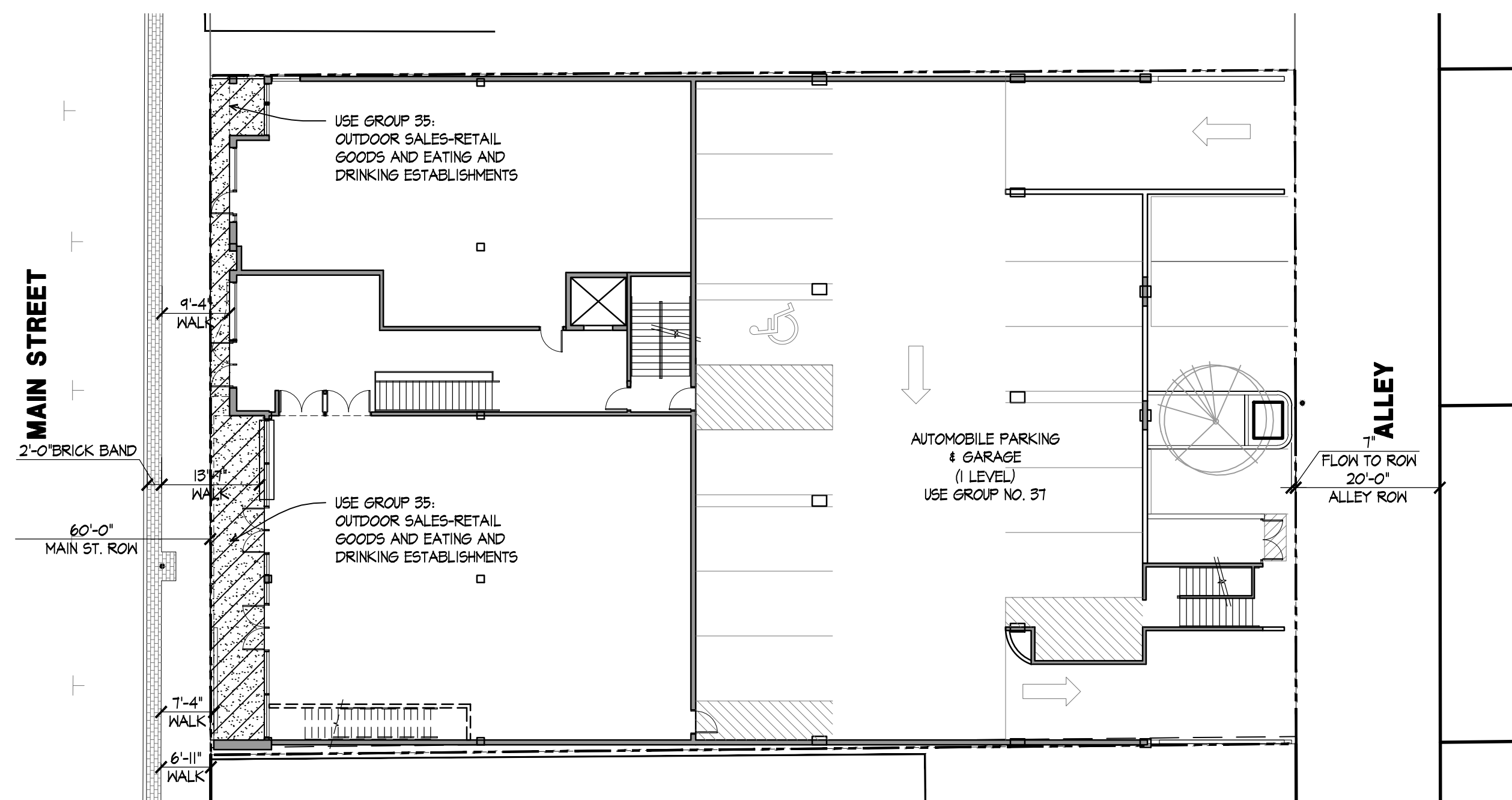
712 - 722 MAIN STREET - SPECIAL REVIEW USE

NOTES:

1. EXISTING ZONING CC ALLOWS OUTDOOR SALES AND EATING AND DRINKING ESTABLISHMENTS USES AND PARKING GARAGES USES WHEN AUTHORIZED THROUGH A SPECIAL REVIEW USE.
2. OUTDOOR ACTIVITY USES SHALL INCLUDE: OUTDOOR SALES AND EATING AND DRINKING ESTABLISHMENTS.
3. OUTDOOR AMPLIFIED MUSIC SHALL BE PROHIBITED.
4. NIGHTTIME HOURS OF OPERATION FOR THE OUTDOOR DINING AREAS SHALL NOT EXTEND PAST 12AM.



C1
A1.1 1/16" = 1'-0"



B1
A1.1 1/16" = 1'-0"



MATERIAL KEYNOTES

A: IPE OR SIMILAR HORIZONTAL (4"-6") WOOD SIDING

AI: IPE OR SIMILAR WOOD LATTICE

B: TRESPA OR REYNOLBOND COMPOSITE PANEL WITH WOOD GRAIN

C: IPE OR SIMILAR SQUARE-EDGE WOOD SHIPLAP SIDING

D: FLAT-SEALED PATINA METAL (WEATHERED COPPER LOOK)

E: METAL PANEL (DARK GALVANIZED PATINA)

F: LIGHT COLOR HARDI-PANEL

G: DARK GREY HARDI-PANEL OR STUCCO

H: LIGHT GREY HARDI-PANEL

J: STUCCO FOR MURAL PAINTING

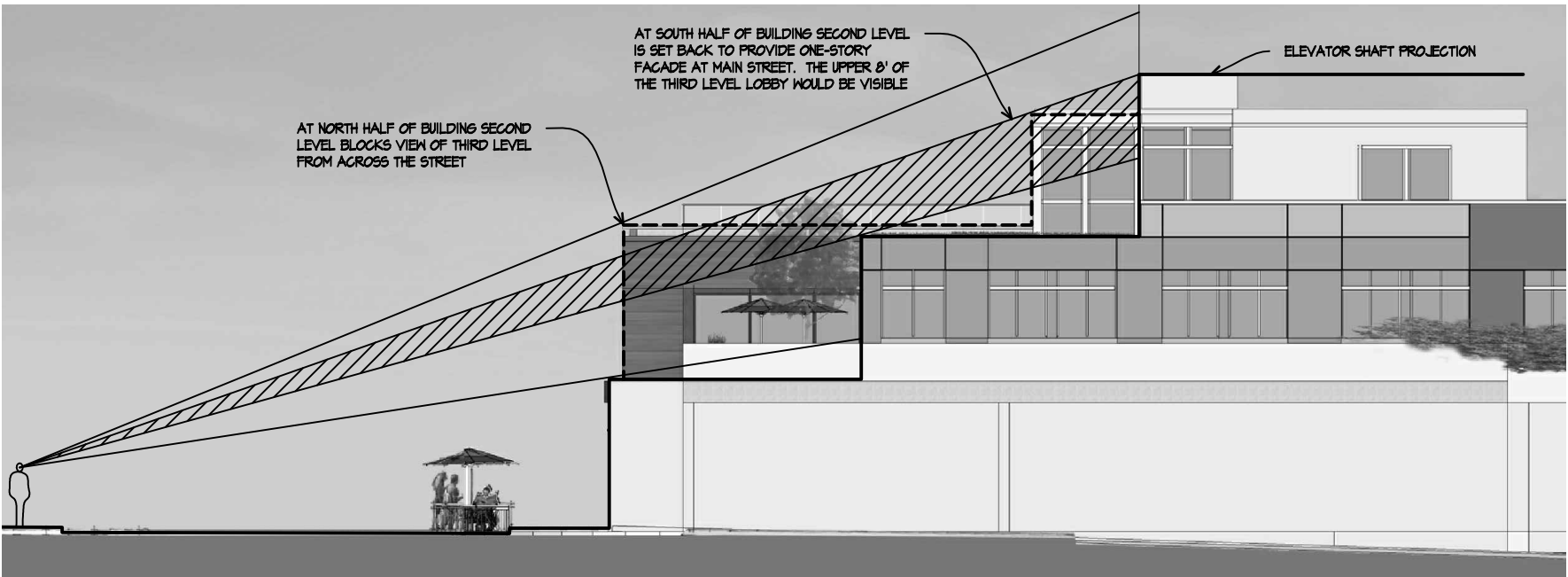
K: PAINTED CONCRETE (MATCHES ADJACENT COLOR)

L: MEDIUM GREY HARDIPANEL

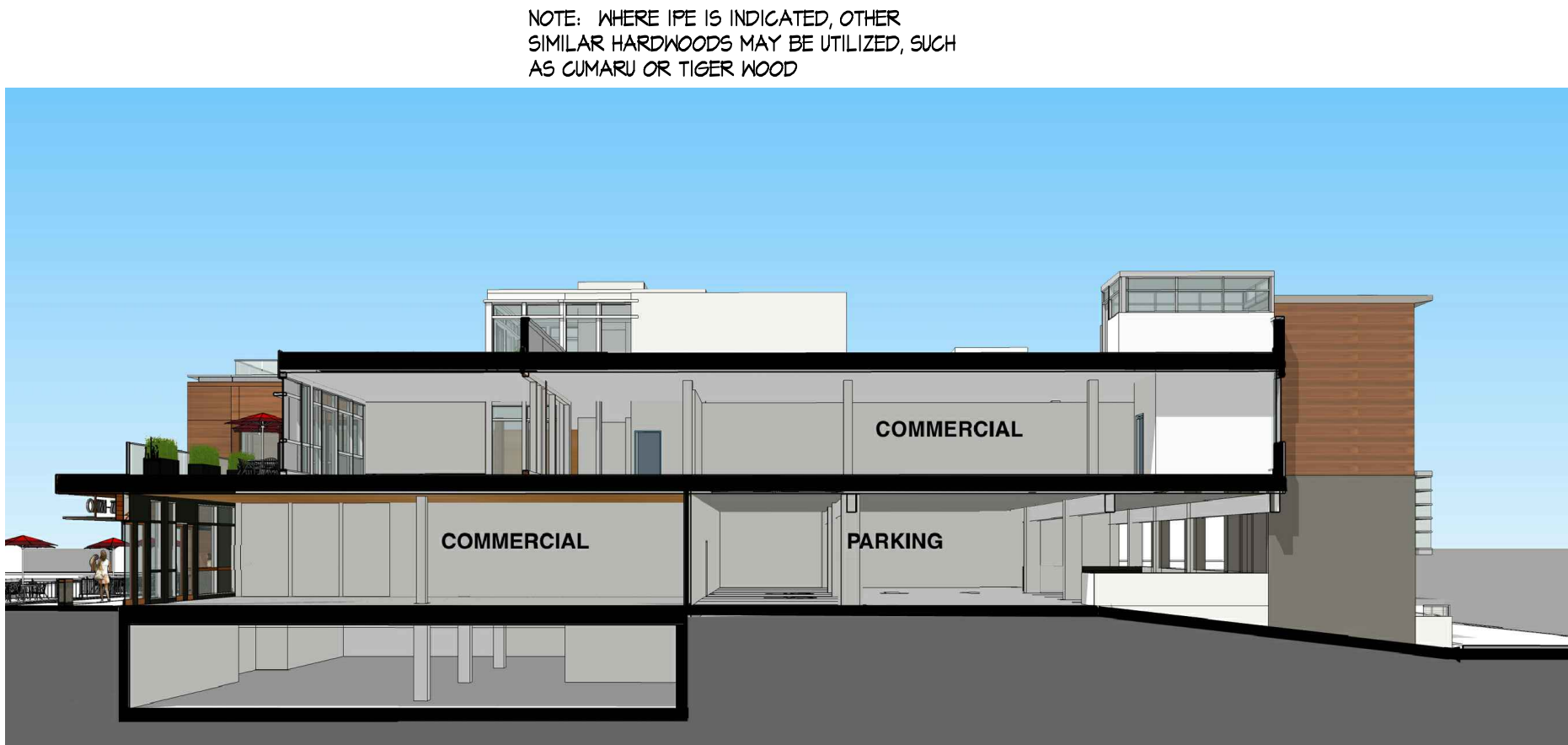
S1: STOREFRONT FRAMING - BLACK ANODIZED

S2: STOREFRONT FRAMING - CLEAR ANODIZED

S3: STOREFRONT FRAMING - WOOD FINISH



C2 VIEW ANGLES FROM ACROSS MAIN ST.
A2 SCALE: 1/16" = 1'-0"



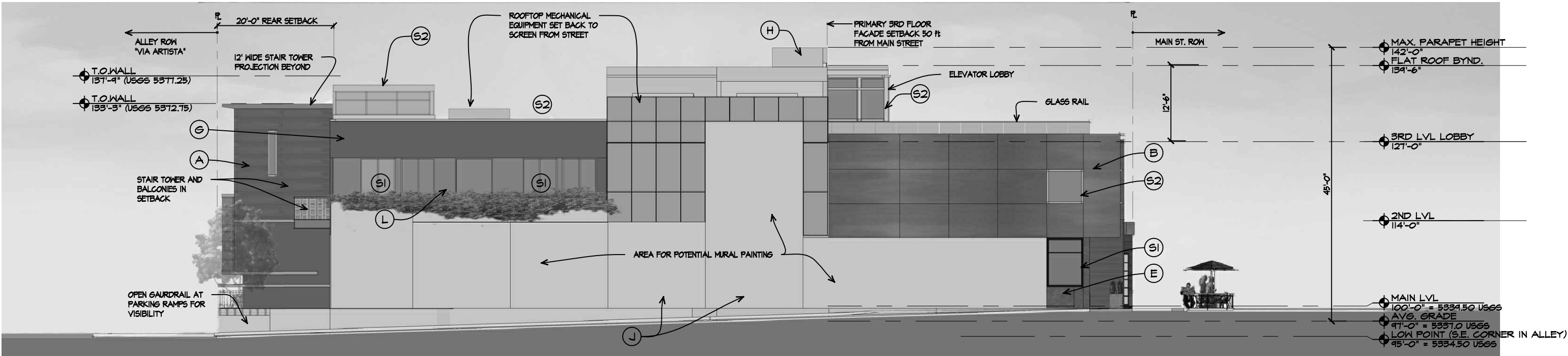
A2 BUILDING SECTION/PERSPECTIVE
A2 NOT TO SCALE

NOTE: WHERE IPE IS INDICATED, OTHER SIMILAR HARDWOODS MAY BE UTILIZED, SUCH AS GUMARU OR TIGER WOOD

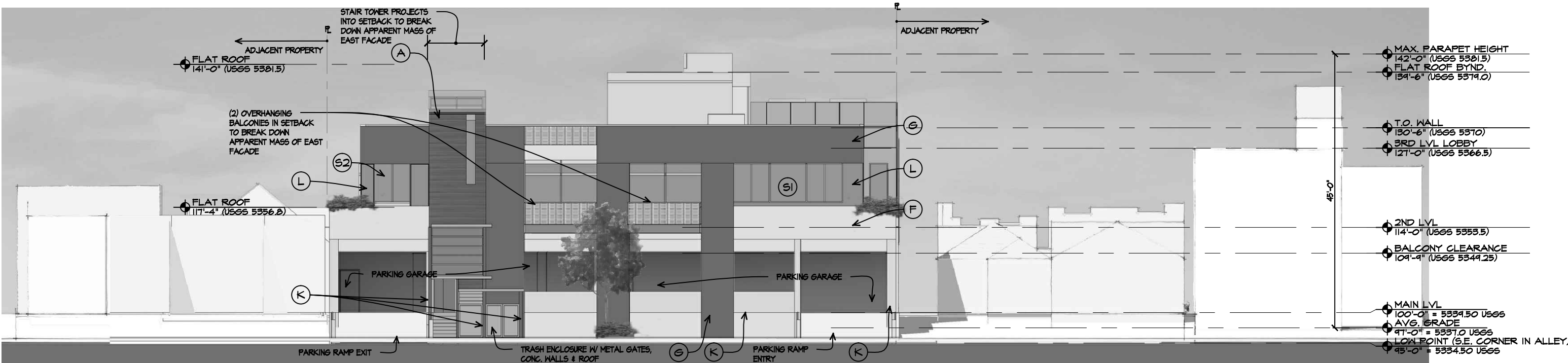


D1 WEST ELEVATION - MAIN STREET
A2 SCALE: 1/16" = 1'-0"

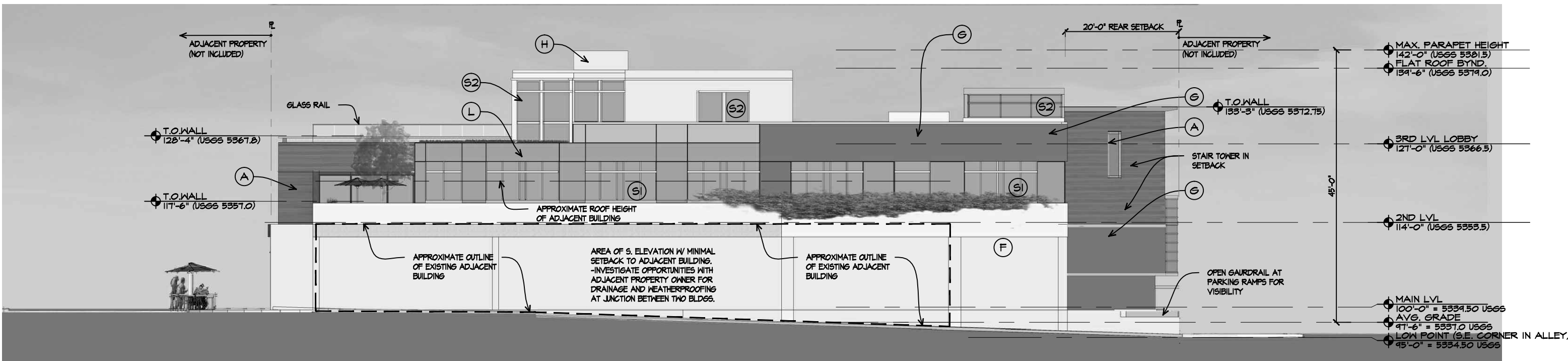
NOTE: TENANT SIGNAGE EXAMPLES SHOWN FOR ILLUSTRATION PURPOSES ONLY. SEPARATE SIGN PERMIT TO BE APPLIED FOR TENANT AND BUILDING SIGNAGE



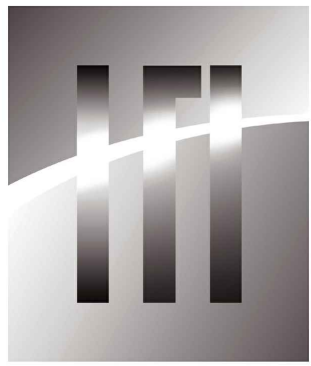
C1 NORTH ELEVATION - FROM ADJACENT PROPERTY
A2 SCALE: 1/16" = 1'-0"



B1 EAST ELEVATION - ALLEY (W/ MAIN LEVEL PARKING)
A2 SCALE: 1/16" = 1'-0"



A1 SOUTH ELEVATION - FROM ADJACENT PROPERTY
A2 SCALE: 1/16" = 1'-0"



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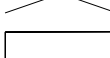
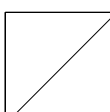
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ELEVATIONS
MATERIALS
& SECTION

Sheet
A2.0
4 of 7 Sheets

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	C	5	WE-EF USA	620-2528	QLS410 LED, Wall Luminaires / Surface Mounted QLS410-LED-3/6W [S]; QLS410 LED, Wall Luminaires / Surface Mounted	3 LED, Neutral White - 120° angle of beam LEDLUMENS=246.0 lm, LEDs No=3, TOTALLUMENS= 738.0 lm, Tj=85° LEDLUMENS=156.6 lm, LEDs No=3, TOTALLUMENS= 469.8 lm, Ta=25°C	3	620-2528.ies	157	1	8.5
	D	7	Juno Lighting	MD1LG2 SQ 03LM 35K 80CRI FL WH	FLOOD	LED/35K	1	MD1LG2_SQ_03LM_35K_80CRI_FL_WH.ies	266	1	4.8

FIXTURE

JUNO

SQUARE MINI LED DOWNLIGHT

OUTDOOR/WET LOCATION
M121G2 (SQ, WJ) RECESSED HOUSING AND TRIM

LOW VOLTAGE

Project:

Fixture Type:

Location:

Contact/Phone:

PRODUCT DESCRIPTION

The square M121G2 (SQ, WJ) series (LED recessed downlight) is for use in wet locations and is rated for residential or non-residential applications. • Built-in, permanent heat sink for direct-on-board lighting with no external heat dissipaters. • 20W High Output Lamp • 360° full beam residential and commercial wet location applications including bathrooms, bedrooms, living areas, etc. • Rated more than 120W to 12V AC alternate or magnetic transformer designed to dissipate to 50,000 hours of life at 1 year limited warranty or LED components.

ENVIRONMENTALLY RESISTANT, ENERGY EFFICIENT

- No harmful ultraviolet or infrared wavelengths
- No mercury or hazardous materials
- Compatible light output to 20W M1211 halogen lamps while consuming less energy

PRODUCT SPECIFICATIONS

LED Light Engine High performance, low power LED components with integrated, permanent and color adjustable, 27000K, 3000K, 3500K, 4000K, 5000K, 6000K, 6500K, 7000K, 8000K, 9000K, 10000K, 11000K, 12000K, 13000K, 14000K, 15000K, 16000K, 17000K, 18000K, 19000K, 20000K, 21000K, 22000K, 23000K, 24000K, 25000K, 26000K, 27000K, 28000K, 29000K, 30000K, 31000K, 32000K, 33000K, 34000K, 35000K, 36000K, 37000K, 38000K, 39000K, 40000K, 41000K, 42000K, 43000K, 44000K, 45000K, 46000K, 47000K, 48000K, 49000K, 50000K, 51000K, 52000K, 53000K, 54000K, 55000K, 56000K, 57000K, 58000K, 59000K, 60000K, 61000K, 62000K, 63000K, 64000K, 65000K, 66000K, 67000K, 68000K, 69000K, 70000K, 71000K, 72000K, 73000K, 74000K, 75000K, 76000K, 77000K, 78000K, 79000K, 80000K, 81000K, 82000K, 83000K, 84000K, 85000K, 86000K, 87000K, 88000K, 89000K, 90000K, 91000K, 92000K, 93000K, 94000K, 95000K, 96000K, 97000K, 98000K, 99000K, 100000K.

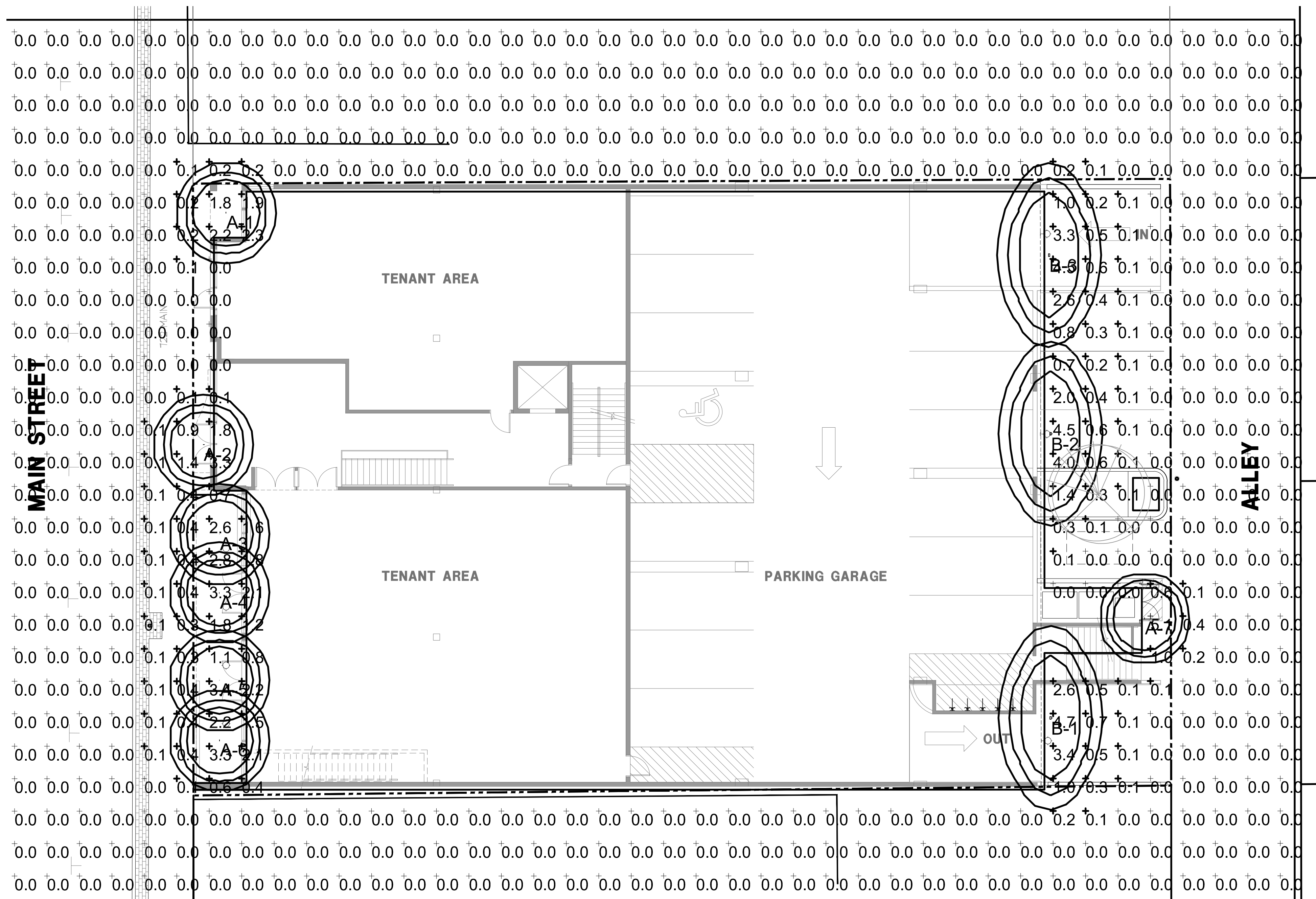
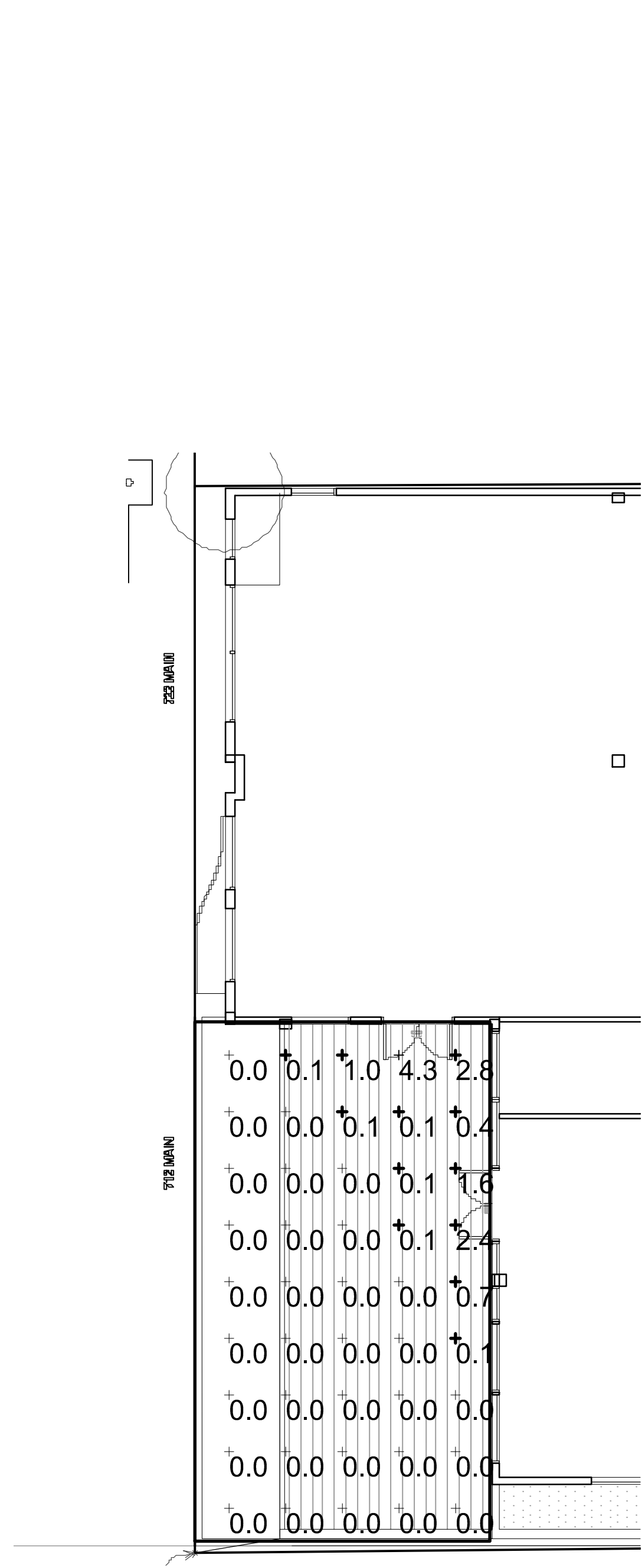
Optical System Fits into ceiling with a choice of split, narrow flood, flood beam options • LED sources concealed with lensed optic is deeply recessed into its internal reflector to produce a homogeneous light source. • Reflector is finished to match trim finish for added appearance

• Full replacement of optical lenses is not recommended. • Replacement requires mount Class 2, 120W to 12V AC transformer and M121G2 (SQ, WJ) magnetic transformer or designed electrically for use with other fixtures.

Dimming May be used with dimmers rated and qualified by manufacturer for use with 2700K and 3000K LEDs. Use transformer specifications for compatible dimmer. • Color temperature remains constant under dimming • 100% CRI for best color rendering

Life Span For 50,000 hours or 70,000 hours maintenance. • Labeled: L1 (used for warranty and lighting design) • L2 (used for warranty and lighting design) • L3 (used for warranty and lighting design) • L4 (used for warranty and lighting design) • L5 (used for warranty and lighting design) • L6 (used for warranty and lighting design) • L7 (used for warranty and lighting design) • L8 (used for warranty and lighting design) • L9 (used for warranty and lighting design) • L10 (used for warranty and lighting design) • L11 (used for warranty and lighting design) • L12 (used for warranty and lighting design) • L13 (used for warranty and lighting design) • L14 (used for warranty and lighting design) • L15 (used for warranty and lighting design) • L16 (used for warranty and lighting design) • L17 (used for warranty and lighting design) • L18 (used for warranty and lighting design) • L19 (used for warranty and lighting design) • L20 (used for warranty and lighting design) • L21 (used for warranty 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A 3D perspective rendering of the QLE41 LED wall luminaire. It is a dark, rectangular unit with a slightly protruding front face. The unit is shown against a plain white background, with a soft shadow cast beneath it. The design is minimalist and modern, typical of architectural lighting fixtures.



**HARTRONFT
ASSOCIATES**
A Professional Corporation

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Architecture
Interior Design*

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**TERRACES ON MAIN
BOULDER CREEK NEIGHBORHOODS
PLOTS 8 & 9 OF BLOCK 3 TOWN OF LOUISVILLE, CO
FINAL PUD AND SPECIAL REVIEW USE**

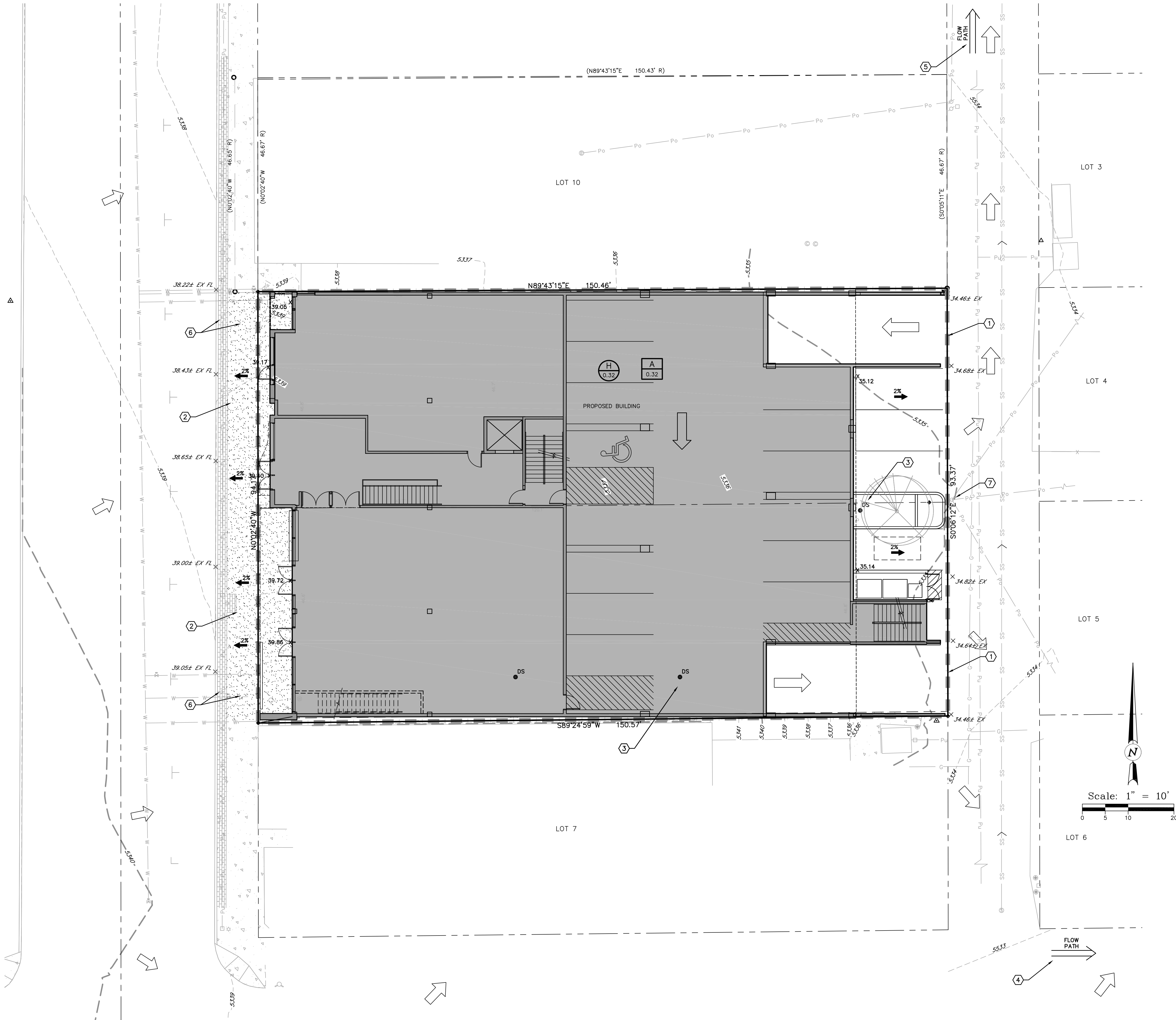
FINAL PUD
& SRU
REVISED

PROJECT # **1451**
DATE: 10/2/17
DRAWN BY: HAPC
CHECKED BY: JEH
REVISIONS:
FFC-51 - 12/21/17
FFC-52 - 01/26/18
FFC - 05/20/18
FFC-53 - 11/15/18
FFC-54 - 01/02/19

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PHOTOMETRIC
PLAN

Sheet
PH1.0
5 of 7 Sheets



LEGEND

---	5335	---	EXISTING CONTOUR
●			SET #5 REBAR WITH 1" RED PLASTIC CAP STAMPED SCOTT COX & ASSOCIATES, INC. SURVEYORS (P&C) (UNLESS NOTED)
⊕			SET NAIL AND 3/4" BRASS TAG STAMPED PLS 24302 (NAIL&TAG) AS NOTED
○			FOUND MONUMENT AS NOTED
⊙			EXISTING BOLLARD
⊙			EXISTING ELECTRIC METER
⊙			EXISTING WATER VALVE
⊙			EXISTING CLEANOUT
⊙			EXISTING GAS METER
⊙			EXISTING WATER METER
△			CONTROL POINT
⊙			EXISTING POWER POLE
☆			EXISTING LIGHT POLE
⊙			EXISTING FIRE HYDRANT
⊙			EXISTING SPIGOT
X	X	X	EXISTING FENCE
Pu	Pu	Pu	EXISTING UNDERGROUND POWER LINE
Po	Po	Po	EXISTING OVERHEAD POWER LINE
G	G	G	EXISTING GAS LINE
SS	SS	SS	EXISTING SANITARY SEWER W/MANHOLE
W	W	W	EXISTING WATER W/FIRE HYDRANT
ST	ST	ST	EXISTING STORM SEWER W/MANHOLE
(R)			RECORD COURSE
(M)			MEASURED COURSE PER THIS SURVEY
---	25	---	PROPOSED CONTOUR ADD 5300 TO ALL CONTOURS
●			POINT WHERE PROPOSED GRADE MEETS EXISTING GRADE
X	25.8		PROPOSED SPOT ELEVATION ADD 5300 TO ALL SPOT ELEVATIONS
X	25.8		EXISTING SPOT ELEVATION
→			HISTORIC SHEET FLOW
→			PROPOSED FLOW DIRECTION
---			DRAINAGE BASIN BOUNDARY (HISTORIC)
---			PROPOSED BASIN BOUNDARY
(H)	0.32		SUB-BASIN DESIGNATION (HISTORIC)
(A)	0.32		AREA IN ACRES
(A)	0.32		PROPOSED SUB-BASIN DESIGNATION
(A)	0.32		AREA IN ACRES
FF			FINISHED FLOOR ELEVATION

KEYED NOTES

- EDGE OF CONCRETE RAMP SHALL BE 1" MINIMUM ABOVE ASPHALT ALLEY PAVEMENT. PROVIDE ASPHALT PATCH IN ALLEY ADJACENT TO NEW CONCRETE.
- PROPOSED SIDEWALK AT 2% MAX. CROSS SLOPE.
- PROPOSED ROOF DOWNSPOUT DRAIN THROUGH WATER QUALITY LANDSCAPE ISLAND/GREEN ROOF. PROPOSED ROOF DOWNSPOUT DRAIN THROUGH WATER QUALITY LANDSCAPE ISLAND/GREEN ROOF. ALL ROOF DRAINAGE WILL FILTER THROUGH WATER QUALITY AREAS WITH THE EXCEPTION OF THE SECOND LEVEL WEST TERRACE.
- DRAIN TO STORM INLET AT PINE AND FRONT STREET.
- DRAINS TO STORM INLET AT ALLEY AND SPRUCE STREET.
- MAIN STREET WALK ADJACENT THE SITE WILL BE REPLACED WITH THIS PROJECT.
- EXISTING POWER POLE TO BE RELOCATED TO THE EAST SIDE OF THE ALLEY ROW.

GRADING NOTES

- GRADE AWAY FROM BUILDINGS AT A MINIMUM 10% SLOPE IN THE FIRST 10 FEET AT LANDSCAPE AREAS AND AT A MINIMUM 2% SLOPE IN THE FIRST 10 FEET AT IMPERVIOUS AREAS EXCEPT AS NOTED.
- TOP OF FOUNDATION ELEVATION SHALL BE SET AT LEAST 8" ABOVE THE PROPOSED GRADING AT THE EXTERIOR OF THE FOUNDATION AT LANDSCAPE AREAS.
- FLOOD PLAIN DESIGNATION OF THE SURVEYED PROPERTY PER FIRM MAP NUMBER 08013005824, MAP REVISED DECEMBER 18, 2012 IS ZONE X, BEING AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- ALL CITY UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LOUISVILLE STANDARD SPECIFICATIONS.
- THE LOCATION OF THE ABOVE GROUND UTILITIES SHOWN HEREON ARE BASED ON THE TOPOGRAPHIC SURVEY BY SCOTT, COX & ASSOCIATES, INC. COMPLETED ON SEPTEMBER 26, 2017. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SAID SURVEY AND INFORMATION PROVIDED BY OTHERS (WHICH MAY INCLUDE THE UTILITY OWNER OR UTILITY LOCATING SERVICES). SCOTT, COX & ASSOCIATES, INC. IS NOT RESPONSIBLE FOR UTILITY INFORMATION PROVIDED BY OTHERS. SCOTT, COX & ASSOCIATES, INC. RECOMMENDS THAT THE LOCATION OF THE UTILITIES BE FIELD VERIFIED PRIOR TO ANY DIGGING ON, OR ADJACENT TO THE SUBJECT PROPERTY.
- ORIGIN BENCHMARK: CITY OF LOUISVILLE BENCHMARK LPS BEING THE CENTER EAST 1/16 CORNER OF SECTION 8, A 3 1/2" ALUMINUM CAP DATED 2000, PLS 14083. FOUND IN A RANGE BOX 16.8' NORTH OF SOUTH FLOWLINE OF SOUTH ST. NORTH OF 624' SOUTH ST. ELEVATION = 5349.49' NAVD83. SITE BENCHMARK: TOP OF A 1 1/2" ALUMINUM CAP LOCATED AT THE NE CORNER OF LOT 9. (AS SHOWN HEREON), CONTOURS SHOWN ARE FROM A GROUND SURVEY.
- IF REQUIRED, ALL APPLICABLE CITY AND/OR STATE PERMITS PERTAINING TO THE DISCHARGE OF GROUNDWATER MUST BE OBTAINED PRIOR TO PREPARATION OF BUILDING PERMIT PLANS.
- A FINAL STORMWATER PLAN AND REPORT IS REQUIRED BY THE CITY OF LOUISVILLE PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- PARKING GARAGE DRAINS SHALL BE ROUTED THROUGH SAND AND OIL SEPARATORS PRIOR TO DISCHARGE TO THE SANITARY SEWER SYSTEM.

TERRACES ON MAIN BOULDER CREEK NEIGHBORHOODS LOTS 8 & 9 OF BLOCK 3 TOWN OF LOUISVILLE, CO FINAL PUD AND SPECIAL REVIEW USE

FINAL PUD
REVISED

PROJECT # 1451
DATE: 10/2/17
DRAWN BY: JAS
CHECKED BY: DPA
REVISIONS: FFC-51 - 12/27/17
FFC-52 - 01/26/18
FFC-53 - 03/20/18
FFC-54 - 10/18/18
FFC-54 - 12/27/18

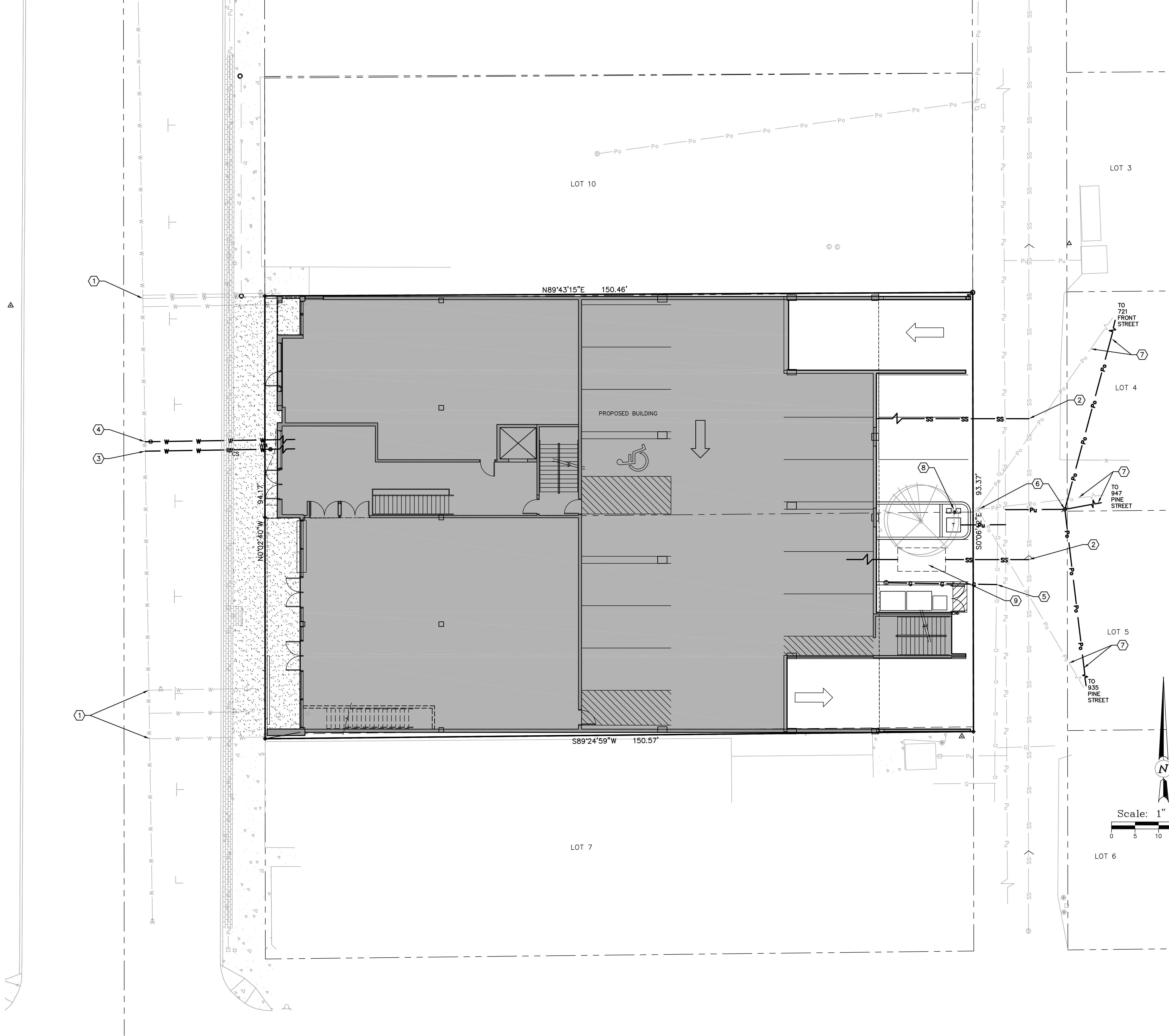
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GRADING
DRAINAGE AND
EROSION
CONTROL PLAN

Sheet

C1.01

6 of 7 Sheets



LEGEND	
	EXISTING CONTOUR
	SET #5 REBAR WITH 1" RED PLASTIC CAP STAMPED SCOTT COX ASC PLS 24302 (P&C) (UNLESS NOTED)
	SET NAIL AND 3/4" BRASS TAG STAMPED PLS 24302 (NAIL&TAG) AS NOTED
	FOUND MONUMENT AS NOTED
	EXISTING BOLLARD
	EXISTING ELECTRIC METER
	EXISTING WATER VALVE
	EXISTING CLEANOUT
	EXISTING GAS METER
	EXISTING WATER METER
	CONTROL POINT
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING FIRE HYDRANT
	EXISTING SPIGOT
	EXISTING FENCE
	EXISTING UNDERGROUND POWER LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING GAS LINE
	EXISTING SANITARY SEWER W/MANHOLE
	EXISTING WATER W/FIRE HYDRANT
	EXISTING STORM SEWER W/MANHOLE
	RECORD COURSE
	MEASURED COURSE PER THIS SURVEY
	PROPOSED SANITARY SEWER W/MANHOLE
	PROPOSED WATER W/FIRE HYDRANT
	PROPOSED STORM SEWER W/MANHOLE
	PROPOSED WATER VALVE
	PROPOSED WATER METER
	PROPOSED CLEAN-OUT
	PROPOSED CURB STOP

- KEYED NOTES** ①
1. VERIFY ROUTING OF EXISTING WATER SERVICES. DISCONNECT AND ABANDON AT MAIN.
 2. PROPOSED SANITARY SEWER SERVICE.
 3. PROPOSED DOMESTIC WATER SERVICE. CURB STOP SHALL BE LOCATED WITHIN BRICK BANDING. METER PIT SHALL BE LOCATED ON PRIVATE PROPERTY.
 4. PROPOSED FIRE SERVICE.
 5. PROPOSED GAS SERVICE.
 6. EXISTING POWER POLE TO BE RELOCATED TO THE EAST SIDE OF THE ALLEY ROW.
 7. ALL OVERHEAD ELECTRICAL SERVICE LINES TO BE RELOCATED TO THE NEW POWER POLE.
 8. PROPOSED ELECTRICAL TRANSFORMER AND UTILITY PEDESTALS.
 9. PROPOSED GREASE INTERCEPTOR.

- UTILITY NOTES**
1. ALL CITY UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LOUISVILLE STANDARD SPECIFICATIONS.
 2. WATER, FIRELINE, SEWER TAPS, AND SERVICE LINE SIZES SHALL BE DETERMINED AT THE TIME OF BUILDING PERMIT APPLICATION.
 3. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE DONE IN A WAY SO AS TO MINIMIZE DISRUPTION IN SERVICE TO EXISTING USERS.
 4. THE LOCATION OF THE ABOVE GROUND UTILITIES SHOWN HEREON ARE BASED ON THE TOPOGRAPHIC SURVEY BY SCOTT, COX & ASSOCIATES, INC. COMPLETED ON JUNE 2, 2017. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SAID SURVEY AND INFORMATION PROVIDED BY OTHERS (WHICH MAY INCLUDE THE UTILITY OWNER OR UTILITY LOCATING SERVICES). SCOTT, COX & ASSOCIATES, INC. IS NOT RESPONSIBLE FOR UTILITY INFORMATION PROVIDED BY OTHERS. SCOTT, COX & ASSOCIATES, INC. RECOMMENDS THAT THE LOCATION OF THE UTILITIES BE FIELD VERIFIED PRIOR TO ANY DIGGING ON, OR ADJACENT TO THE SUBJECT PROPERTY.
 5. ORIGIN BENCHMARK: CITY OF LOUISVILLE BENCHMARK LPS BEING THE CENTER EAST 1/16 CORNER OF SECTION 8, A 3 1/2" ALUMINUM CAP DATED 2000, PLS 14083. FOUND IN A RANGE BOX 16.8' NORTH OF SOUTH FLOWLINE OF SOUTH ST. NORTH OF 824 SOUTH ST. ELEVATION = 5349.49' NAVD88. SITE BENCHMARK: TOP OF A 1 1/2" ALUMINUM CAP LOCATED AT THE NE CORNER OF LOT 9. (AS SHOWN HEREON). CONTOURS SHOWN ARE FROM A GROUND SURVEY.
 6. EXISTING UTILITY SERVICES SHALL BE ABANDONED AS DIRECTED BY THE CITY.

SCOTT COX & ASSOCIATES, INC.
consulting engineers • surveyors
1530 58th Street • Boulder, Colorado 80503
(303) 444-3501

12/27/17
JOB NO. 17271B
DRAWING NO. 17271B-1

TERRACES ON MAIN
BOULDER CREEK NEIGHBORHOODS
LOTS 8 & 9 OF BLOCK 3 TOWN OF LOUISVILLE, CO
FINAL PUD AND SPECIAL REVIEW USE

FINAL PUD
REVISED

PROJECT # 1451
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FPC - 03/20/18
FPC-SI - 10/18/18
FPC-SI - 12/27/18

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UTILITY PLAN

Sheet
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