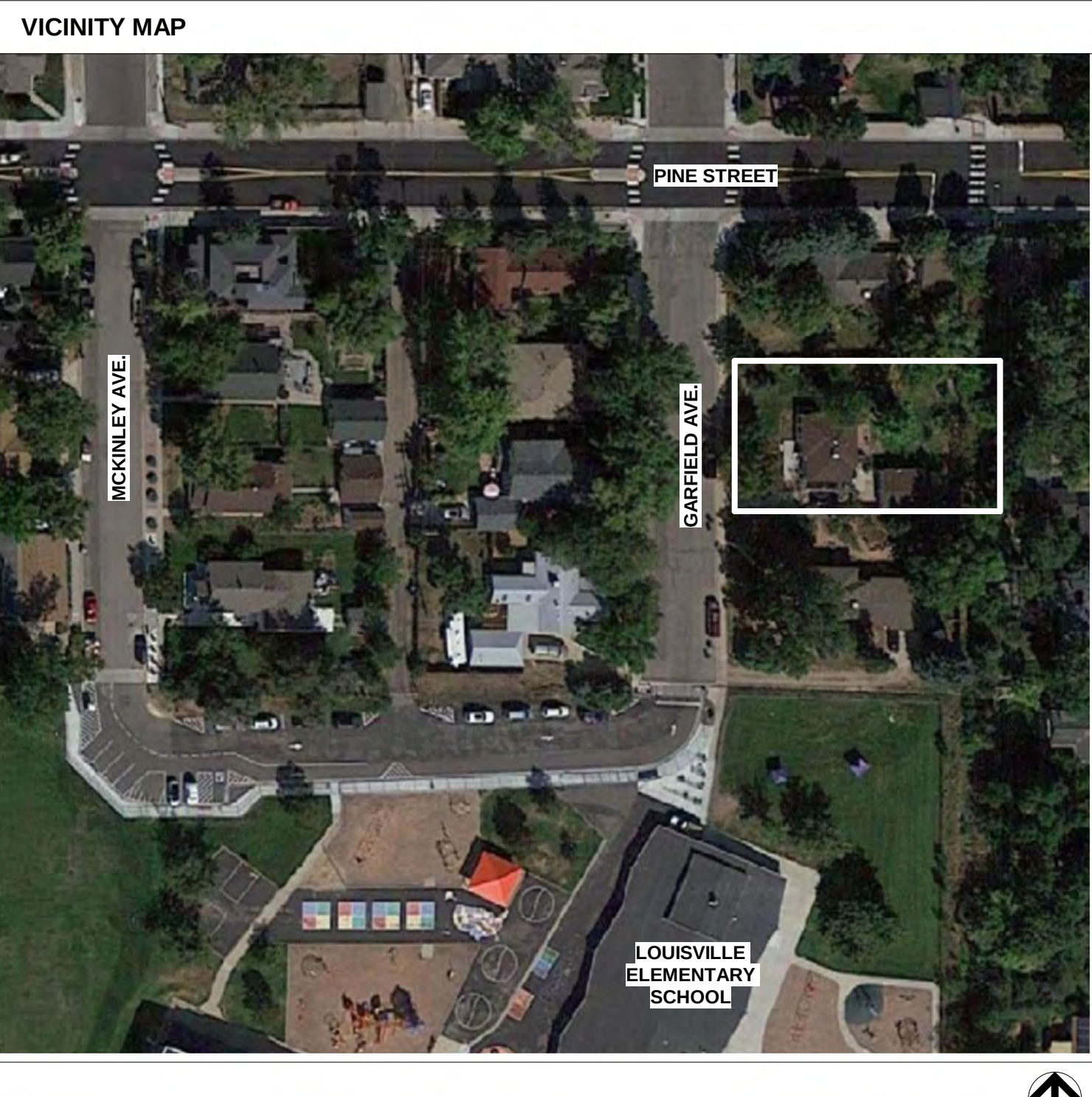




SHEET INDEX		ISSUE/ REV. DATE			
SHEET NUMBER	SHEET NAME	12/13/2021	SUBMITTAL	DATE	DESCRIPTION
ARCHITECTURAL					
A0.0	COVER SHEET	■			
A0.1	SITE PLAN & DATA	■			
A0.3	CONSTRUCTION NOTES	■			
A0.4	IECC COMPLIANCE	■			
A0.5	3D VIEWS	■			
A1.0	DEMOLITION PLANS	■			
A1.1	BASEMENT PLAN	■			
A1.2	FIRST FLOOR PLAN	■			
A1.3	SECOND FLOOR & ROOF PLAN	■			
A1.3E	SCHEMATIC UTILITIES	■			
A2.0	EXTERIOR ELEVATIONS	■			
A2.1	EXTERIOR ELEVATIONS	■			
A3.0	STAIRS	■			
A3.1	WALL SECTIONS	■			
A5.0	INT ELEVATIONS	■			
A5.1	DETAILS	■			
STRUCTURAL					
S0.01	STRUCTURAL COVER SHEET	■			
S0.02	3D VIEWS	■			
S1.01	FOUNDATION PLAN	■			
S1.02	MAIN LEVEL FRAMING PLAN	■			
S1.03	UPPER LEVEL FRAMING PLAN	■			
S1.04	ROOF FRAMING PLAN	■			
S5.01	SCHEDULES	■			
S5.02	TYPICAL	■			
S5.1.1	FOUNDATION DETAILS	■			
S5.2.1	FLOOR DETAILS	■			
S5.3.1	ROOF DETAILS	■			

PROJECT DATA	
PROPERTY OWNER:	BRAUN RESIDENCE
PROPERTY ADDRESS:	620 GARFIELD AVE., LOUISVILLE, CO 80027
LEGAL DESCRIPTION:	LOTS 4-5-6 & N 1/2 LOT 7 BLK 12 LOUISVILLE HEIGHTS
PROJECT DESCRIPTION:	SECOND FLOOR EXPANSION/POP TOP
TYPE OF CONSTRUCTION:	TYPE VB, SINGLE FAMILY RESIDENTIAL
APPLICABLE CODES:	
LOUISVILLE ZONING CODE:	RESIDENTIAL LOW-DENSITY (R-1)
PER CITY OF LOUISVILLE:	
	2018 INTERNATIONAL CODE COUNCIL (ICC)
	2018 INTERNATIONAL BUILDING CODE (IBC)
	2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
	2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
	2018 INTERNATIONAL MECHANICAL CODE (IMC)
	2018 INTERNATIONAL PLUMBING CODE (IPC)
	2020 NATIONAL ELECTRICAL CODE (NEC)
	2018 INTERNATIONAL FUEL GAS CODE (IFGC)
	2018 INTERNATIONAL FIRE CODE (IFC)

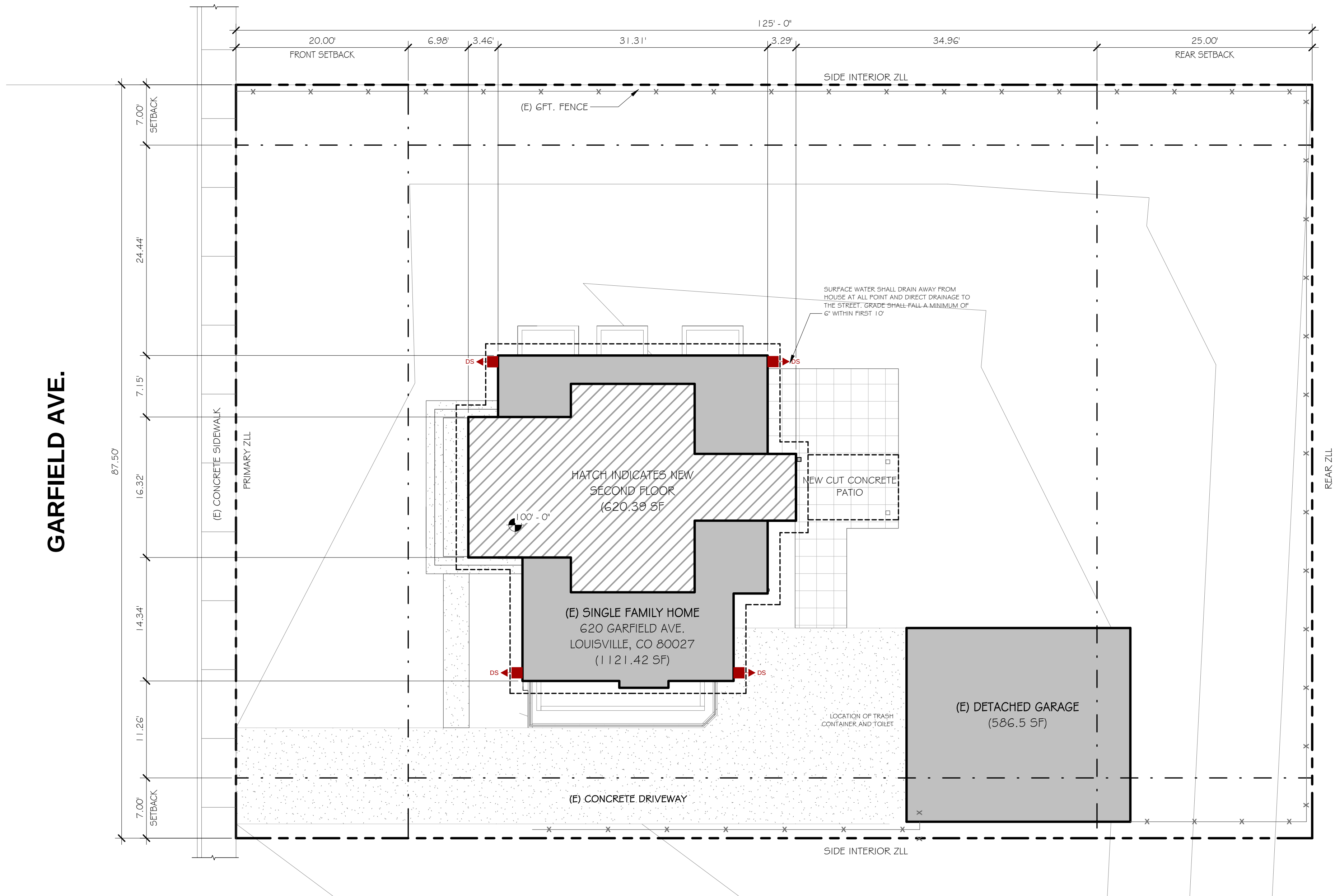
PROJECT TEAM	
ARCHITECTURAL:	
ARCWEST ARCHITECTS	
KEVIN ANDERSON	
1525 RALEIGH ST., SUITE 320 DENVER, CO 80204	
KANDERSON@ARCWESTARCHITECTS.COM	
(303) 455-7741	
MECHANICAL:	
ARCHILEAF, LLC	
CAMERON KRUGER	
3287 W VIRGINIA AVE., DENVER, CO 80219	
CKRUGER@ARCHILEAF.COM	
720.633.0324	
STRUCTURAL:	
ZEROLOAD LLC	
ERIC SCHULTZ, P.E.	
ERIC@ZEROLoadSE.COM	
303.856.5377 (VOICE ONLY)	



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No.	Date	Description

SHEET ISSUE DATE:
12-8-2021
PROJ. NO. 21040
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COVER SHEET

SHEET NUMBER:
A0.0



ZONING DATA		
APPLICABLE ZONING CODE:	LOUISVILLE ZONING CODE	
LOT ZONE:	R-L ; LOW DENSITY RESIDENTIAL, OLD TOWN OVERLAY DISTRICT	
BUILDING FORM:	SINGLE FAMILY RESIDENTIAL	
TYPE OF CONSTRUCTION:	V-A	
SITE DATA:		
ZONE LOT AREA (L x W):	87.5' X 125' = 10,937.5 SF	
LOT COVERAGE:	ALLOWED	EXIST./PROPOSED
TOTAL BUILDING COVERAGE FOOTPRINT	3,281.25 SF (30.0%)	1680 SF (15.3%)
MAX FLOOR AREA RATIO	3,281.25 SF (30.0%)	1680 SF (15.3%)
BUILDING FORM ON ZONE LOT / HABITABLE STORY:		
PRIMARY URBAN HOUSE		
BASEMENT	1119 SF	
FIRST FLOOR	1119 SF	
NEW SECOND FLOOR	620 SF	
HOUSE TOTAL	2866 SF	
ACCESSORY STRUCTURES		
DETACHED GARAGE	585 SF	
TOTAL	585 SF	
BUILDING DATA:	ALLOWED	EXIST./PROPOSED
PRIMARY STRUCTURE		
BUILDING HEIGHT	27'	26' - 9 3/4"
FRONT SETBACK	20'	30' - 6"
REAR SETBACK	25'	63' - 5 1/2"
SIDE INTERIOR SETBACK (N)	7'	31' - 6"
SIDE INTERIOR SETBACK (S)	7'	18' - 3 3/4"
DETACHED GARAGE		
BUILDING HEIGHT	20'	EXISTING
SIDE INTERIOR SETBACK	5'	EXISTING
REAR SETBACK	5'	EXISTING

SITE PLAN LEGEND	
	PROPERTY LINE
	REQUIRED OR ZONE LOT SETBACK
	35%/ 65% ZONE LOT DEPTH LINE
	EXTERIOR BUILDING FOOTPRINT
	ROOF LINE
	EXISTING FENCE
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING ELECTRICAL LINE
	NEW ELECTRICAL LINE
	ADJACENT STRUCTURE FOOTPRINT
	EXISTING BUILDING FOOTPRINT
	NEW BUILDING FOOTPRINT
	SPOT ELEVATIONS
	NEW DOWNSPOUT
	SINGLE CLEAN OUT
	DUAL CLEAN OUT
	MAIN ELECTRICAL PANEL
	SUB ELECTRICAL PANEL

GARFIELD ST. EXPANSION
CONSTRUCTION DOCUMENTS
620 GARFIELD AVE, LOUISVILLE, CO 80027

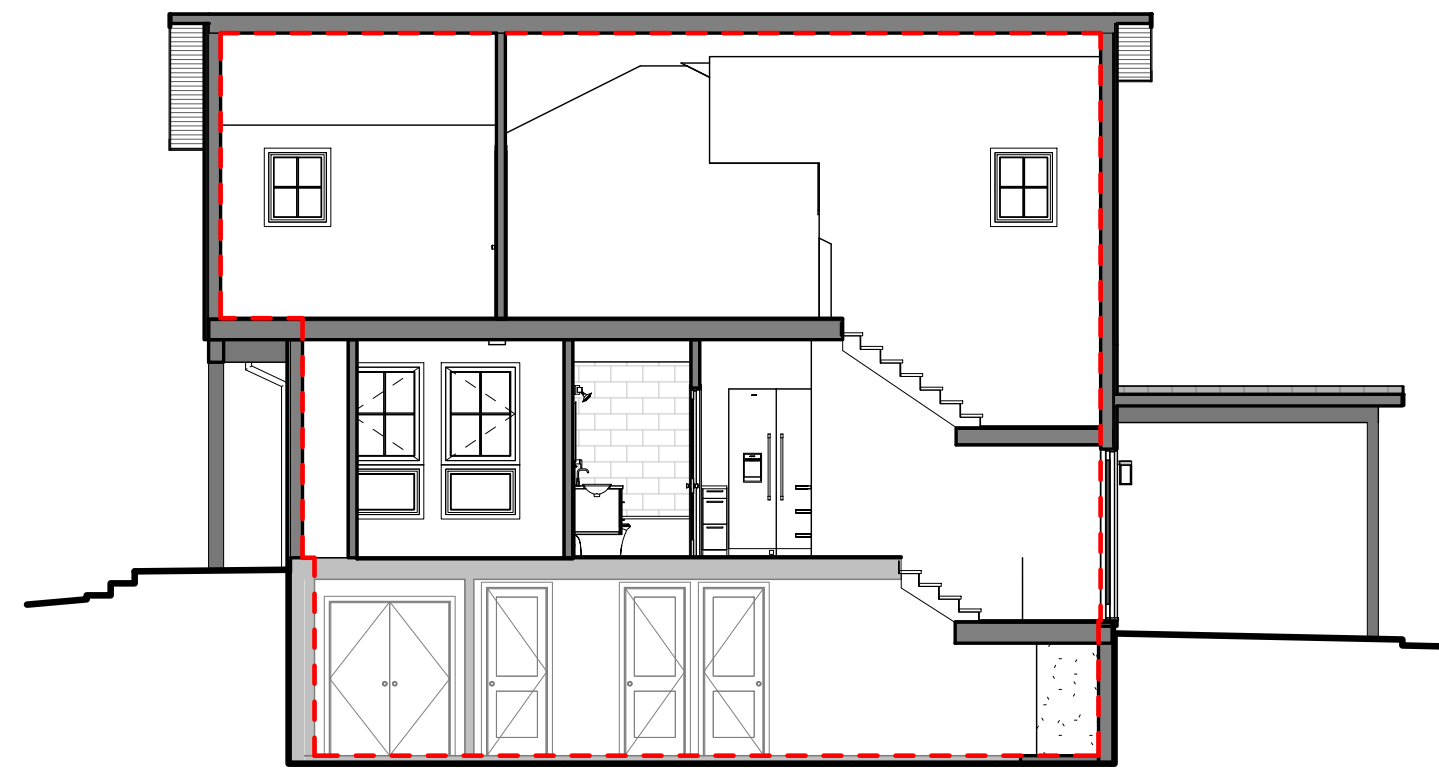


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No.	Date	Description

SHEET ISSUE DATE:
12-8-2021
PROJ. NO. 21040
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SHEET TITLE:
SITE PLAN & DATA

SHEET NUMBER:
A0.1

GENERAL NOTES



5
AO.4

IECC - SECTION 2

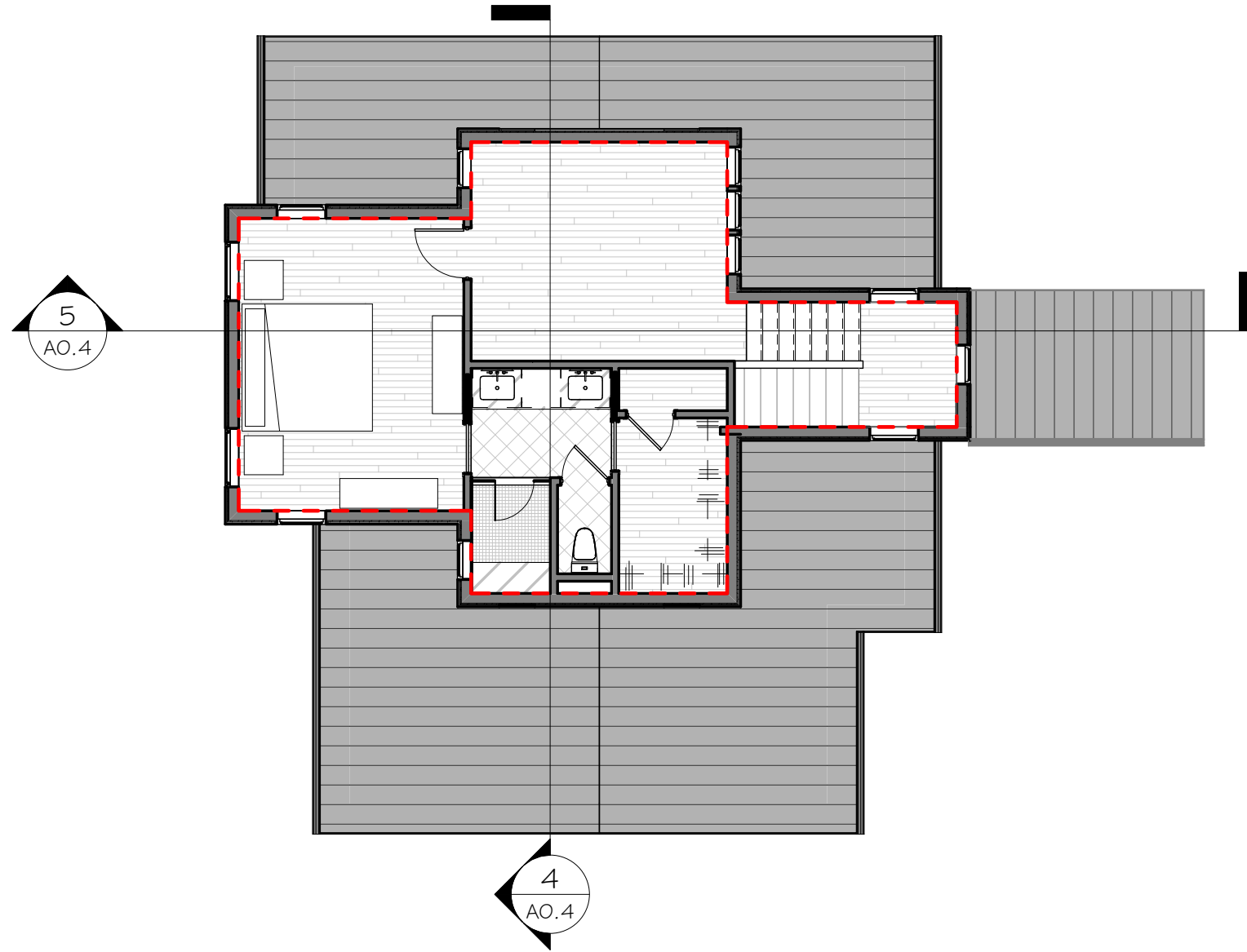
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4
AO.4

IECC - SECTION 1

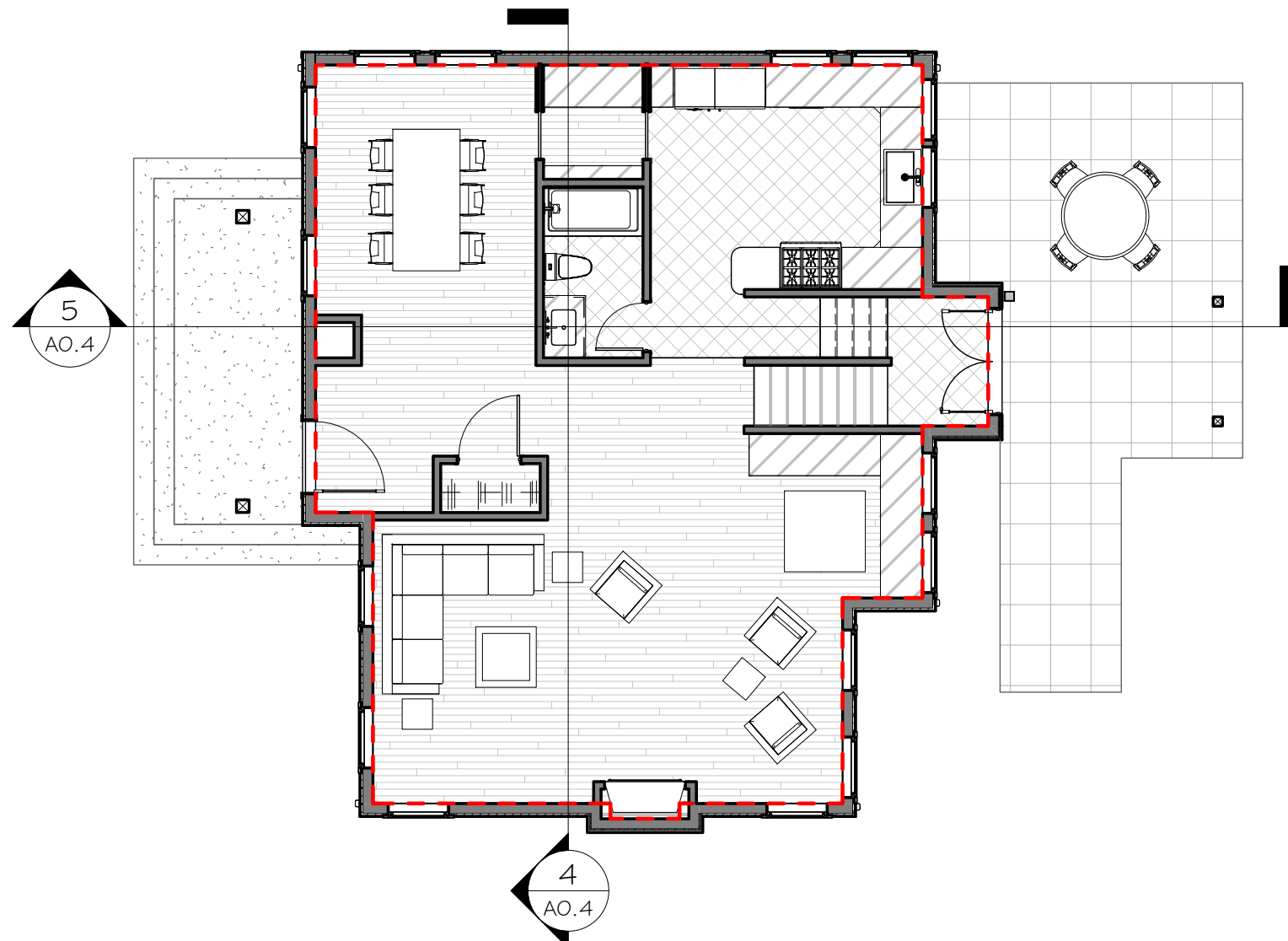
SCALE: 1/8" = 1'-0"



3
AO.4

IECC - SECOND FLOOR PLAN

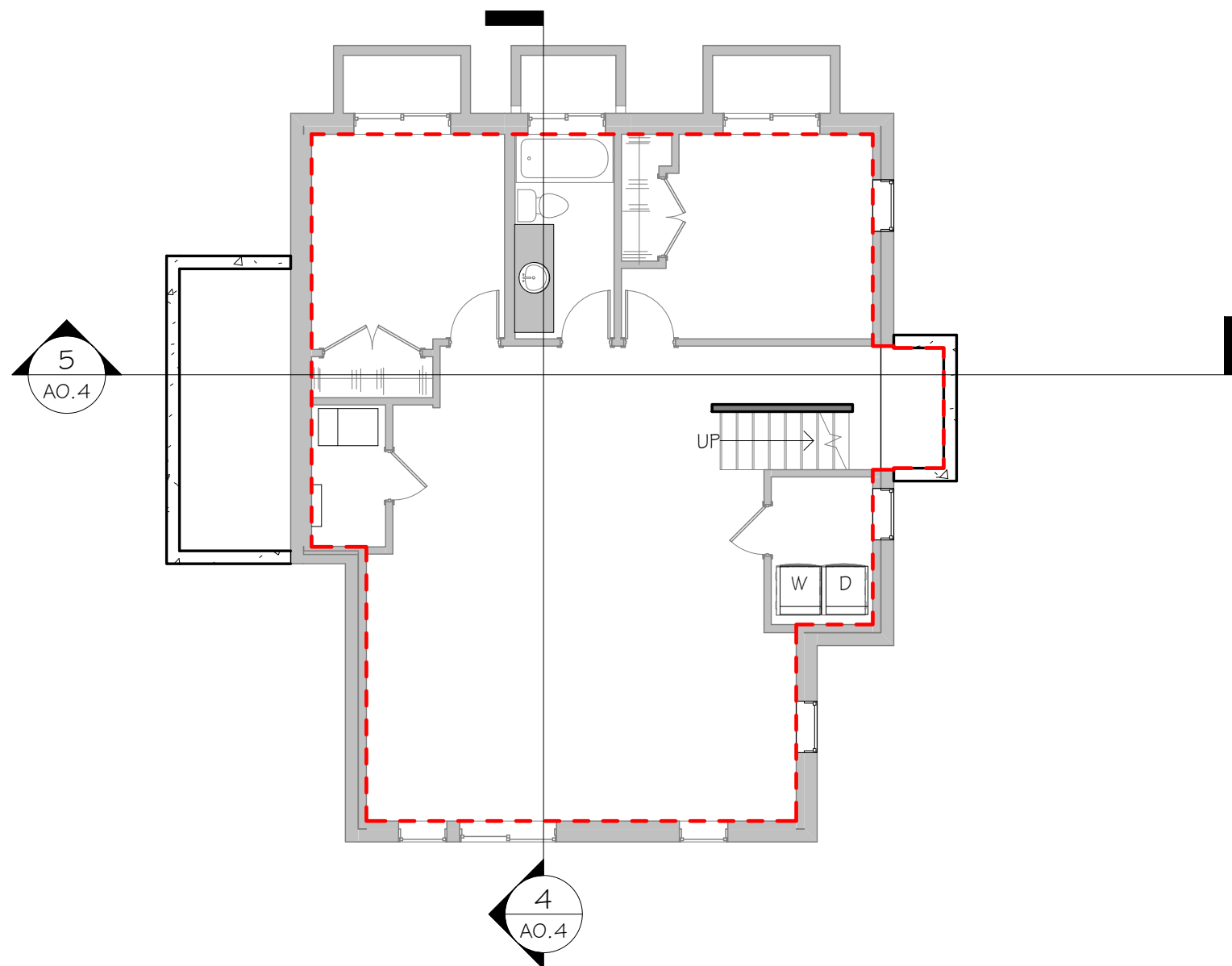
SCALE: 1/8" = 1'-0"



2
AO.4

IECC - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



1
AO.4

IECC - BASEMENT PLAN

SCALE: 1/8" = 1'-0"

IECC COMPLIANCE NOTES

A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE BUILDER AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM, OR AN APPROVED LOCATION INSIDE THE BUILDING PER IECC R401.3. USE THE RESIDENTIAL ENERGY EFFICIENCY CERTIFICATE OF COMPLIANCE SUPPLIED BY THE CITY OF DENVER OR AN EQUIVALENT CERTIFICATE CONTAINING THE SAME INFORMATION. THIS MUST BE POSTED BY TIME OF FINAL INSPECTION.

APPLICABLE ENERGY COMPLIANCE CODE: 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

METHOD OF COMPLIANCE: PRESCRIPTIVE METHOD (METHOD 1) MUST COMPLY WITH IECC SECTIONS R401 THROUGH R404 AND IRC SECTIONS N1101.1.4 THROUGH N1104.

REQUIRED INSULATION VALUES AND MATERIALS:

PER IECC 2021 (RESIDENTIAL)	REQUIRED	PROPOSED
CLIMATE ZONE 5		
FENESTRATION	U-0.30MAX.	0.30 MAX.
SKYLIGHTS	U-0.55 MAX.	U-0.55 MAX.
GLAZED FENESTRATION SHGC	NR	0.40 SHGC
CEILING	R-49 MIN.	R-49 MDSFF
WOOD FRAME WALL	R-20 OR R-13+5 C.I. MIN.	R-3.6 C.I.+R-20
MASS WALL	R-13 OR R-17 MIN.	R-20 MDSFF IF >50% ON INTERIOR
FLOOR	R-30 MIN.	R-49 BIBS
BASEMENT WALL	R-15 C.I., R-19, OR R-13 + R-5 C.I.	R-20 MDSFF
SLAB	R-10, 2" DEPTH	R-15 EPS (ADD R-5 FOR HEATED SLABS)
CRAWLSPACE WALL	R-15 C.I. OR R-19	R-19.5 C.I. POLYISO

C.I. = CONTINUOUS INSULATION

NA = NOT APPLICABLE

NR = NOT REQUIRED

ALL NEW CONSTRUCTION, BUILDING MATERIALS AND SYSTEMS FOR THE ENVELOPE SHALL COMPLY WITH, OR EXCEED THE REQUIREMENTS SET FORTH IN THE IECC 2018 (RESIDENTIAL ENERGY EFFICIENCY)

AIR BARRIER CRITERIA:

- A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE.
- THE EXTERIOR THERMAL ENVELOPE SHALL CONTAIN A CONTINUOUS AIR BARRIER.
- ALL BREAKS, GAPS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
- THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION.
- THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING, SKYLIGHTS AND FRAMING SHALL BE SEALED.
- RIM JOISTS SHALL INCLUDE THE AIR BARRIER AND BE INSULATED.
- EXPOSED EARTH IN UNVENTED CRAWLSPACES SHALL BE COVERED WITH A CLASS 1 VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.
- DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED

AIR LEAKAGE TESTING

FOR ALL ADDITIONS EXCEEDING 30% OF THE EXISTING FLOOR AREA (NOT INCLUDING BASEMENT AREA), THIS REQUIREMENT WILL BE MET BY: (PICK ONE)

- PERFORM TWO BLOWER DOOR TESTS; ONE TEST PRIOR TO CONSTRUCTION THAT MUST BE SUBMITTED WITH CONSTRUCTION DOCUMENTS FOR PLAN REVIEW, AND ANOTHER BLOWER DOOR TEST ONCE CONSTRUCTION IS COMPLETE. THE FINAL BLOWER DOOR TEST MUST DEMONSTRATE THE SAME OR BETTER ACH (AIR CHANGES PER HOUR) AS THE INITIAL TEST.
- PERFORM ONE BLOWER DOOR TEST ONCE CONSTRUCTION IS COMPLETE. THE FINAL BLOWER DOOR TEST MUST DEMONSTRATE A MINIMUM OF 5 ACH. IF THE FINAL TEST FAILS TO MEET THE MINIMUM REQUIREMENT, ADDITIONAL IMPROVEMENTS AND TESTING WILL BE REQUIRED IN ORDER TO MEET THE 5 ACH REQUIREMENT.

DUCTS (IECC SEC. R403.3):

SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM R-8 WHERE 3" OR GREATER IN DIAMETER AND R-6 WHERE LESS THAN 3" IN DIAMETER. SUPPLY AND RETURN DUCTS IN OTHER PORTIONS OF THE BUILDING SHALL BE INSULATED TO A MINIMUM R-6 WHERE 3 INCHES OR GREATER IN DIAMETER AND R-4.2 WHERE LESS THAN 3" IN DIAMETER. DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED.

DUCT TESTING:

DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY EITHER ROUGH-IN TEST OR POST-CONSTRUCTION TEST AS OUTLINED IN IECC SEC. R403.3.3. A WRITTEN REPORT SHALL BE PROVIDED TO THE ARCHITECT & BUILDING OFFICIAL.

DUCT LEAKAGE:

THE TOTAL LEAKAGE OF THE DUCTS, WHERE MEASURED IN ACCORDANCE WITH IECC SEC. 403.3.3, SHALL COMPLY WITH EITHER ROUGH-IN TEST OR POSTCONSTRUCTION TEST REQUIREMENTS AS OUTLINED IN IECC SEC. R403.3.4.

CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALL SHALL BE INSULATED BY COMPLETELY FILLING THE FRAME.

CRAWLSPACES

ALL CRAWLSPACES SHALL BE CONDITIONED. PROVIDE 50 CFM PER 1000 SF WHEN MECHANICAL SYSTEM IS RUNNING.



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No.	Date	Description

SHEET ISSUE DATE:
12-8-2021
PROJ. NO. 21040
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SHEET TITLE:
IECC COMPLIANCE

SHEET NUMBER:

A0.4

MATERIAL KEYNOTES	
NOTE NUMBER	NOTE TEXT
1	DIMENSIONAL LIFETIME ASPHALT SHINGLE, COLOR TBD
2	TEE-PANEL SNAP-ON ROOF METAL PANEL
3	1X6 VERTICAL SHIPLAP (NAKAMOTO PIKA-PIKA) SIDING
4	6" LAP SIDING, COLOR TBD
5	NOMINAL 1X6 SMOOTH FACE/FINE GRAIN PINE FASCIA, COLOR TBD
6	GUTTERS AND DOWNSPOUTS, MATCH FASCIA
7	3" ALUMINUM FLASHING, MATCH PIKA PIKA SIDING
8	ALUMINUM CLAD SIERRA PACIFIC WINDOWS, DARK BRONZE
9	1X4 T&G SMOOTH FACE/FINE GRAIN STAINED CEDAR SOFFIT

EXTERIOR FINISH NOTES

1. EXISTING BRICK TO BE TUCK-POINTED TO REPAIR BROKEN BRICK AND FILL DEEP & WASHED OUT MORTAR JOINTS. MATCH EXISTING.
2. EXISTING TRIM IS TO REMAIN. CLEAN, SCRAP LOOSE PAINT, PRIM AND REPAINT. COLOR T.B.D.
3. EXISTING ASPHALT SHINGLES TO REMAIN. BLEND NEW ROOF AREAS WITH EXISTING.
4. ALL NEW GUTTERS AND DOWNSPOUTS. DIRECT DOWNSPOUTS AWAY FROM FOUNDATION WALL.



4 NE PERSPECTIVE VIEW
A0.5 SCALE:



3 SW PERSPECTIVE VIEW
A0.5 SCALE:



2 SE PERSPECTIVE VIEW
A0.5 SCALE:



1 BIRDSEYE VIEW
A0.5 SCALE:



REVISIONS:		
No.	Date	Description

SHEET ISSUE DATE:
12-8-2021
PROJ. NO. 21040
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SHEET TITLE:
3D VIEWS

SHEET NUMBER:
A0.5

- DEMOLITION NOTES**
1. CONTRACTOR RESPONSIBLE FOR HAZARDOUS MATERIAL TESTING AND REMEDIATION, INCLUDING ASBESTOS AND LEAD PAINT, AS REQUIRED BY APPLICABLE CODES.
 2. COORDINATE ALL DEMOLITION AND MATERIAL REMOVAL. MAINTAIN A CLEAN AND ORDERLY SITE. TEMPORARY EXTERIOR WALL OPENINGS MUST BE WEATHER TIGHT AND SECURE.
 3. COORDINATE LOCATION OF NEW OPENINGS IN EXISTING WALLS PRIOR TO DEMOLITION.
 4. CONTRACTOR TO PROVIDE SHORING AND BRACING IN PROPER SEQUENCE AS MAY BE REQUIRED DURING DEMOLITION TO ACHIEVE FINAL COMPLETED PROJECT.
 5. REMOVE AND DISPOSE OF ALL EXTERIOR WINDOWS & DOORS. CONFIRM REPLACEMENT OR REFINISHING OF FRONT DOOR WITH OWNER & ARCHITECT.
 6. REMOVE AND STORE ALL INTERIOR DOORS. CONFIRM REPLACEMENT OR REFINISHING OF INTERIOR DOORS WITH OWNER & ARCHITECT.
 7. MAINTAIN TEMPORARY POWER ON SITE. REFER TO PLAN FOR EXISTING PANEL AND METER LOCATION AND/OR NEW PANEL AND METER LOCATION.
 8. NEW BURIED POWER AND DATA CONDUIT WILL RUN FROM NEW METER TO HOUSE TERMINATING IN THE BASEMENT UTILITY ROOM.
 9. REMOVE AND DISPOSE OF ALL EXISTING ELECTRICAL WIRING, FIXTURES, OUTLETS, SWITCHES.
 10. REMOVE AND DISPOSE OF ALL EXISTING PIPING, DUCTS, SWAMP COOLER, RADIATORS, AND BOILER.
 11. FOR ASBESTOS ABATEMENT OR REMOVAL, INCLUDING STRUCTURAL DEMOLITION, CONTACT THE STATE OF COLORADO DEPARTMENT OF HEALTH, 303-692-2000.

DEMOLITION PATTERN LEGEND

DEMOLISHED IN PLAN	
EXISTING WALL (SEE WALL TYPES)	
DEMOLISHED IN ELEVATION	

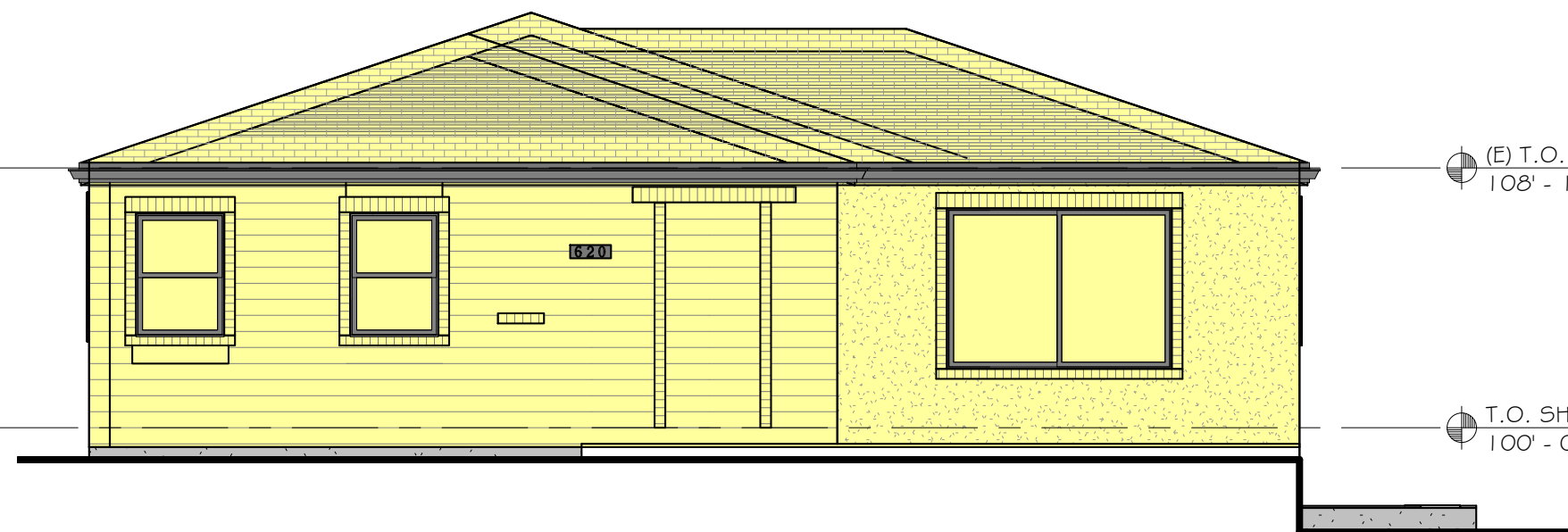
DEMOLITION CALCULATIONS

HOUSE (EXISTING)	HOUSE (DEMO)
NORTH: 423.96 SF	NORTH: 357.03 SF
SOUTH: 423.96 SF	SOUTH: 357.03 SF
EAST: 456.17 SF	EAST: 441.54 SF
WEST: 537.70 SF	WEST: 441.54 SF
TOTAL: 1,841.79 SF	TOTAL: 1,240.11 SF
1,240.11 SF DEMO / 1,841.79 TOTAL SF = 67.33% DEMOLISHED	

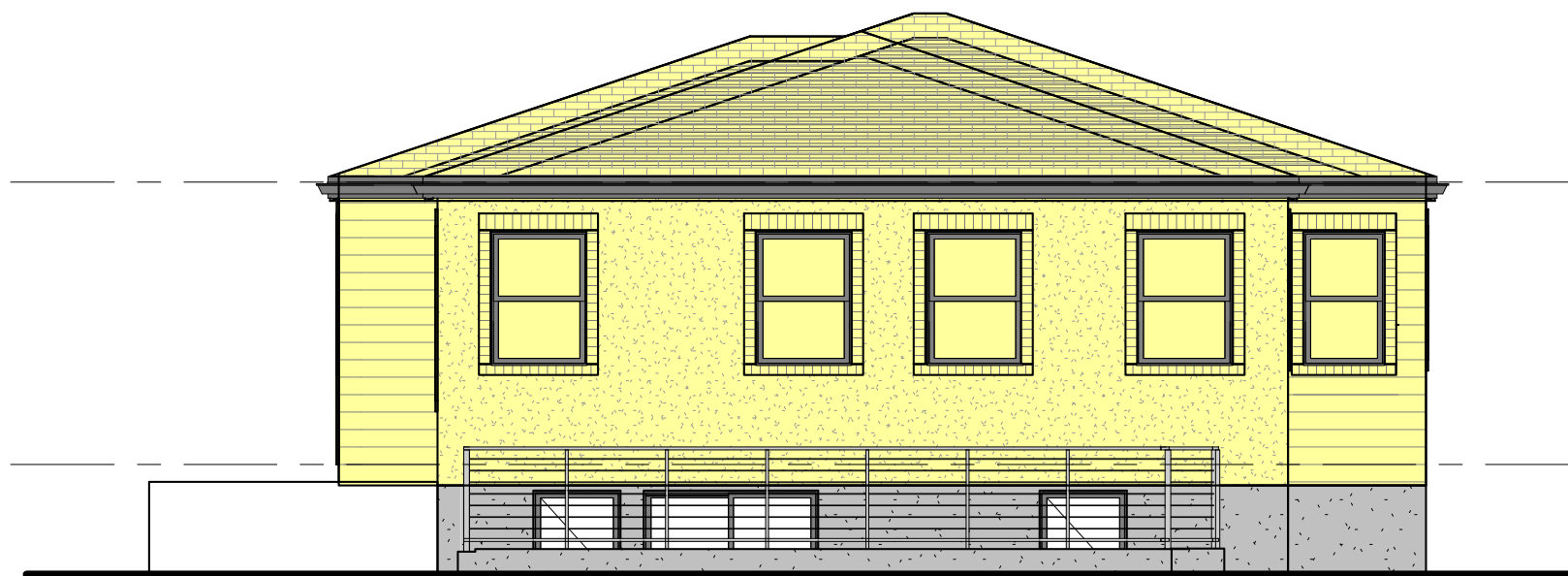
THE OWNER OF THE SUBJECT PROPERTY ATTESTS AND UNDERSTANDS THE EXISTING STRUCTURE SHOWN ON THIS PLAN IS CATEGORIZED AS A COMPLIANT STRUCTURE PER DZC, DIVISION 12.6, AND/OR CATEGORIZED A 5 A NONCONFORMING STRUCTURE PER DZC, DIVISION 12.8, AND AS SUCH, DEMOLITION OF 40% OR MORE OF THE SQUARE FOOTAGE (AREA) OF THE STRUCTURE'S EXTERIOR WALLS AS A RESULT OF CONSTRUCTION ACTIVITIES WILL REQUIRE NEW OR REVISED ZONING/BUILDING PLANS DOCUMENTING FULL COMPLIANCE WITH ALL APPLICABLE ZONE DISTRICTS STANDARDS.



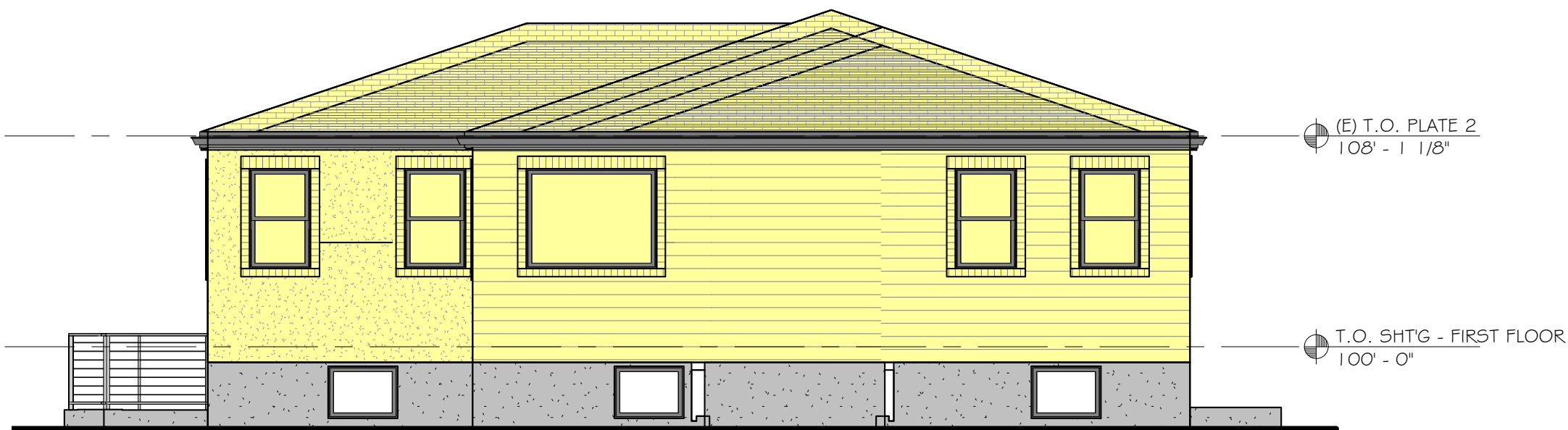
6 DEMO SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



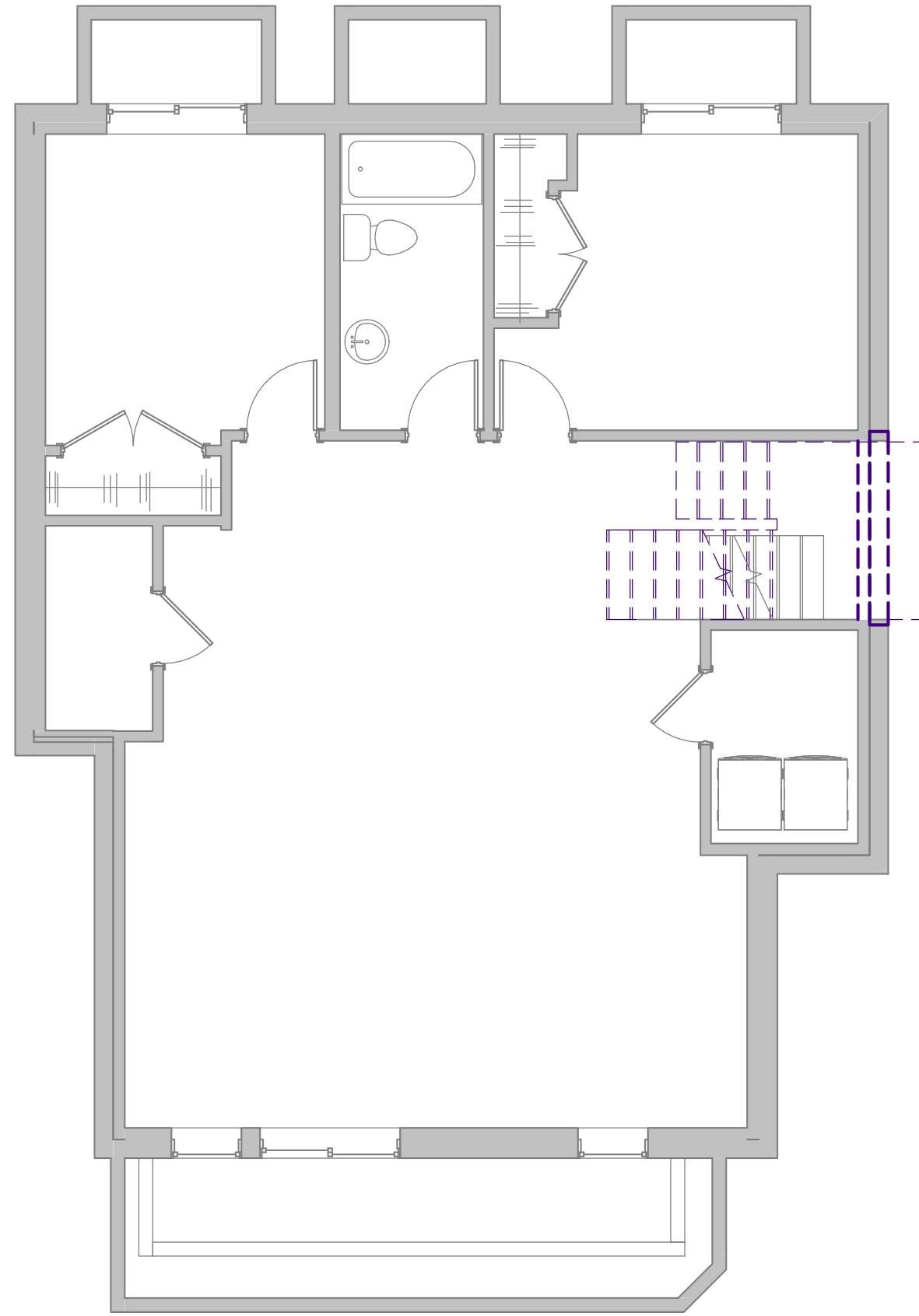
5 DEMO EAST ELEVATION
SCALE: 3/16" = 1'-0"



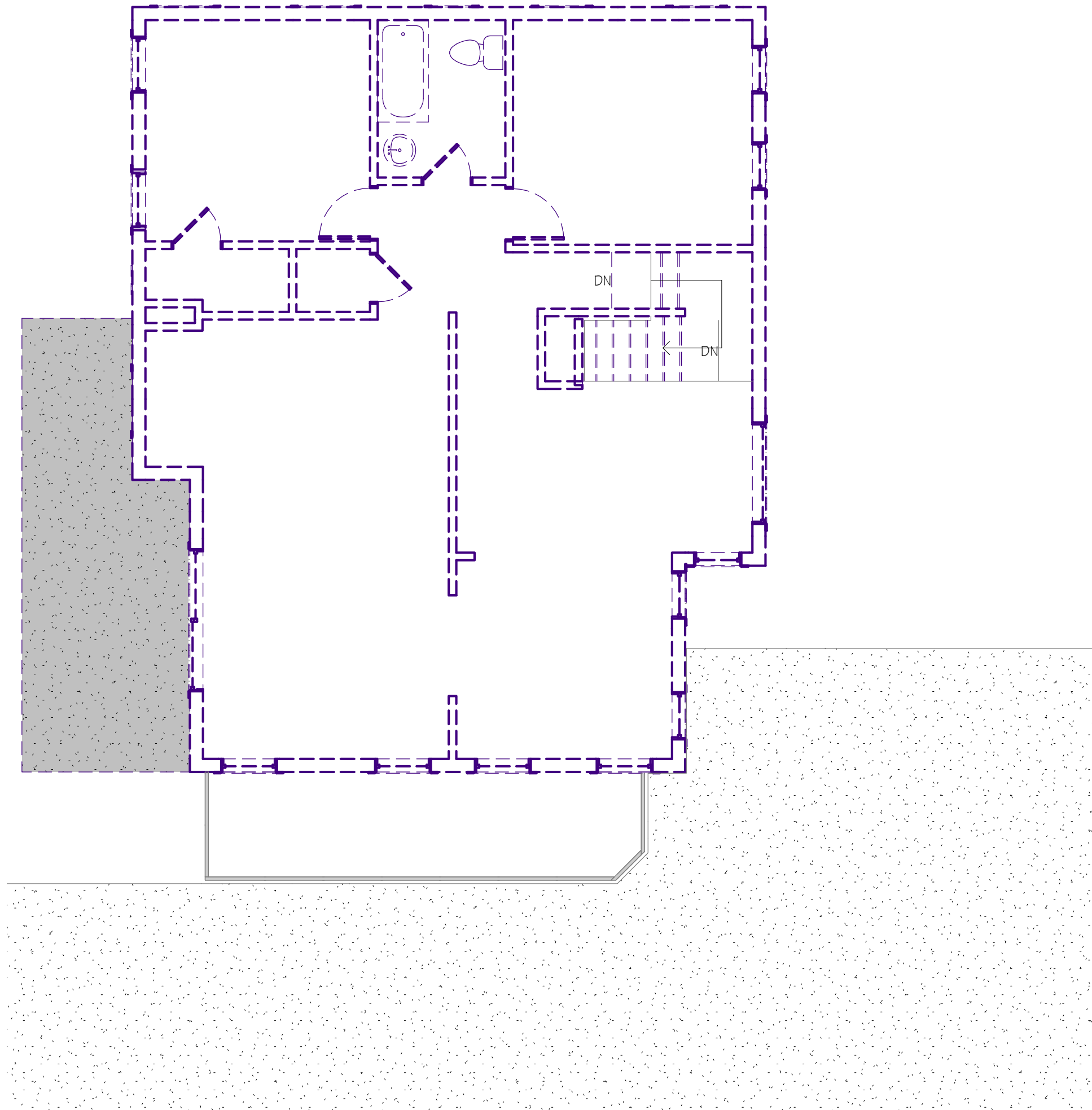
4 DEMO NORTH ELEVATION
SCALE: 3/16" = 1'-0"



3 DEMO WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 DEMO BASEMENT
SCALE: 3/16" = 1'-0"



1 DEMO FIRST FLOOR
SCALE: 3/16" = 1'-0"

REVISIONS:

No.	Date	Description

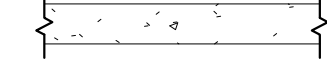
WALL LEGEND

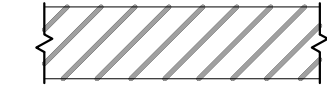
- 

DEMOLISHED WALL
- 

EXISTING WALL (SEE WALL TYPES)
- 

NEW STUD WALL (SEE WALL TYPES)
- 

NEW MASONRY WALL (SEE WALL TYPES)
- 

NEW FOUNDATION WALL (SEE WALL TYPES)
- 

INTERIOR CABINETS, BUILT-IN CARPENTRY AND APPLIANCE SELECTION AND COORDINATION BY OWNER/INTERIOR DESIGNER

EXISTING CONDITIONS

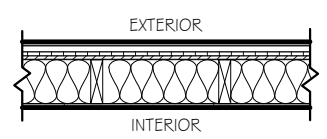
1. ALL DIMENSIONS TO FACE OF MATERIAL.

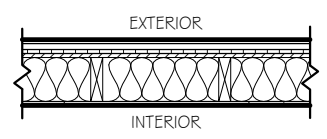
NEW CONSTRUCTION

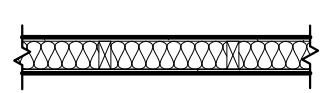
1. EXTERIOR FACE OF SHEATHING/INSULATED SHEATHING FLUSH WITH EXTERIOR FOUNDATION WALL
2. ALL EXTERIOR DIMENSIONS TO FACE OF CONCRETE/SHEATHING/EXTERIOR INSULATED SHEATHING
3. ALL INTERIOR DIMENSIONS TO FACE OF STUD

WALL TYPES

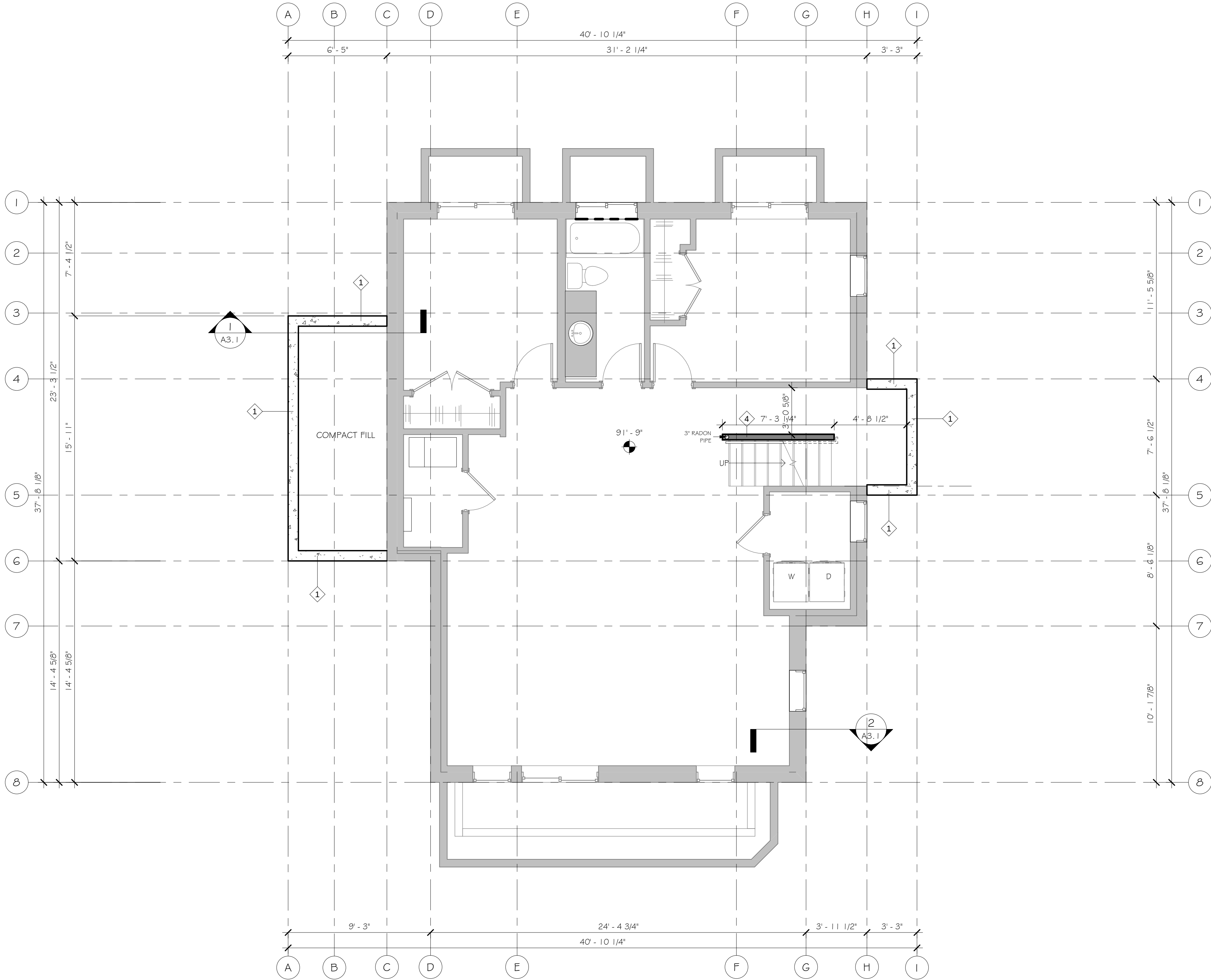
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1-8" CONCRETE FOUNDATION WALL
 - 8" CONCRETE
- 

2-EXTERIOR SIDING ON STUD WALL
 - 6" BOARD LAP SIDING
 - 1" ZIP SHEATHING SYSTEM WITH INTEGRATED AIR AND WATER-RESISTIVE BARRIER (OR EQUAL TO)
 - 2x6 WOOD STUD WALL AT 16" o.c.
 - CAVITY FILL CELLULOSE INSULATION; R-20 MIN
 - VAPOR RETARDER, CLASS 1
 - 1/2" GYPSUM WALL BOARD
- 

3-VERTICAL SIDING ON STUD WALL
 - NAKAMOTO "PIKA PIKA" SHIPLAP SIDING
 - 1X4 HORIZONTAL FURRING 12" O.C.
 - 1" ZIP SHEATHING SYSTEM WITH INTEGRATED AIR AND WATER-RESISTIVE BARRIER (OR EQUAL TO)
 - 2x6 WOOD STUD WALL AT 16" o.c.
 - CAVITY FILL CELLULOSE INSULATION; R-20 MIN
 - VAPOR RETARDER, CLASS 1
 - 1/2" GYPSUM WALL BOARD
- 

4-INTERIOR STUD WALL
 - 1/2" GYPSUM WALL BOARD
 - 2x4 WOOD STUD WALL AT 16" o.c.
 - 1/2" GYPSUM WALL BOARD



REVISIONS:

No.	Date	Description

SHEET ISSUE DATE:
12-8-2021
PROJ. NO. 21040
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SHEET TITLE:
BASEMENT PLAN

SHEET NUMBER:

A1.1

WALL LEGEND

- DEMOLISHED WALL
- EXISTING WALL (SEE WALL TYPES)
- NEW STUD WALL (SEE WALL TYPES)
- NEW MASONRY WALL (SEE WALL TYPES)
- NEW FOUNDATION WALL (SEE WALL TYPES)
- INTERIOR CABINETS, BUILT-IN CARPENTRY AND APPLIANCE SELECTION AND COORDINATION BY OWNER/INTERIOR DESIGNER

EXISTING CONDITIONS

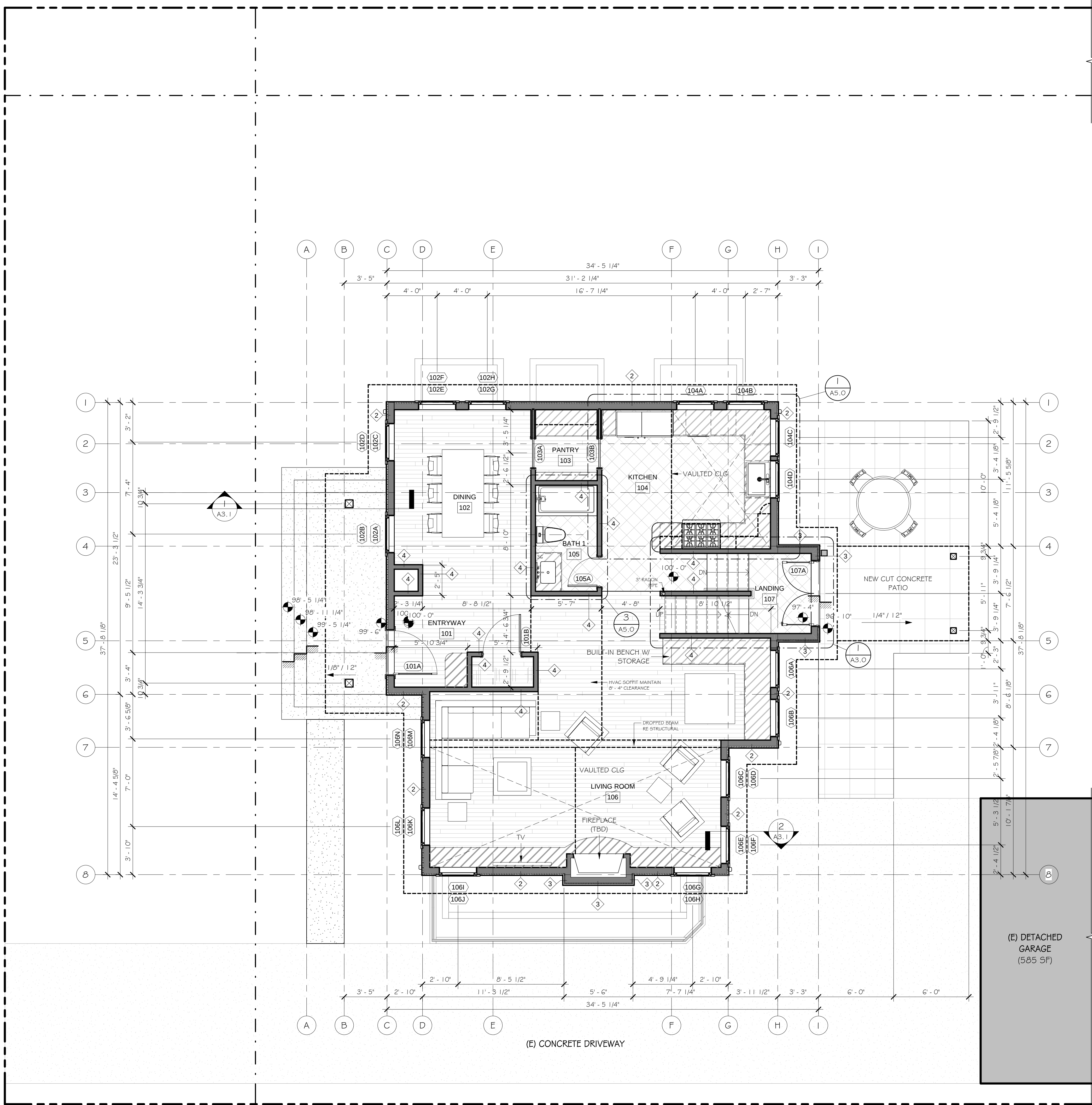
1. ALL DIMENSIONS TO FACE OF MATERIAL.

NEW CONSTRUCTION

1. EXTERIOR FACE OF SHEATHING/INSULATED SHEATHING FLUSH WITH EXTERIOR FOUNDATION WALL
2. ALL EXTERIOR DIMENSIONS TO FACE OF CONCRETE/SHEATHING/EXTERIOR INSULATED SHEATHING
3. ALL INTERIOR DIMENSIONS TO FACE OF STUD

WALL TYPES

- 1-8" CONCRETE FOUNDATION WALL
- 8" CONCRETE
- 2-EXTERIOR SIDING ON STUD WALL
- 6" BOARD LAP SIDING
 - 1" ZIP SHEATHING SYSTEM WITH INTEGRATED AIR AND WATER-RESISTIVE BARRIER (OR EQUAL TO)
 - 2x6 WOOD STUD WALL AT 16" o.c.
 - CAVITY FILL CELLULOSE INSULATION; R-20 MIN
 - VAPOR RETARDER, CLASS 1
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 - 2x6 WOOD STUD WALL AT 16" o.c.
 - CAVITY FILL CELLULOSE INSULATION; R-20 MIN
 - VAPOR RETARDER, CLASS 1
 - 1/2" GYPSUM WALL BOARD
- 4-INTERIOR STUD WALL
- 1/2" GYPSUM WALL BOARD
 - 2x4 WOOD STUD WALL AT 16" o.c.
 - 1/2" GYPSUM WALL BOARD



1 FIRST FLOOR PLAN
A1.2 SCALE: 1/4" = 1'-0"



REVISIONS:

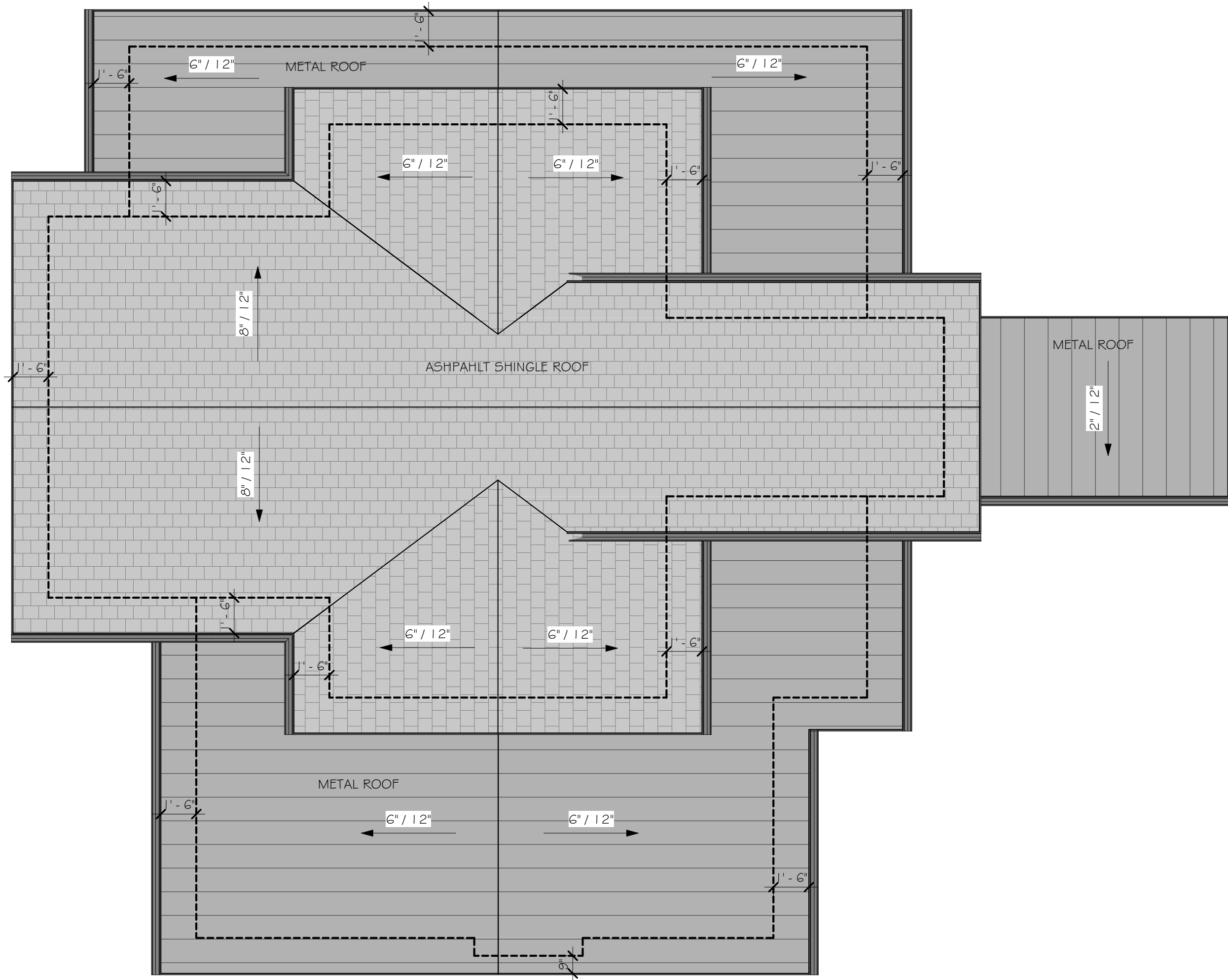
No.	Date	Description

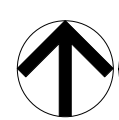
SHEET ISSUE DATE:
12-8-2021
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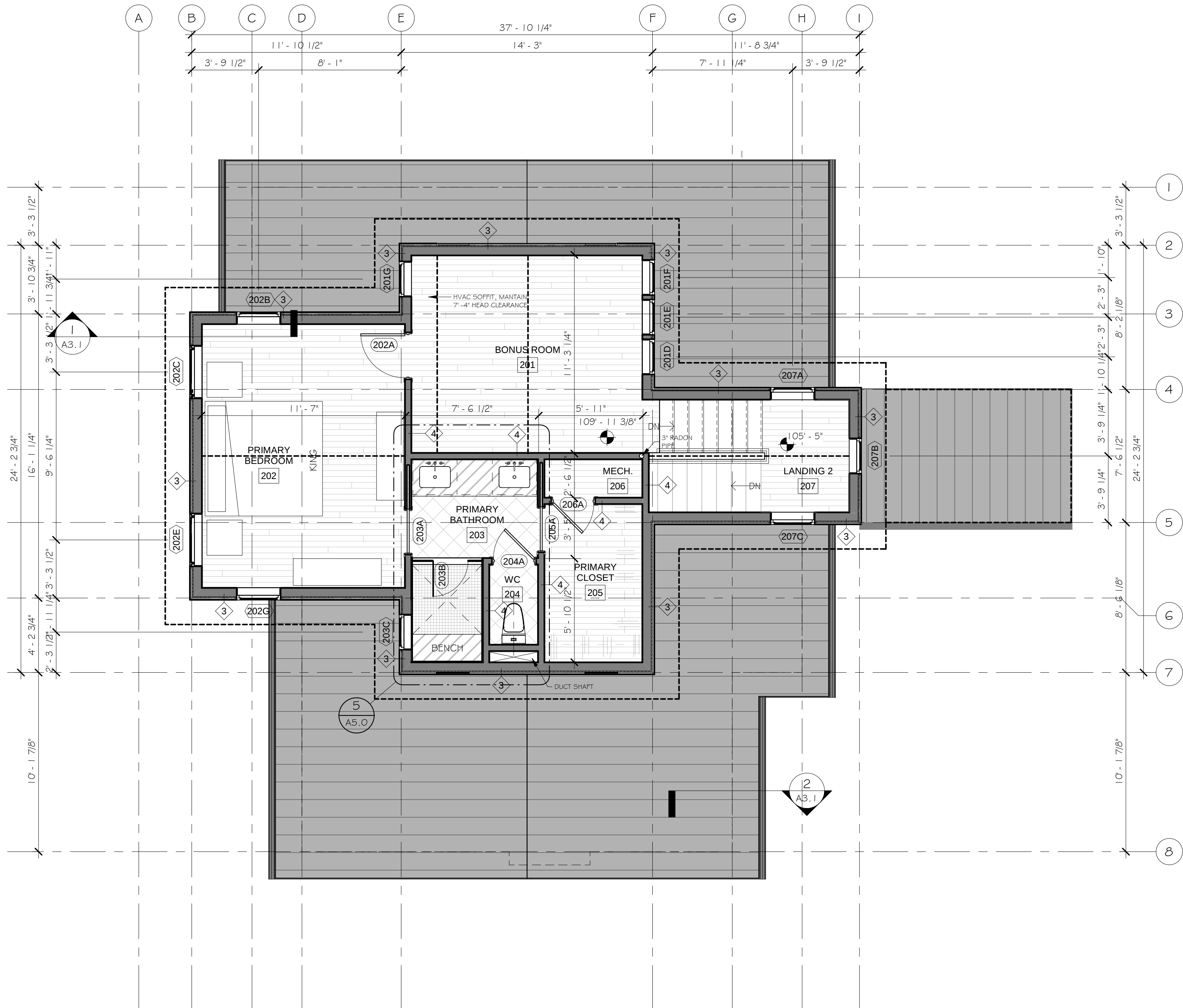
SHEET TITLE:
FIRST FLOOR
PLAN

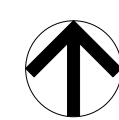
SHEET NUMBER:

A1.2



 **2** ROOF PLAN
SCALE: 1/4" = 1'-0"



 **1** SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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SHEET TITLE:
SECOND FLOOR &
ROOF PLAN
SHEET NUMBER:

A1.3

ELECTRICAL NOTES

- MEP SCOPE IS DESIGN/BUILD. MEP DESIGN IS THE RESPONSIBILITY OF THE DESIGN/BUILD CONTRACTOR. DESIGN/BUILD CONTRACTOR SHALL INCLUDE DEVICES AND EQUIPMENT AS SPECIFIED AND SHOWN IN ADDITION TO THE BALANCE OF DEVICES, EQUIPMENT, AND DOCUMENTATION REQUIRED BY THE APPLICABLE CODES.
- PROVIDE OUTLETS PER CODE IN ADDITION TO THOSE SPECIFICALLY INDICATED ON THE PLAN.
- PROVIDE DEDICATED CIRCUITS, TAMPER RESISTANT, GFI & WEATHER PROOF COMPONENTS AS REQUIRED BY APPLICABLE CODES.
- EVALUATE OCCUPANCY SENSORS AND CONTROLS WITH THE OWNER.
- DRAWINGS ILLUSTRATE PROPOSED NEW FIXTURE AND SYMBOL LOCATIONS ONLY.
- POWER, DATA, LOCATIONS UNDER/ABOVE OR WITHIN BUILT-IN FURNITURE TO BE COORDINATED BY CONTRACTOR W/ OWNER.
- CONFIRM BATHROOM VANITY FIXTURE TYPE AND LOCATION WITH OWNER.
- UNLESS NOTED ALL WALL SWITCHES MOUNTED AT 42" AFF.
- UNLESS NOTED ALL WALL OUTLETS MOUNTED 12" AFF.
- COORDINATE KITCHEN OUTLETS, SWITCHES, AND APPLIANCE/EQUIPMENT POWER REQUIREMENTS WITH OWNERS KITCHEN DESIGNER.
- COORDINATE GAS FIREPLACE INSERT POWER REQUIREMENTS WITH SELECTED MANUFACTURER.
- CONFIRM EXTERIOR ELECTRICAL OUTLETS AND HOSE BIB LOCATIONS WITH OWNER.
- ALL LIGHTING IN OCCUPIED SPACES EQUIPPED WITH DIMMER SWITCHES.
- ELECTRICAL VEHICLE CHARGING (LOCATION, PATHWAYS FOR CONDUIT TO ELECTRICAL SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACES RESERVED FOR FUTURE ELECTRICAL VEHICLE CHARGING AS "EV CAPABLE"

ELECTRICAL SYMBOL LEGEND

- | | | | |
|--|--------------------------------------|--|---|
| | DUPLEX RECEPTACLE 220 V | | DUPLEX FLOOR RECEPTACLE 120 V |
| | QUADPLEX RECEPTACLE 220 V | | QUADPLEX FLOOR RECEPTACLE 120 V |
| | G.F.I. DUPLEX | | NETWORK/CAT 6 DATA CABLE |
| | G.F.I. QUADPLEX | | THERMOSTAT |
| | WATERPROOF DUPLEX RECEPTACLE 120 V | | SMOKE/CO2 DETECTOR |
| | WATERPROOF QUADPLEX RECEPTACLE 120 V | | SPEAKER |
| | DUPLEX WALL RECEPTACLE 120 V | | SECURITY PANEL |
| | QUADPLEX WALL RECEPTACLE 120 V | | MAIN ELECTRICAL PANEL |
| | DUPLEX CEILING RECEPTACLE 120 V | | SUB PANEL |
| | QUADPLEX CEILING RECEPTACLE 120 V | | ELECTRIC VEHICLE (EV) TERMINATION POINT |

LIGHTING SYMBOL LEGEND

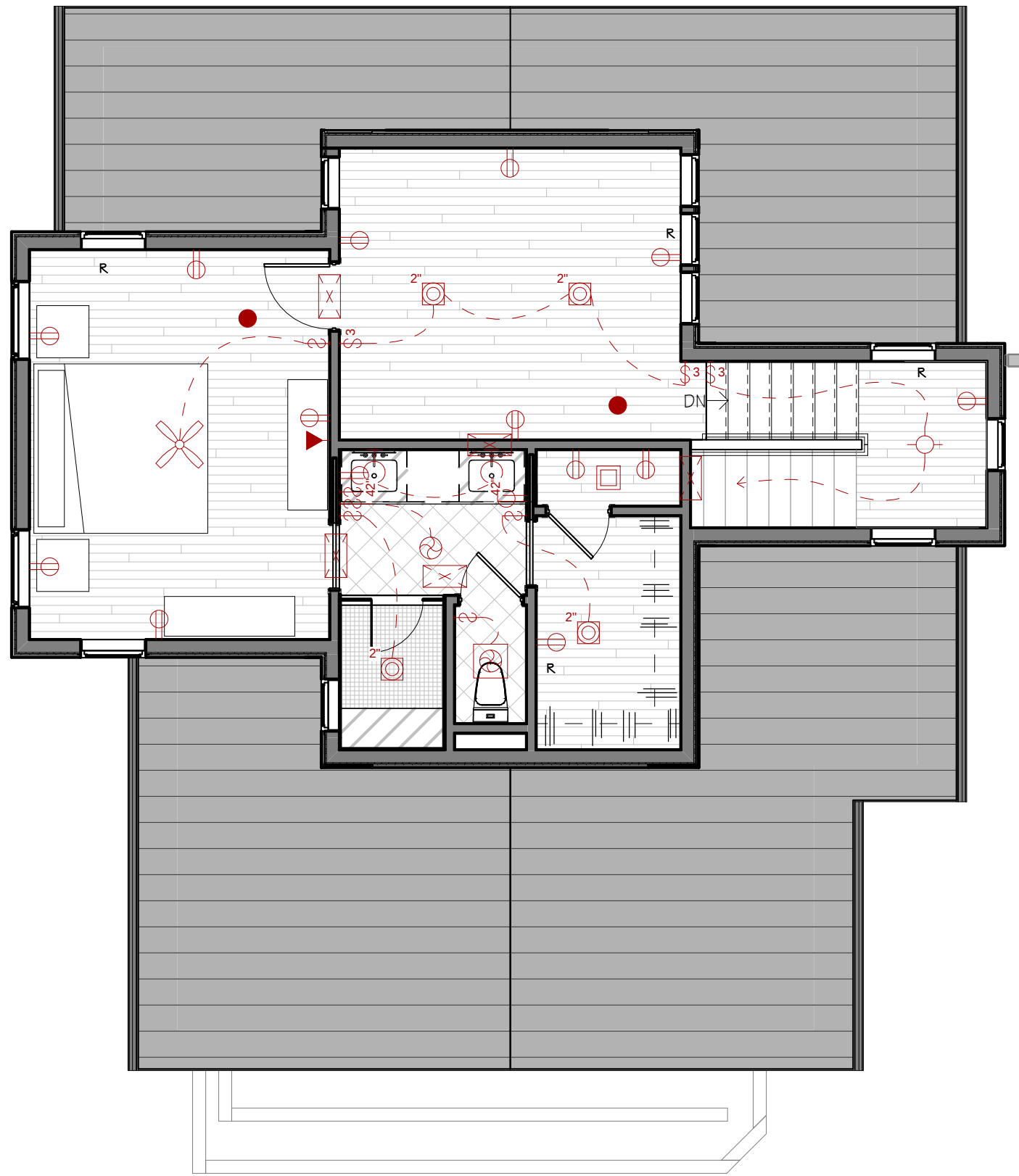
- | | | | |
|--|-----------------------------------|--|-------------------------------|
| | SWITCH - ONE WAY | | EXHAUST FAN LIGHT FIXTURE |
| | SWITCH - VARIABLE | | VANITY LIGHT FIXTURE |
| | WET LOCATION | | WALL MOUNTED LIGHT FIXTURE |
| | MOTION/OCCUPANCY SENSOR | | WALL SCONCE - SURFACE MOUNTED |
| | DAYLIGHT SENSOR | | SITE BOLLARD LIGHT |
| | CEILING MOUNTED LIGHT FIXTURE | | POLE MOUNTED LIGHT - SINGLE |
| | DOWNLIGHT - FIXED | | POLE MOUNTED LIGHT - DOUBLE |
| | DOWNLIGHT - ADJUSTABLE | | CEILING FAN W/ LIGHTS |
| | DIRECTIONAL WALL WASHER | | BATTERY PACK EGRESS LIGHT |
| | HANGING PENDANT LIGHT FIXTURE | | DIRECTIONAL UPLIGHT |
| | TRACK LIGHT FIXTURE - FIXED | | WALL MOUNTED HARDSCAPE LIGHT |
| | TRACK LIGHT FIXTURE - DIRECTIONAL | | |

PLUMBING SYMBOL LEGEND

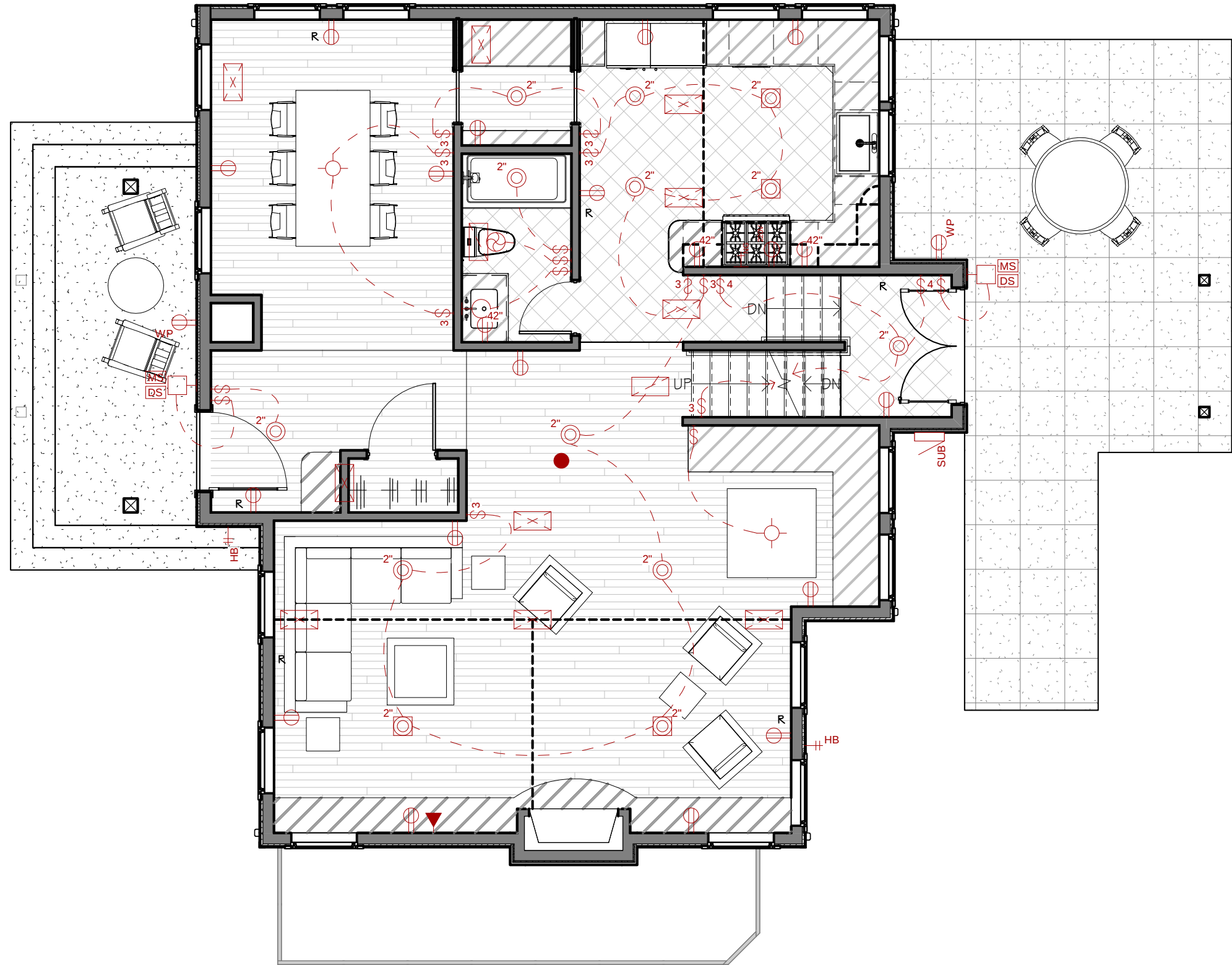
- | | |
|--|----------------------|
| | CLEANOUT |
| | DUAL CLEANOUT |
| | HOSE BIBB |
| | FLOOR DRAIN |
| | ROOF DRAIN/ OVERFLOW |
| | EXISTING DOWNSPOUT |
| | NEW DOWNSPOUT |
| | EJECTOR PUMP |
| | SUMP PUMP |

MECHANICAL SYMBOL LEGEND

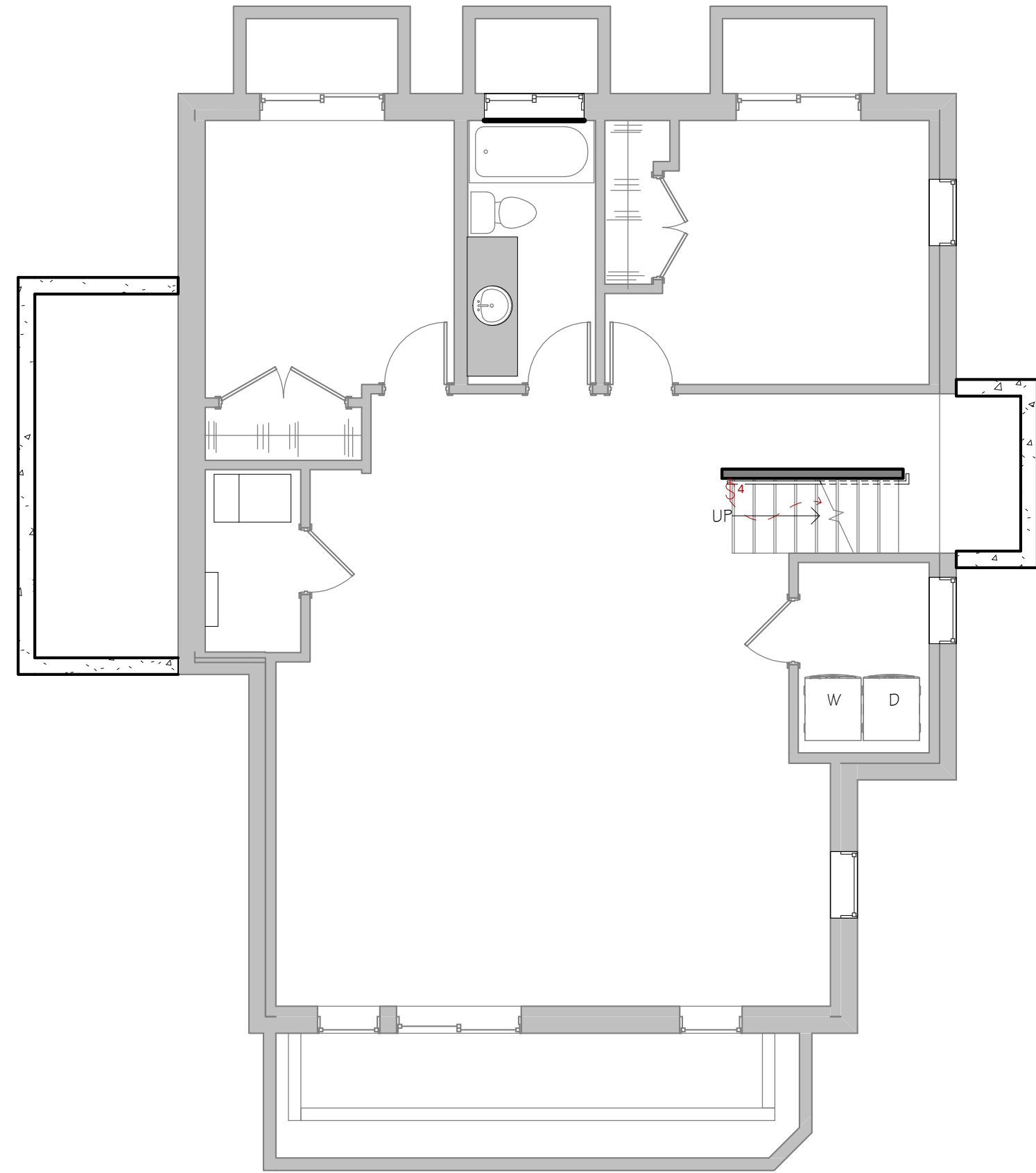
- | | |
|--|---------------------------|
| | EXTRACTOR FAN |
| | RETURN/ EXHAUST DUCT DOWN |
| | RETURN/ EXHAUST DUCT UP |
| | SUPPLY DUCT DOWN |
| | SUPPLY DUCT UP |
| | RETURN ROUND DUCT DOWN |
| | RETURN ROUND DUCT UP |
| | SUPPLY ROUND DUCT DOWN |
| | SUPPLY ROUND DUCT UP |
| | NATURAL GAS |



3 SCHEMATIC UTILITIES - SECOND FLOOR
SCALE: 3/16" = 1'-0"



2 SCHEMATIC UTILITIES - FIRST FLOOR
SCALE: 3/16" = 1'-0"



1 SCHEMATIC UTILITIES - BASEMENT
SCALE: 3/16" = 1'-0"

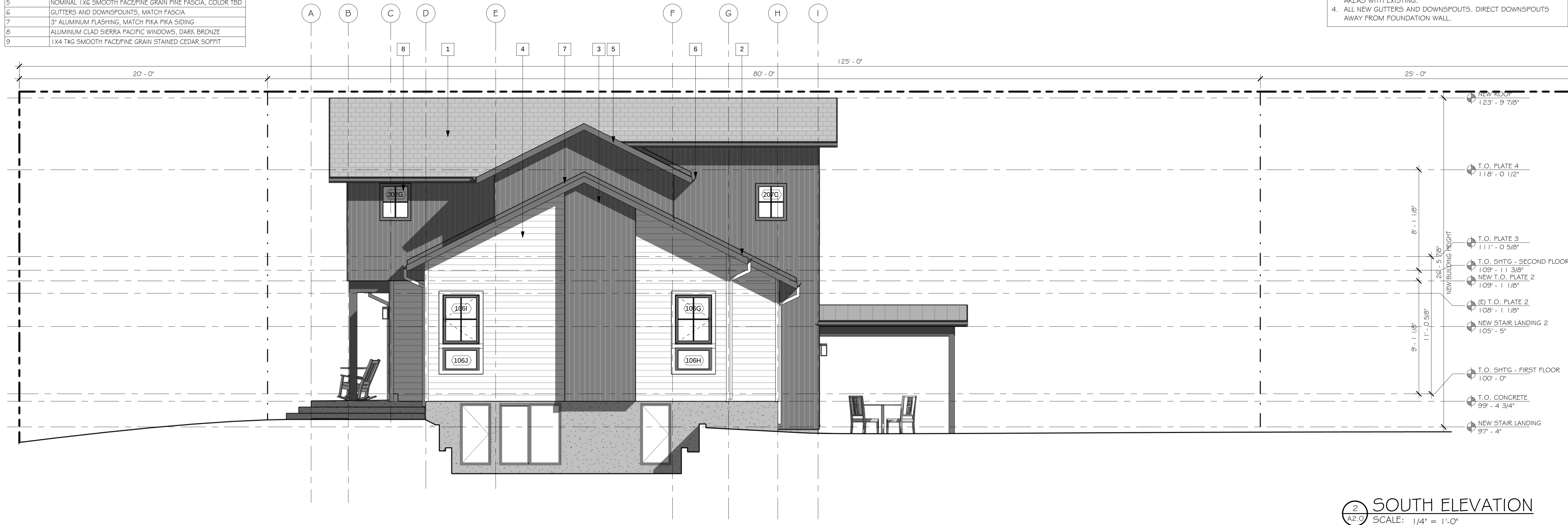


REVISIONS:		
No.	Date	Description

MATERIAL KEYNOTES	
NOTE NUMBER	NOTE TEXT
1	DIMENSIONAL LIFETIME ASPHALT SHINGLE, COLOR TBD
2	TEE-PANEL SNAP-ON ROOF METAL PANEL
3	1X6 VERTICAL SHIPLAP (NAKAMOTO PIKA-PIKA) SIDING
4	6" LAP SIDING, COLOR TBD
5	NOMINAL 1X6 SMOOTH FACE/FINE GRAIN PINE FASCIA, COLOR TBD
6	GUTTERS AND DOWNSPOUTS, MATCH FASCIA
7	3" ALUMINUM FLASHING, MATCH PIKA PIKA SIDING
8	ALUMINUM CLAD SIERRA PACIFIC WINDOWS, DARK BRONZE
9	1X4 T&G SMOOTH FACE/FINE GRAIN STAINED CEDAR SOFFIT

EXTERIOR FINISH NOTES

1. EXISTING BRICK TO BE TUCK-POINTED TO REPAIR BROKEN BRICK, AND FILL DEEP # WASHED OUT MORTAR JOINTS. MATCH EXISTING.
2. EXISTING TRIM IS TO REMAIN. CLEAN, SCRAP LOOSE PAINT, PRIME AND REPAINT. COLOR T.B.D.
3. EXISTING ASPHALT SHINGLES TO REMAIN. BLEND NEW ROOF AREAS WITH EXISTING.
4. ALL NEW GUTTERS AND DOWNSPOUTS. DIRECT DOWNSPOUTS AWAY FROM FOUNDATION WALL.



ARCWEST
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[illegible]

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SHEET TITLE:
EXTERIOR
ELEVATIONS
SHEET NUMBER:
A2.0

MATERIAL KEYNOTES	
NOTE NUMBER	NOTE TEXT
1	DIMENSIONAL LIFETIME ASPHALT SHINGLE, COLOR TBD
2	TEE-PANEL SNAP-ON ROOF METAL PANEL
3	1X6 VERTICAL SHIPLAP (NAKAMOTO PIKA-PIKA) SIDING
4	6" LAP SIDING, COLOR TBD
5	NOMINAL 1X6 SMOOTH FACE/FINE GRAIN PINE FASCIA, COLOR TBD
6	GUTTERS AND DOWNSPOUTS, MATCH FASCIA
7	3" ALUMINUM FLASHING, MATCH PIKA PIKA SIDING
8	ALUMINUM CLAD SIERRA PACIFIC WINDOWS, DARK BRONZE
9	1X4 T&G SMOOTH FACE/FINE GRAIN STAINED CEDAR SOFFIT

EXTERIOR FINISH NOTES

- EXISTING BRICK TO BE TUCK-POINTED TO REPAIR BROKEN BRICK AND FILL DEEP & WASHED OUT MORTAR JOINTS. MATCH EXISTING.
- EXISTING TRIM IS TO REMAIN. CLEAN, SCRAP LOOSE PAINT, PRIM AND REPAINT. COLOR T.B.D.
- EXISTING ASPHALT SHINGLES TO REMAIN. BLEND NEW ROOF AREAS WITH EXISTING.
- ALL NEW GUTTERS AND DOWNSPOUTS. DIRECT DOWNSPOUTS AWAY FROM FOUNDATION WALL.



2 WEST ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



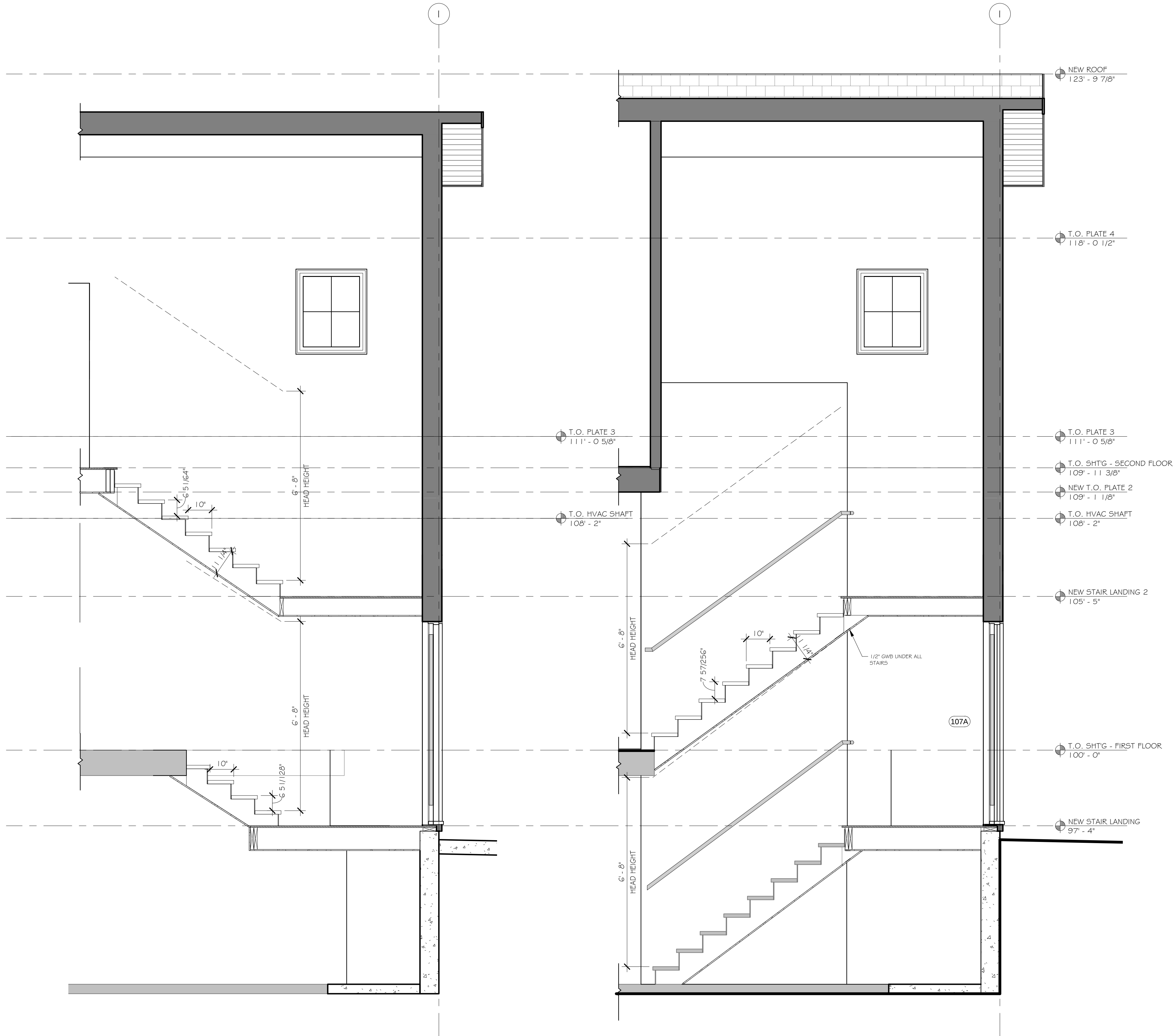
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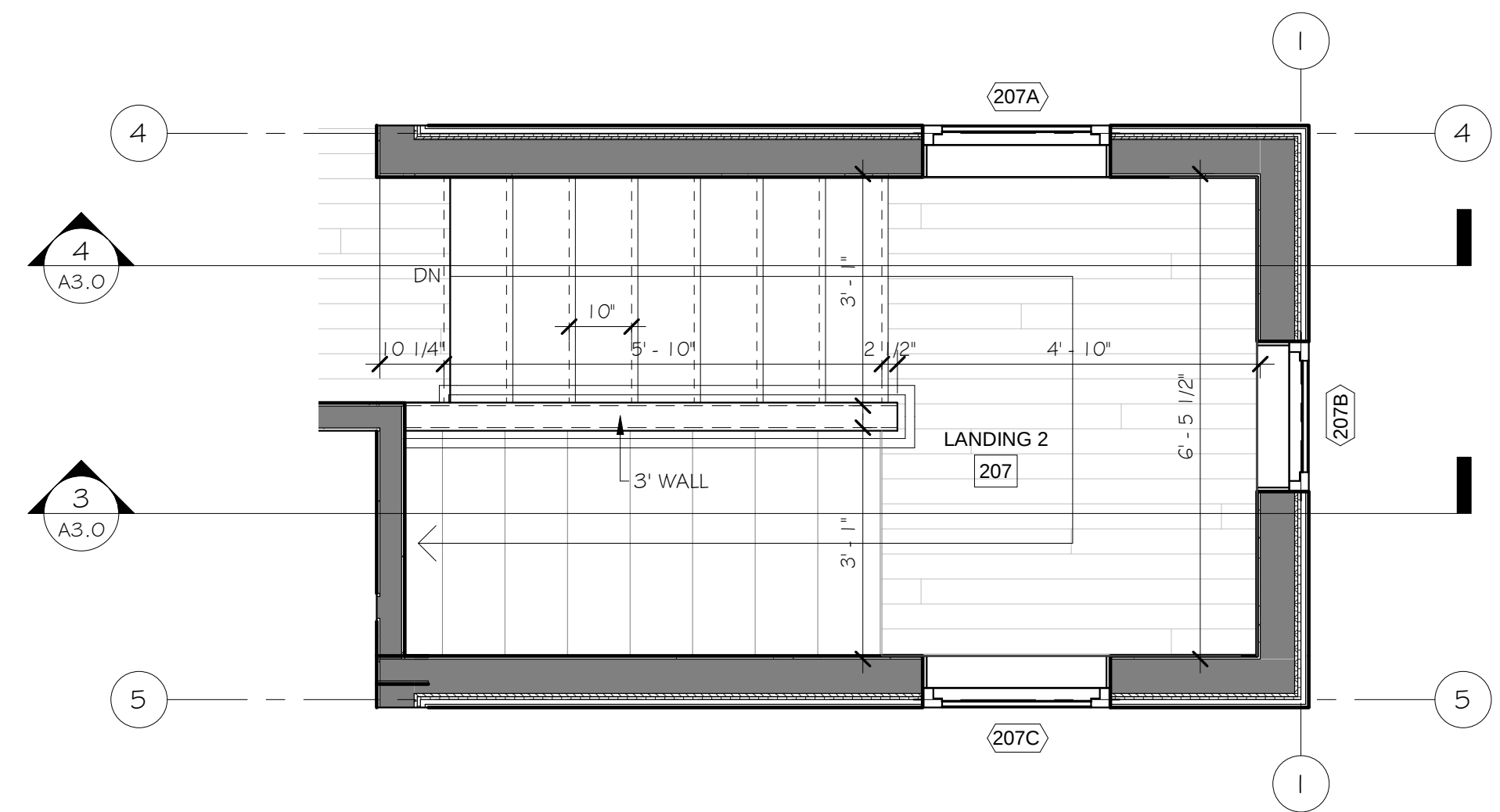
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EXTERIOR
ELEVATIONS
SHEET NUMBER:

A2.1

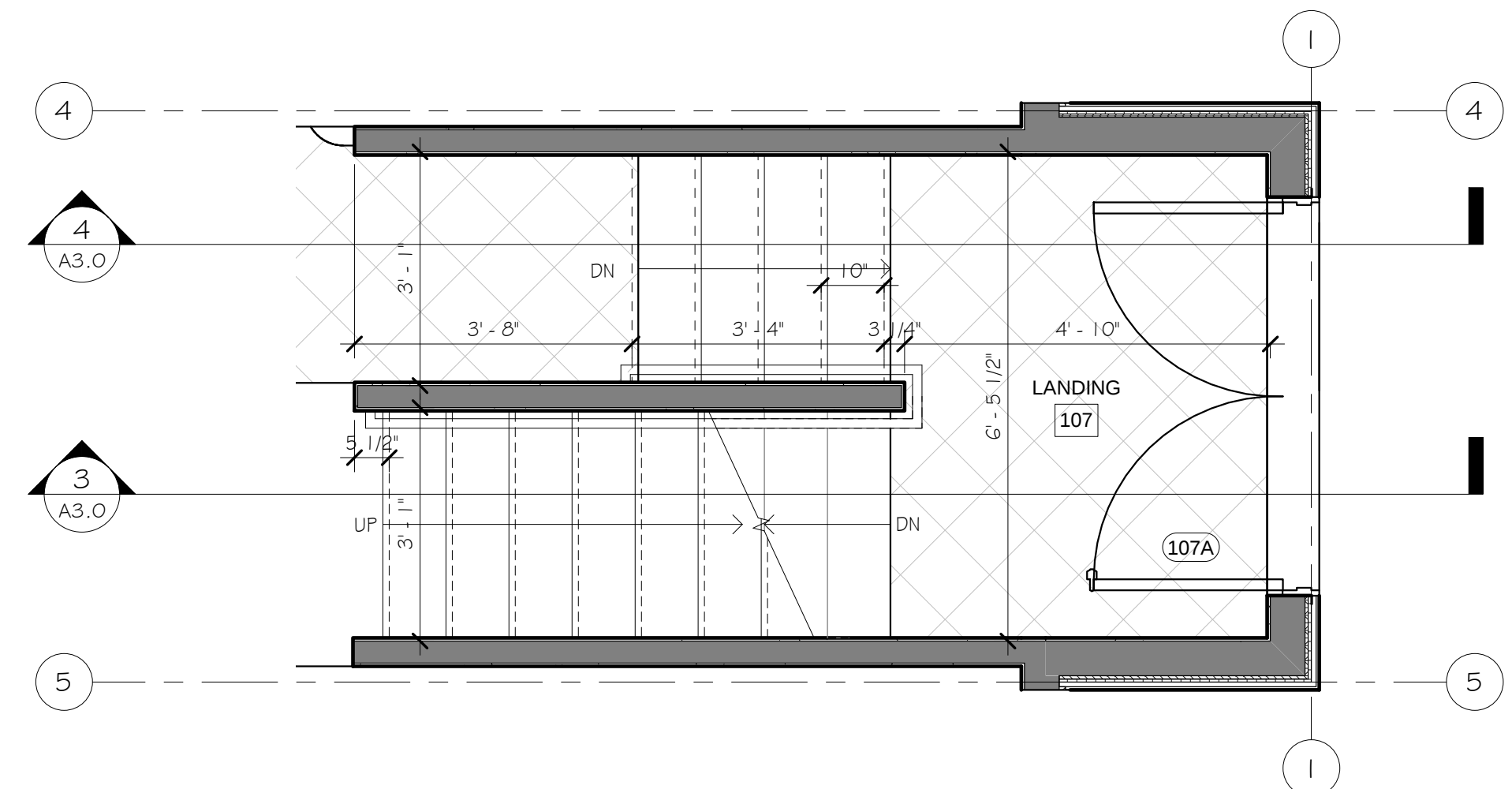


4 STAIR SECTION 2
A3.0 SCALE: 1/2" = 1'-0"

3 STAIR SECTION 1
A3.0 SCALE: 1/2" = 1'-0"



2 STAIRS - SECOND FLOOR
A3.0 SCALE: 1/2" = 1'-0"



1 STAIRS - FIRST FLOOR
A3.0 SCALE: 1/2" = 1'-0"



REVISIONS:		
No.	Date	Description

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SHEET TITLE:
STAIRS

SHEET NUMBER:
A3.0

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No.	Date	Description
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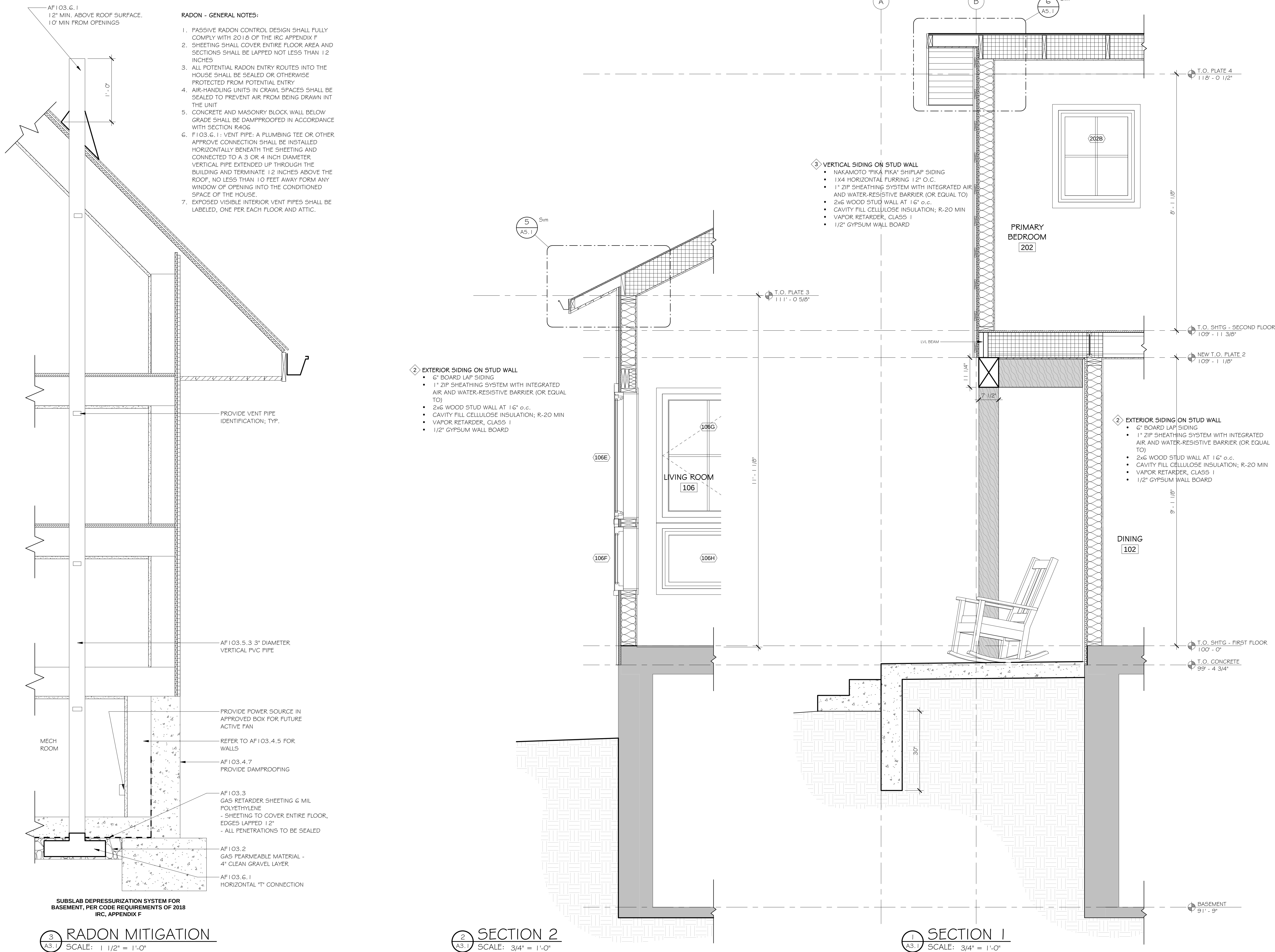
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12-8-2021
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SHEET TITLE:
WALL SECTIONS

SHEET NUMBER:

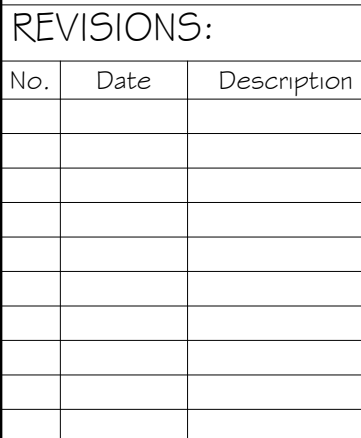
A3.1



[illegible]

MARK	LOCATION.	INTERIOR/EXTERIOR	TYPE/OPERATION	NEW REPLACED EXISTING	OPENING		MATERIAL		FINISH		GLAZING	HARDWARE		MANUFACTURER	COMMENTS	
					WIDTH	HEIGHT	INTERIOR	EXTERIOR	INTERIOR	EXTERIOR		LOCKSET	FINISH			
101A	ENTRYWAY	EXTERIOR	SINGLE SWING	NEW	3' - 6"	8' - 0"	WOOD	ALUMINUM CLAD	PAINT	DARK BRONZE	LoE-340/CLEAR	ENTRY W/ DEADBOLT	DARK BRONZE	SIERRA PACIFIC		
101B	ENTRYWAY	INTERIOR	SINGLE SWING	NEW	3' - 0"	7' - 0"	WOOD	WOOD	PAINT	PAINT		PASSAGE	DARK BRONZE	TBD		
103A	PANTRY	INTERIOR	SINGLE POCKET	NEW	2' - 4"	7' - 0"	WOOD	WOOD	PAINT	PAINT		PASSAGE	DARK BRONZE	TBD		
103B	PANTRY	INTERIOR	SINGLE POCKET	NEW	2' - 4"	7' - 0"	WOOD	WOOD	PAINT	PAINT		PASSAGE	DARK BRONZE	TBD		
105A	BATH 1	INTERIOR	SINGLE SWING	NEW	2' - 4"	7' - 0"	WOOD	WOOD	PAINT	PAINT		PRIVACY	DARK BRONZE	TBD		
107A	LANDING	EXTERIOR	DOUBLE SWING	NEW	5' - 2 5/8"	7' - 0"	WOOD	ALUMINUM CLAD	PAINT	DARK BRONZE	LoE-340/CLEAR	ENTRY W/ DEADBOLT	DARK BRONZE	TBD		
202A	PRIMARY BEDROOM	INTERIOR	SINGLE SWING	NEW	2' - 6"	7' - 0"	WOOD	WOOD	PAINT	PAINT		PRIVACY	DARK BRONZE	TBD		
203A	PRIMARY BATHROOM	INTERIOR	SINGLE POCKET	NEW	2' - 6"	7' - 0"	WOOD	WOOD	PAINT	PAINT		PRIVACY	DARK BRONZE	TBD		
203B	PRIMARY BATHROOM	INTERIOR	SINGLE SWING	NEW	2' - 0"	7' - 0"	WOOD	WOOD	PAINT	PAINT		FULL GLASS	PASSAGE	DARK BRONZE	TBD	SHOWER DOOR
204A	WATER CLOSET	INTERIOR	SINGLE SWING	NEW	2' - 4"	7' - 0"	WOOD	WOOD	PAINT	PAINT		PRIVACY	DARK BRONZE	TBD		
205A	PRIMARY CLOSET	INTERIOR	SINGLE POCKET	NEW	2' - 6"	7' - 0"	WOOD	WOOD	PAINT	PAINT		PASSAGE	DARK BRONZE	TBD		
206A	MECHANICAL	INTERIOR	SINGLE SWING	NEW	2' - 4"	7' - 0"	WOOD	WOOD	PAINT	PAINT		PASSAGE	DARK BRONZE	TBD		

NO.	LOCATION	FLOOR	CEILING	WALL				COMMENTS
				WEST	NORTH	EAST	SOUTH	
101	ENTRYWAY	HARDWOOD	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
102	DINING	HARDWOOD	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
103	PANTRY	HARDWOOD	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
104	KITCHEN	TILE	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
105	BATH 1	TILE	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
106	LIVING ROOM	HARDWOOD	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
107	LANDING	TILE	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
201	BONUS ROOM	HARDWOOD	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
202	PRIMARY BEDROOM	HARDWOOD	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
203	PRIMARY BATHROOM	TILE	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
204	WC	TILE	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
205	PRIMARY CLOSET	HARDWOOD	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
206	MECH.	HARDWOOD	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	
207	LANDING 2	HARDWOOD	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	PAINTED GWB	

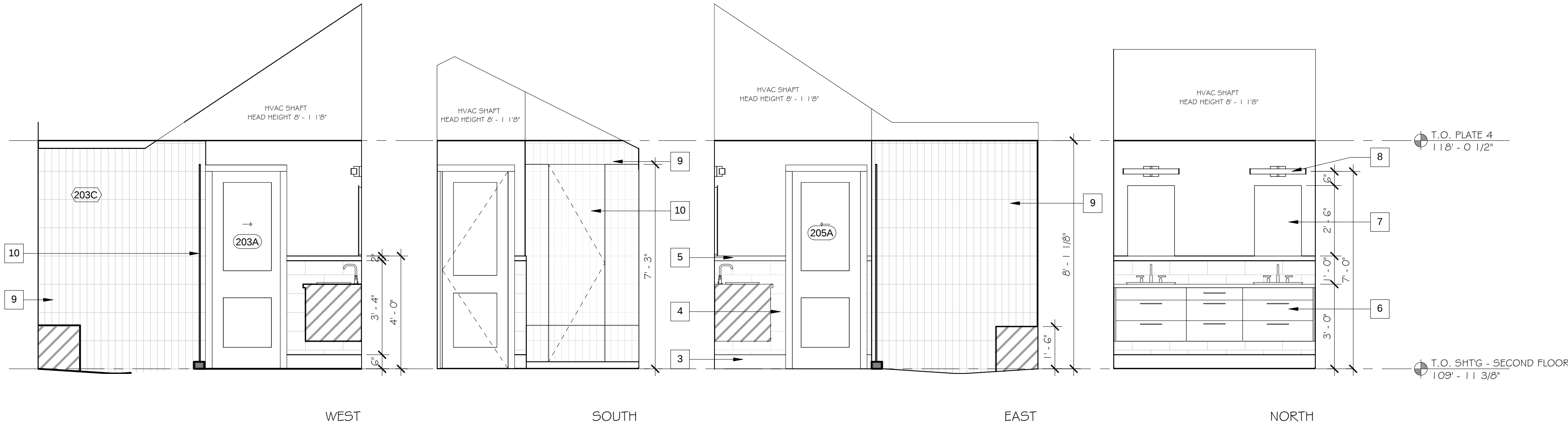


SHEET TITLE:
SCHEDULES

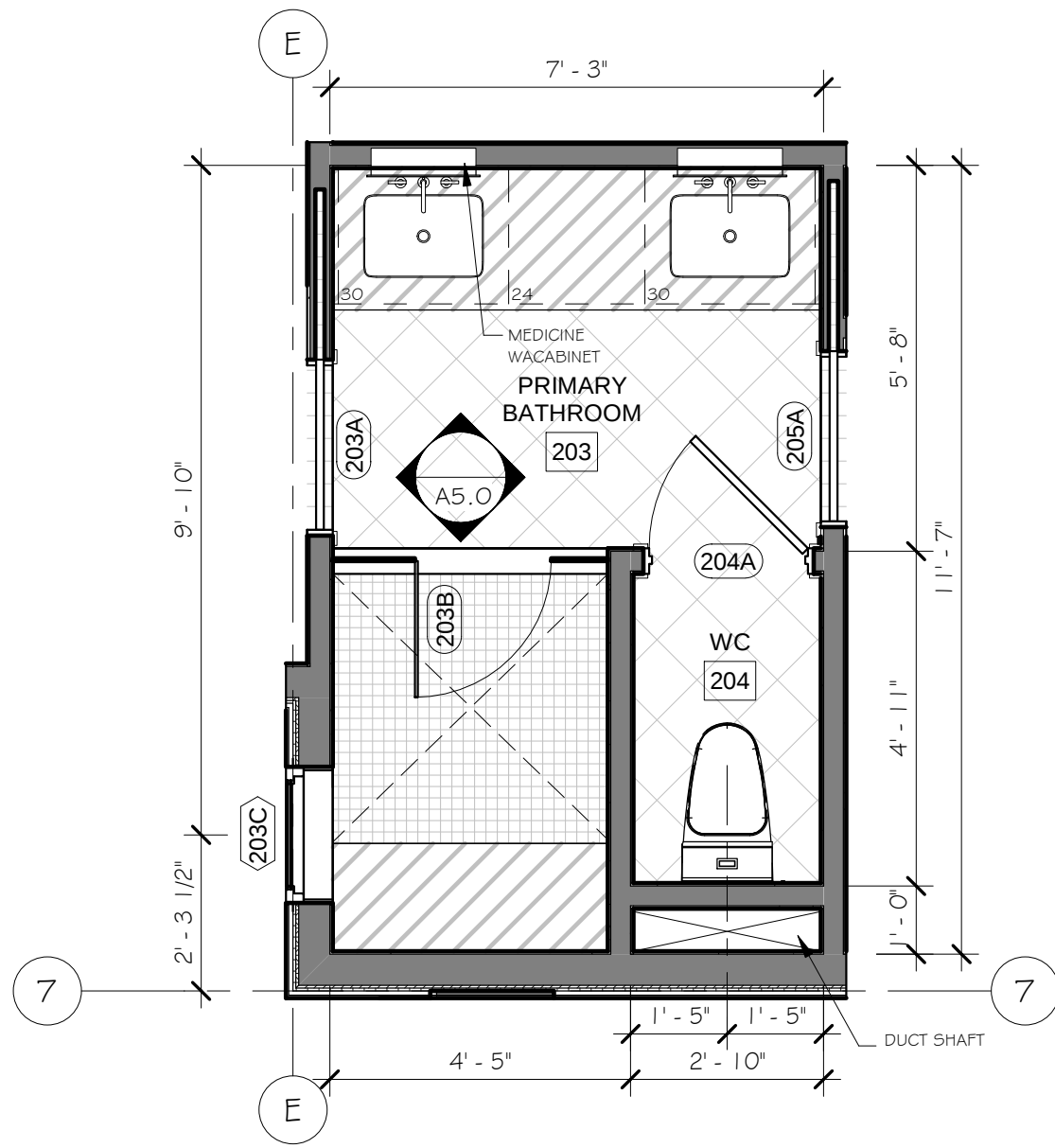
A4.0

INTERIOR ELEVATION KEYNOTES		
NOTE NUMBER	NOTE TEXT	VIEW
1	BATHTUB	BATHROOM
2	FULL HEIGHT TILE IN BATHTUB	BATHROOM
3	TILE BASE - 6"	BATHROOM
4	TILE WAINSCOT	BATHROOM
5	TILE CAP - 2"	BATHROOM
6	FLOATING VANITY	BATHROOM
7	RECESSED MEDICINE CABINET	BATHROOM
8	VANITY LIGHT FIXTURE	BATHROOM
9	FULL HEIGHT TILE IN SHOWER	BATHROOM
10	GLASS SHOWER DOOR	BATHROOM
11	36" BERTAZONNI HOOD VENT	KITCHEN
12	FLOATING SHELVES	KITCHEN
13	36" BERTAZONNI RANGE	KITCHEN
14	30" THERMADOR REFRIGERATOR COLUMN	KITCHEN
15	24" THERMADOR FREEZER COLUMN	KITCHEN
16	24" DISHWASHER	KITCHEN
17	24" SPEED OVEN	KITCHEN
18	36" BERTAZONNI HOOD VENT	KITCHEN

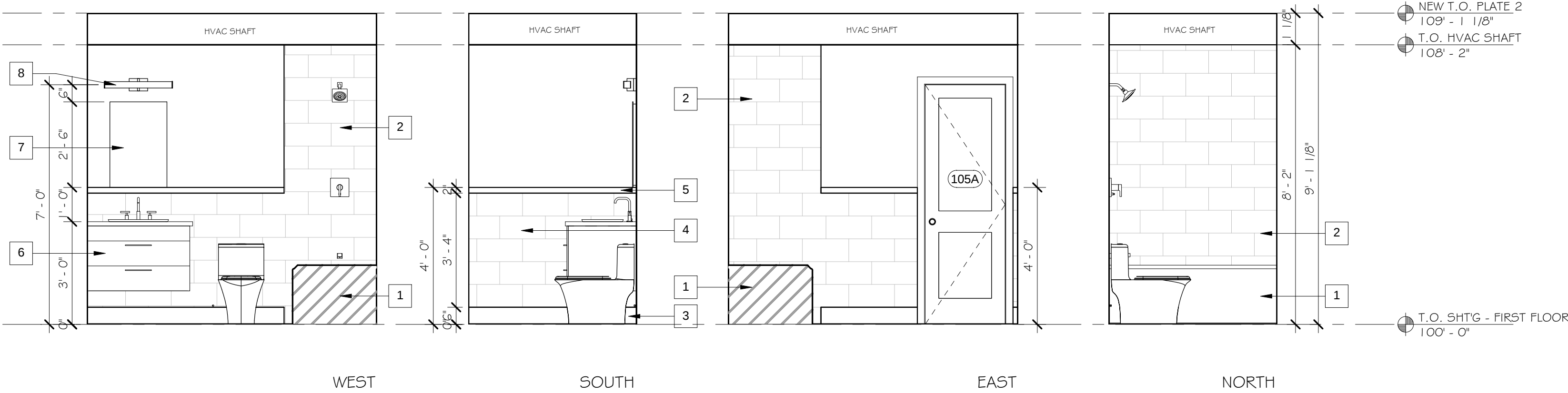
ALL INTERIOR FIXTURES, FINISHES, AND APPLIANCES COORDINATED BY GENERAL CONTRACTOR AND SELECTED BY OWNER



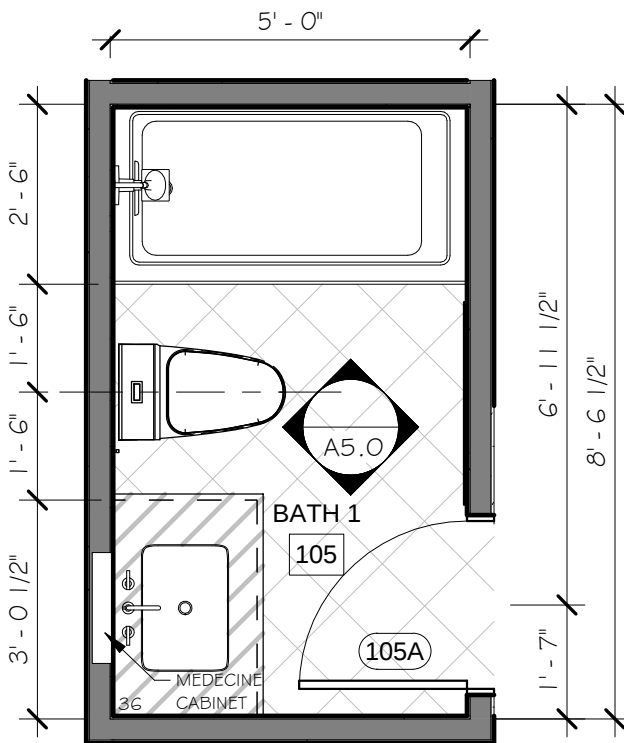
6 PRIMARY BATHROOM - ELEVATIONS
SCALE: 3/8" = 1'-0"



5 PRIMARY BATHROOM - PLAN
SCALE: 3/8" = 1'-0"



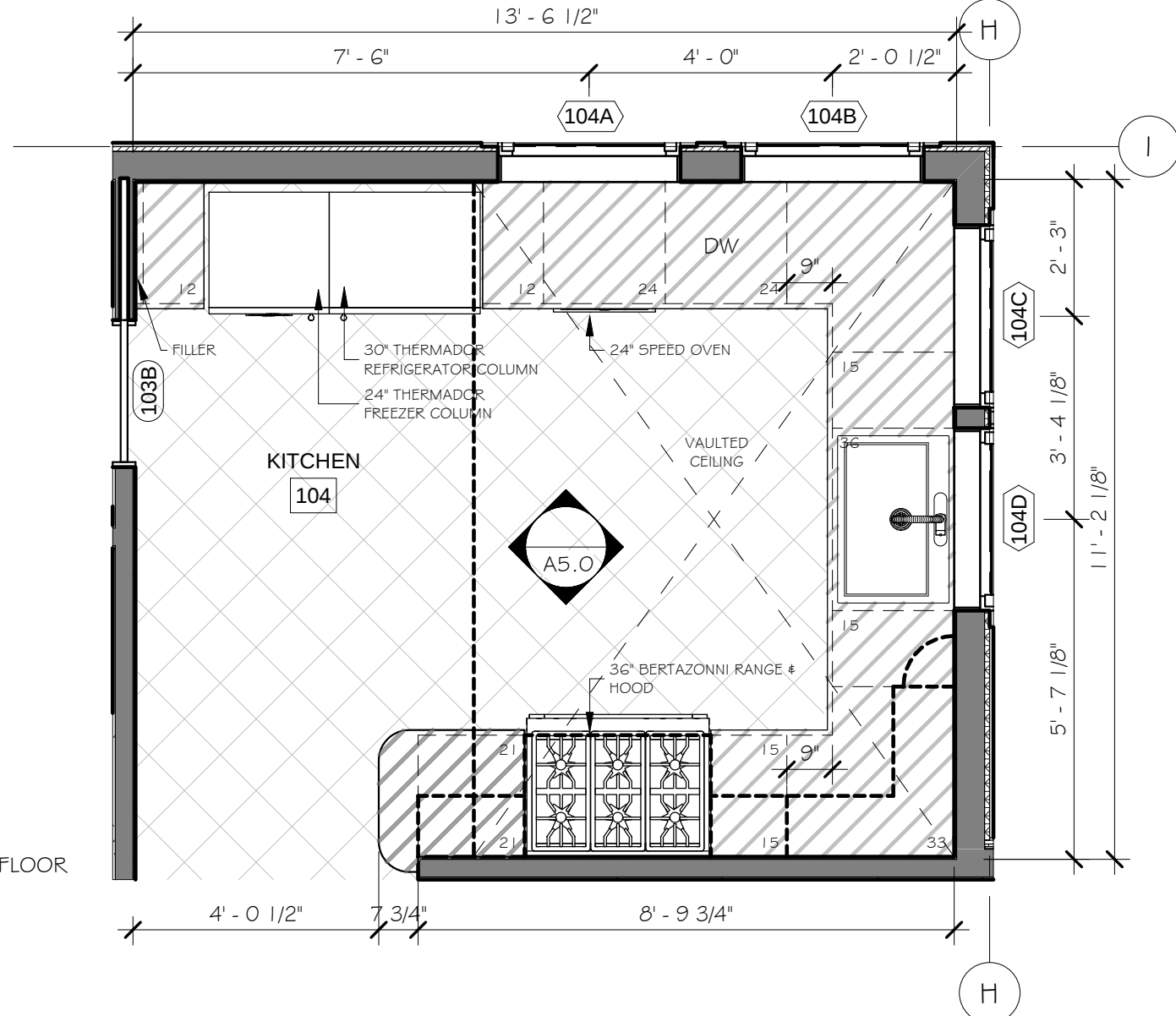
4 BATH 1 - ELEVATIONS
SCALE: 3/8" = 1'-0"



3 BATH 1 - PLAN
SCALE: 3/8" = 1'-0"

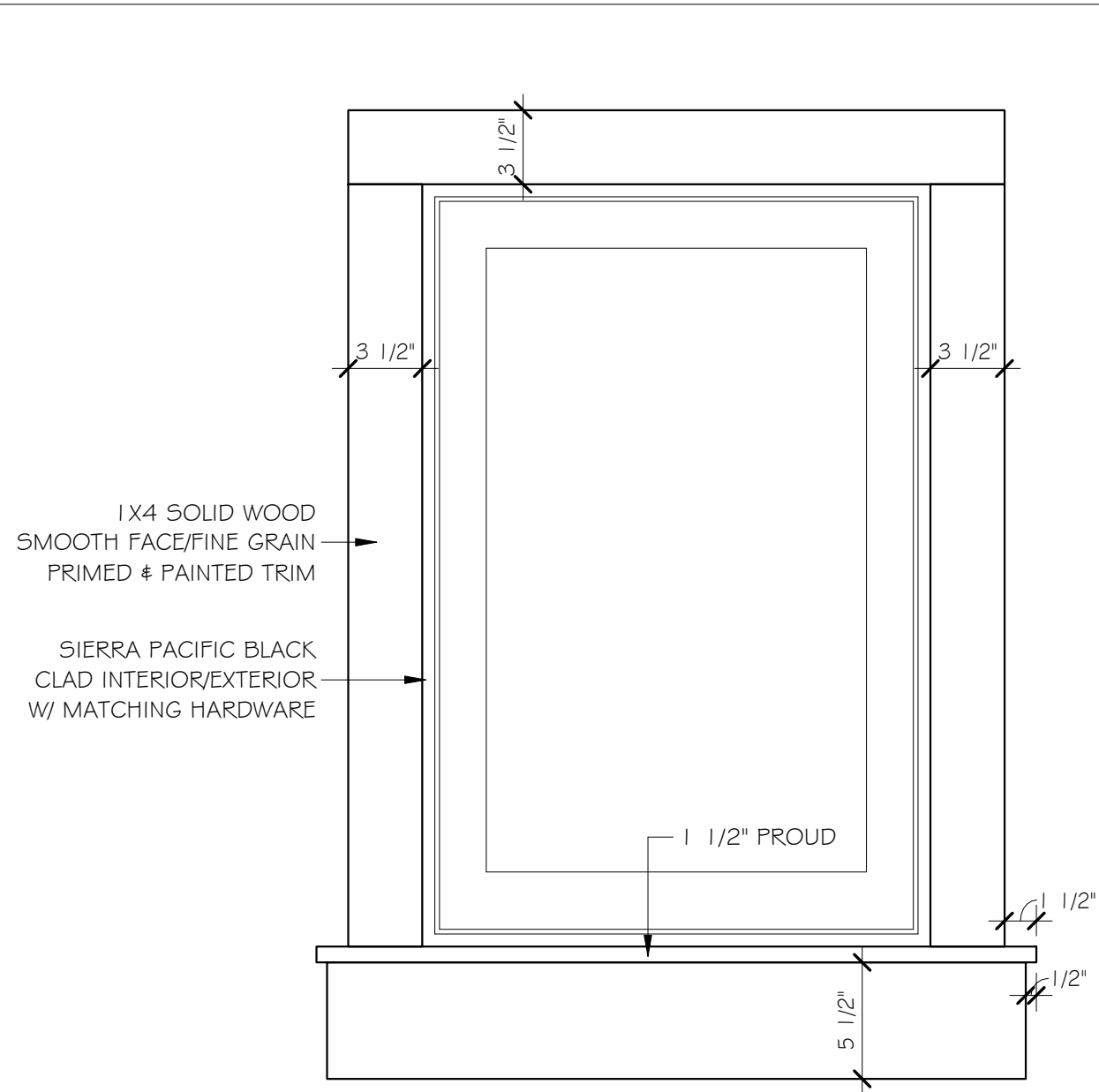


2 KITCHEN - ELEVATIONS
SCALE: 3/8" = 1'-0"

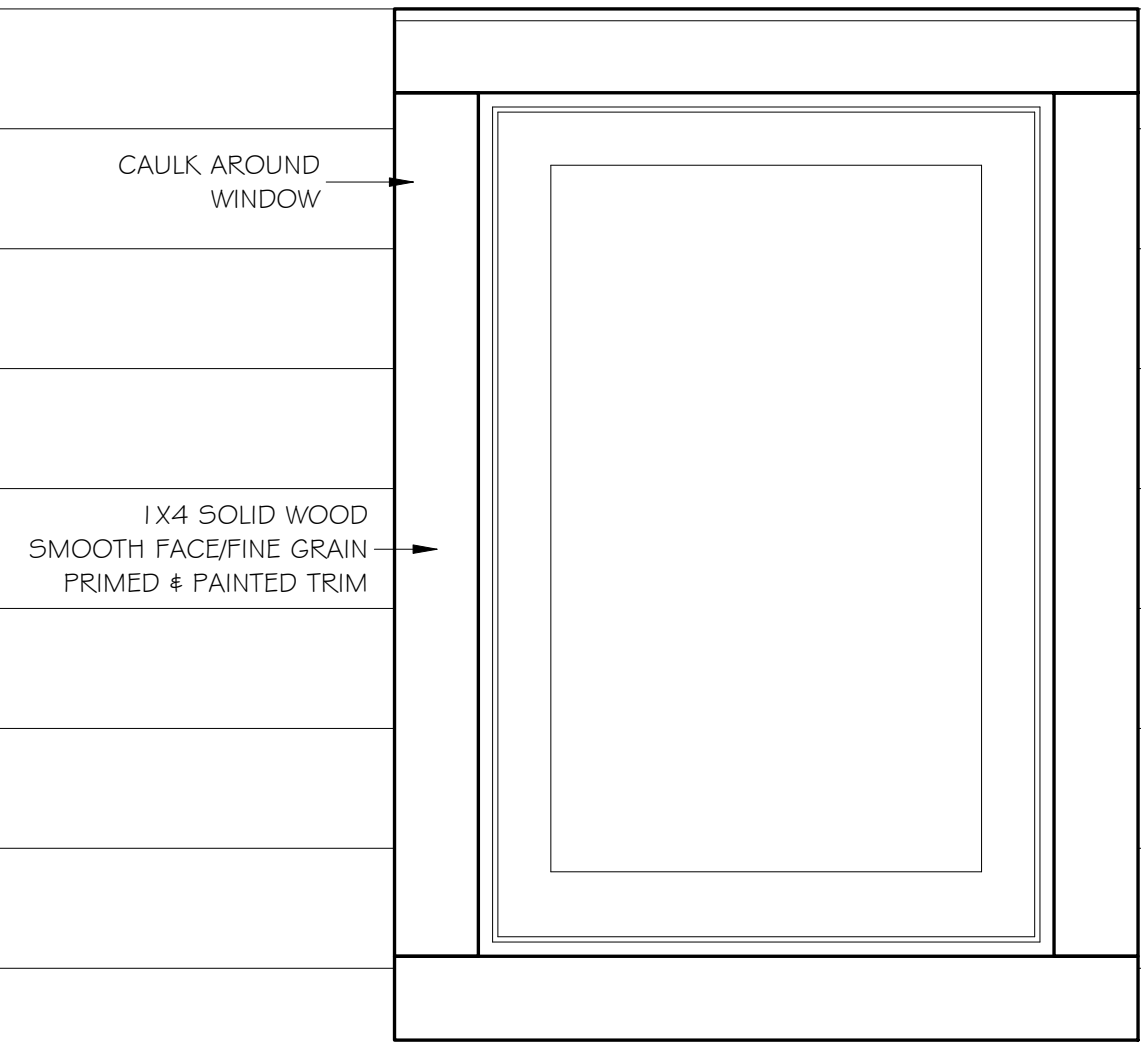


1 KITCHEN - PLAN
SCALE: 3/8" = 1'-0"

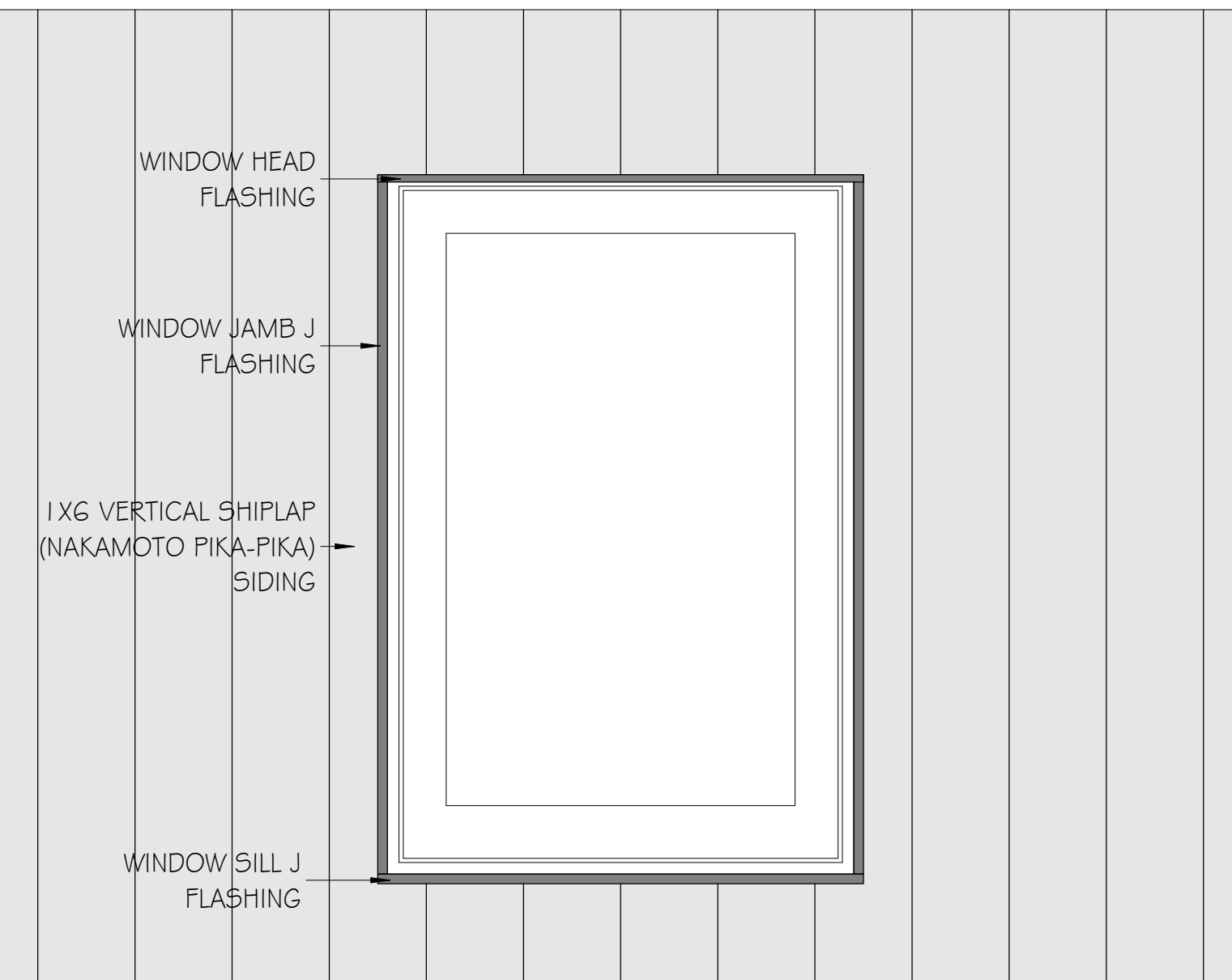
REVISIONS:		
No.	Date	Description



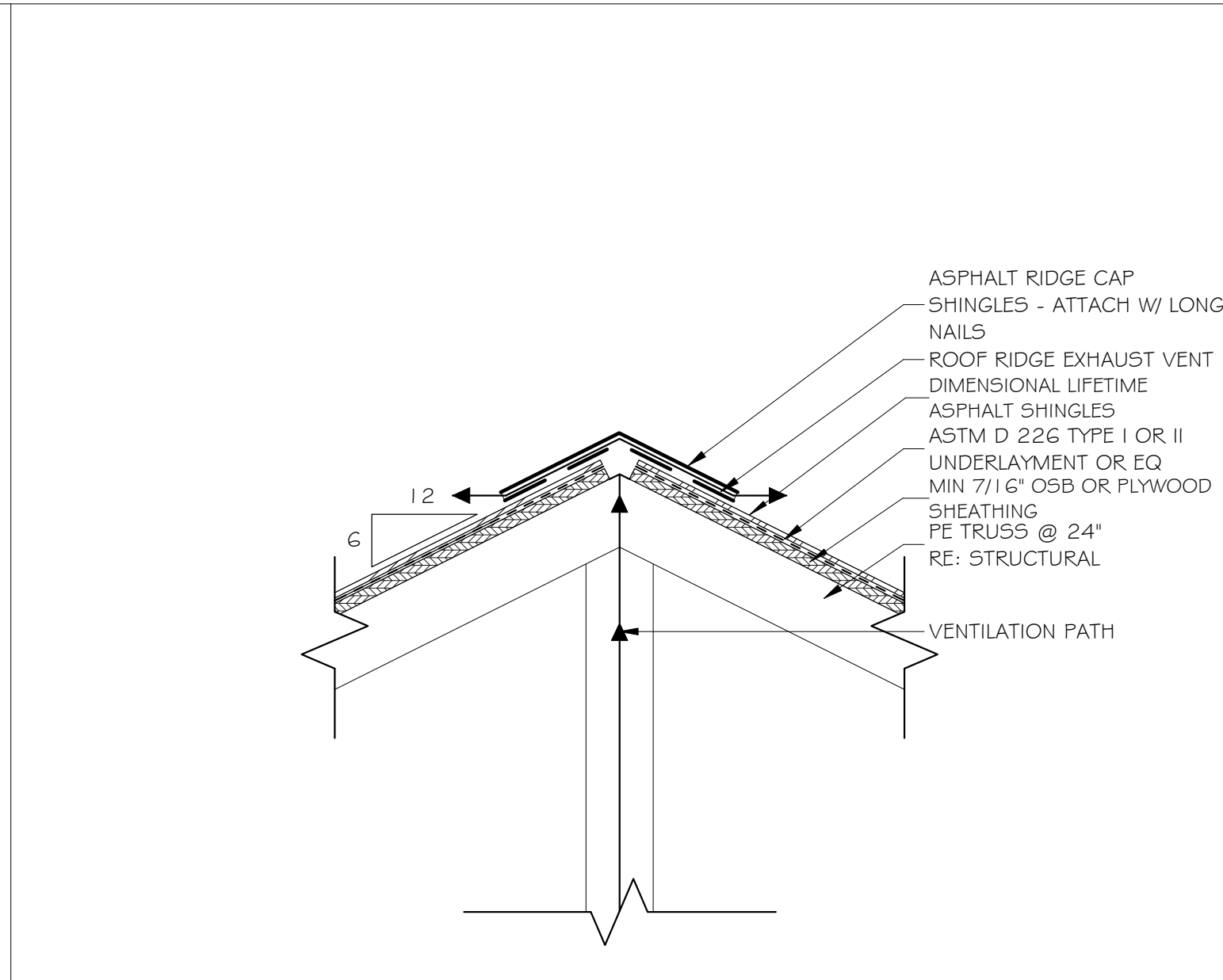
12 INTERIOR WINDOW ELEVATION
A5.1 SCALE: 1 1/2" = 1'-0"



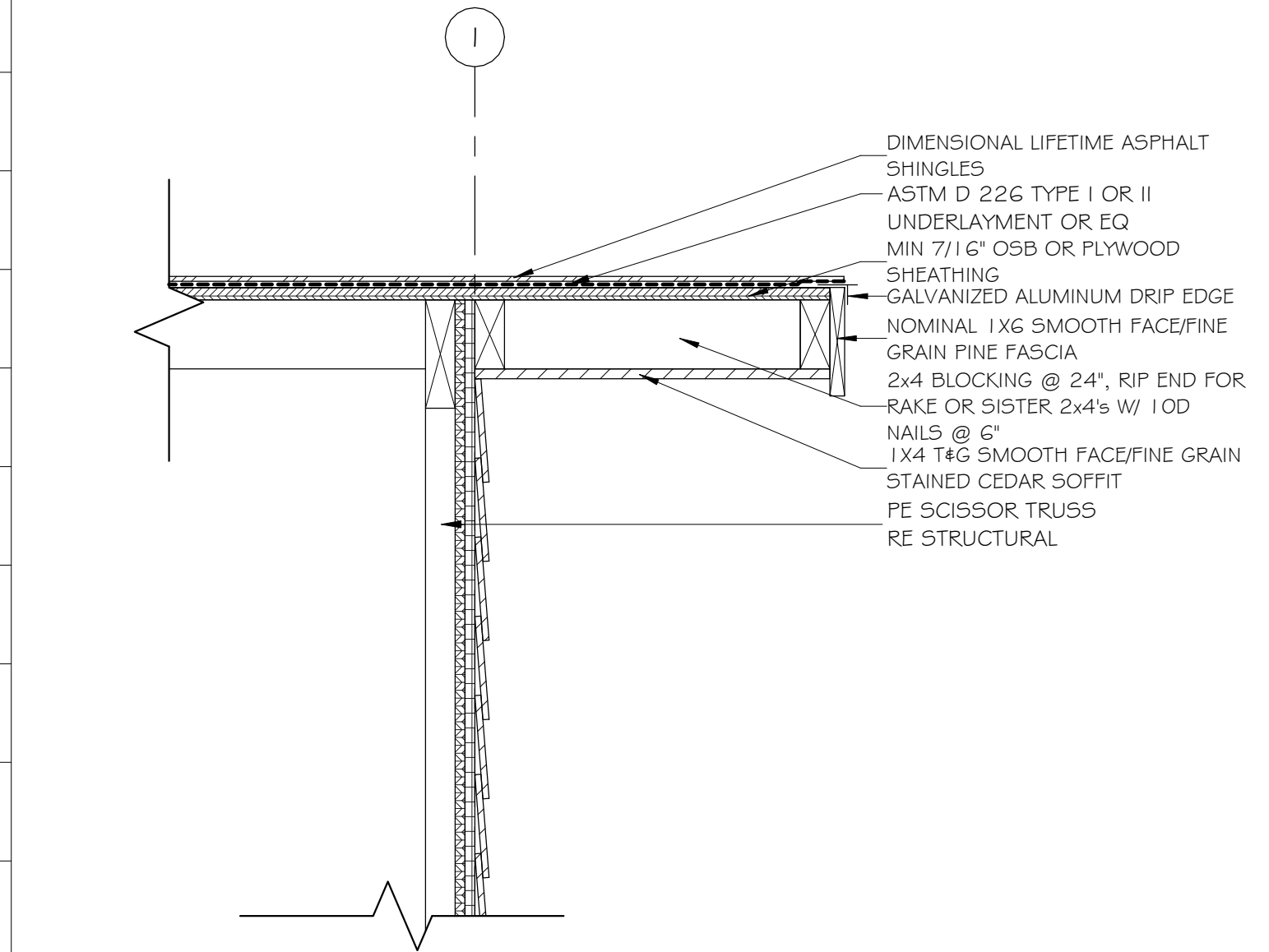
11 WINDOW ELEVATION - LAP
A5.1 SCALE: 1 1/2" = 1'-0"



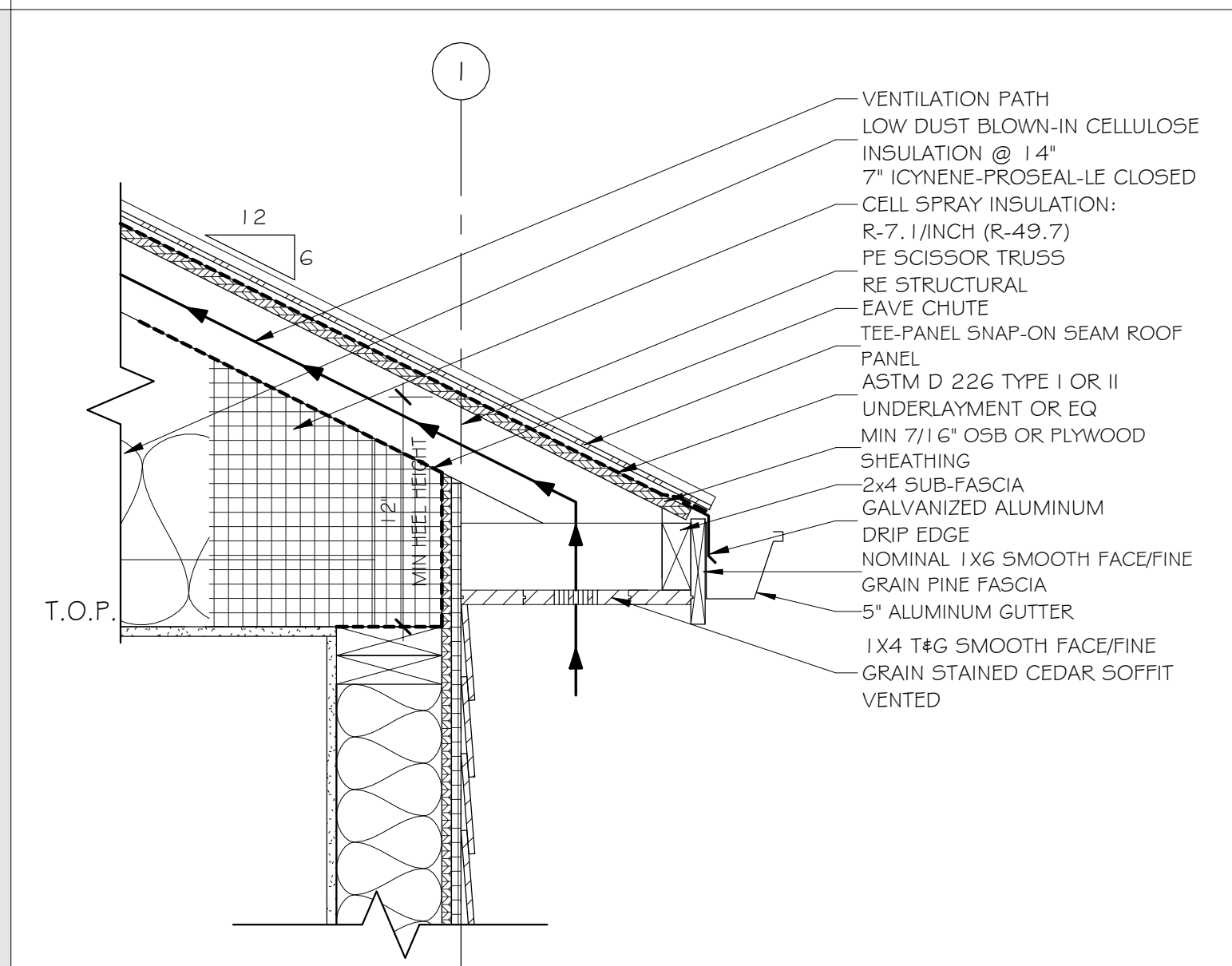
10 WINDOW ELEVATION - NAKAOMOTO
A5.1 SCALE: 1 1/2" = 1'-0"



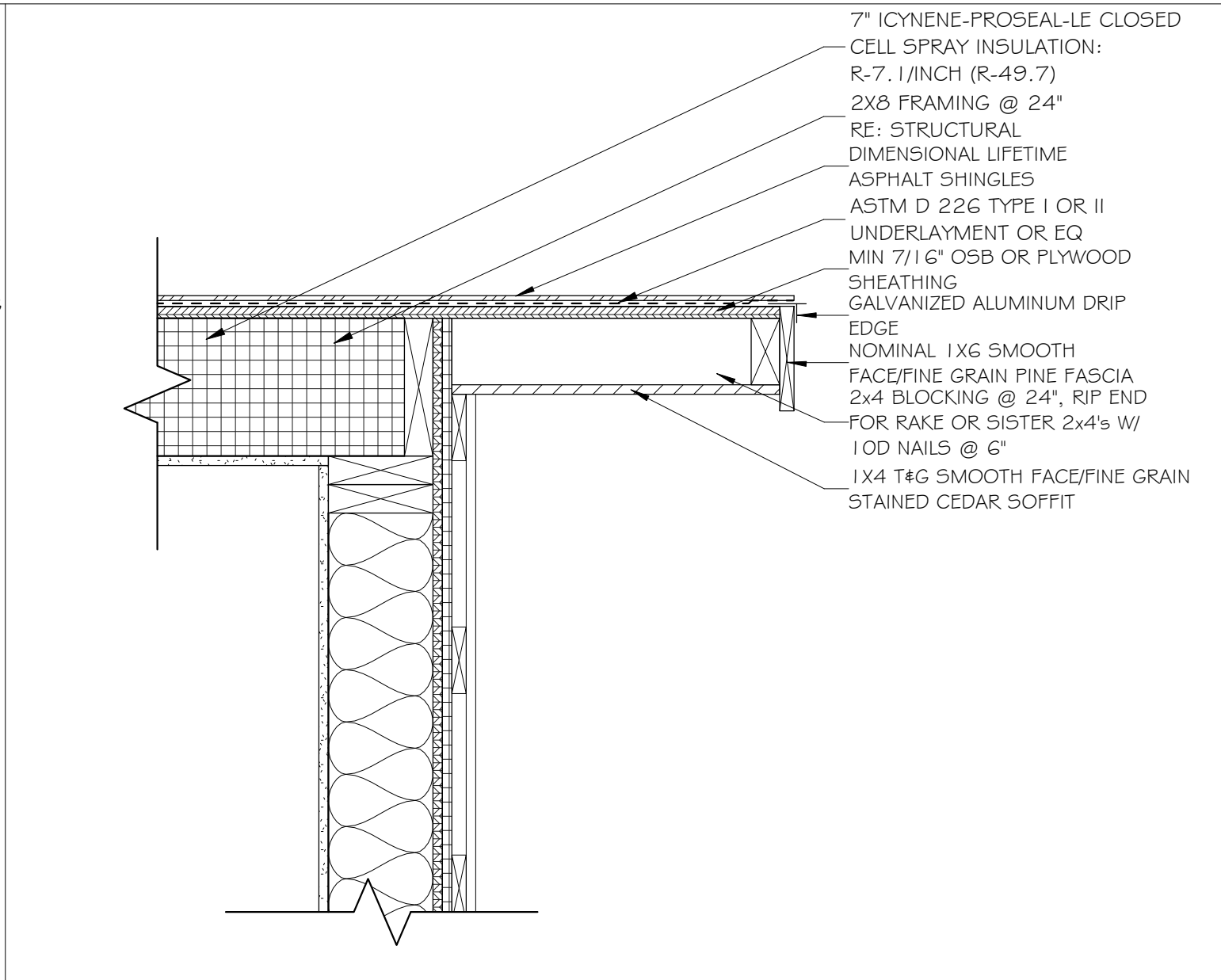
9 TRUSS - RIDGE
A5.1 SCALE: 1 1/2" = 1'-0"



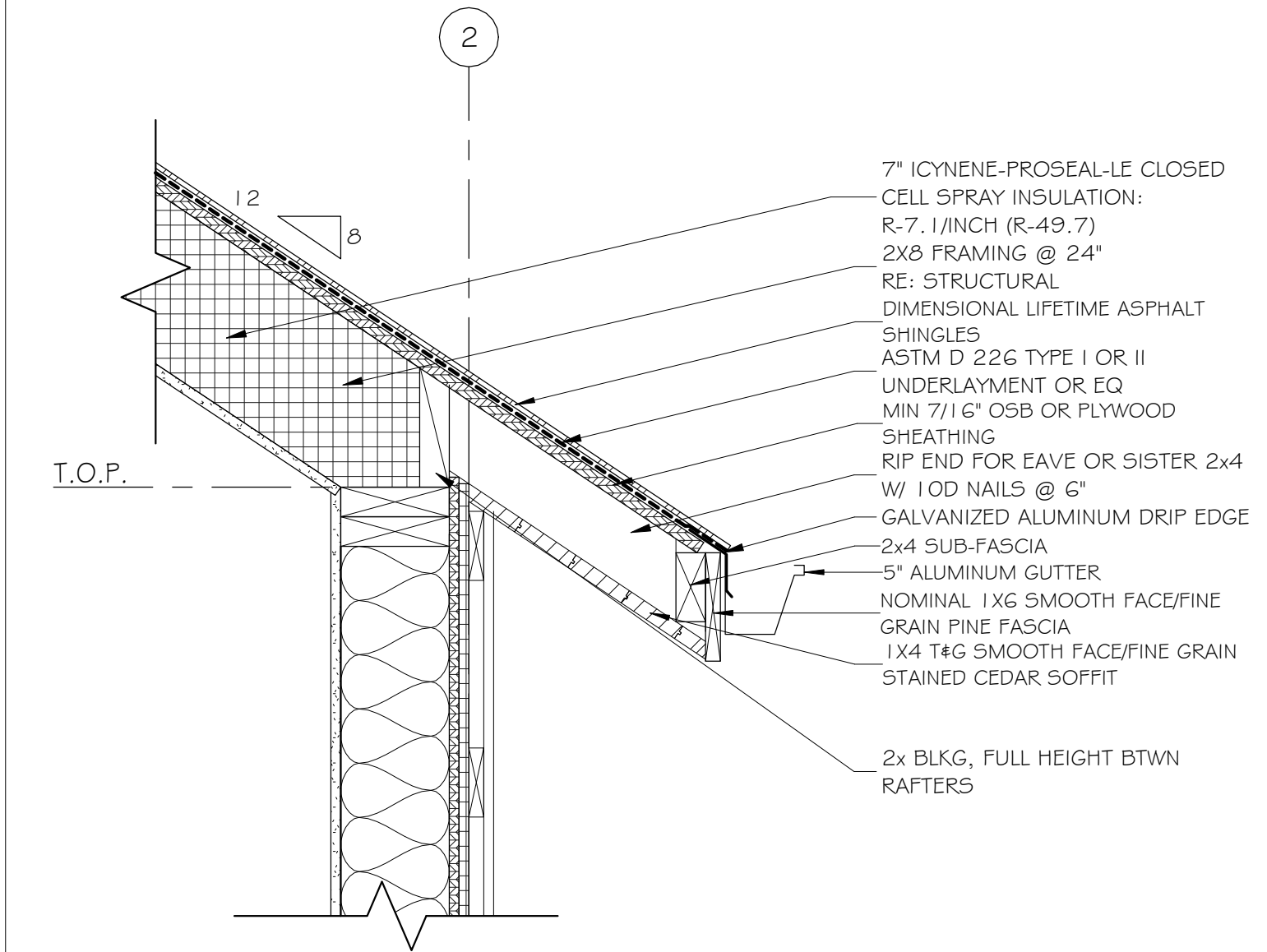
8 TRUSS - RAKE
A5.1 SCALE: 1 1/2" = 1'-0"



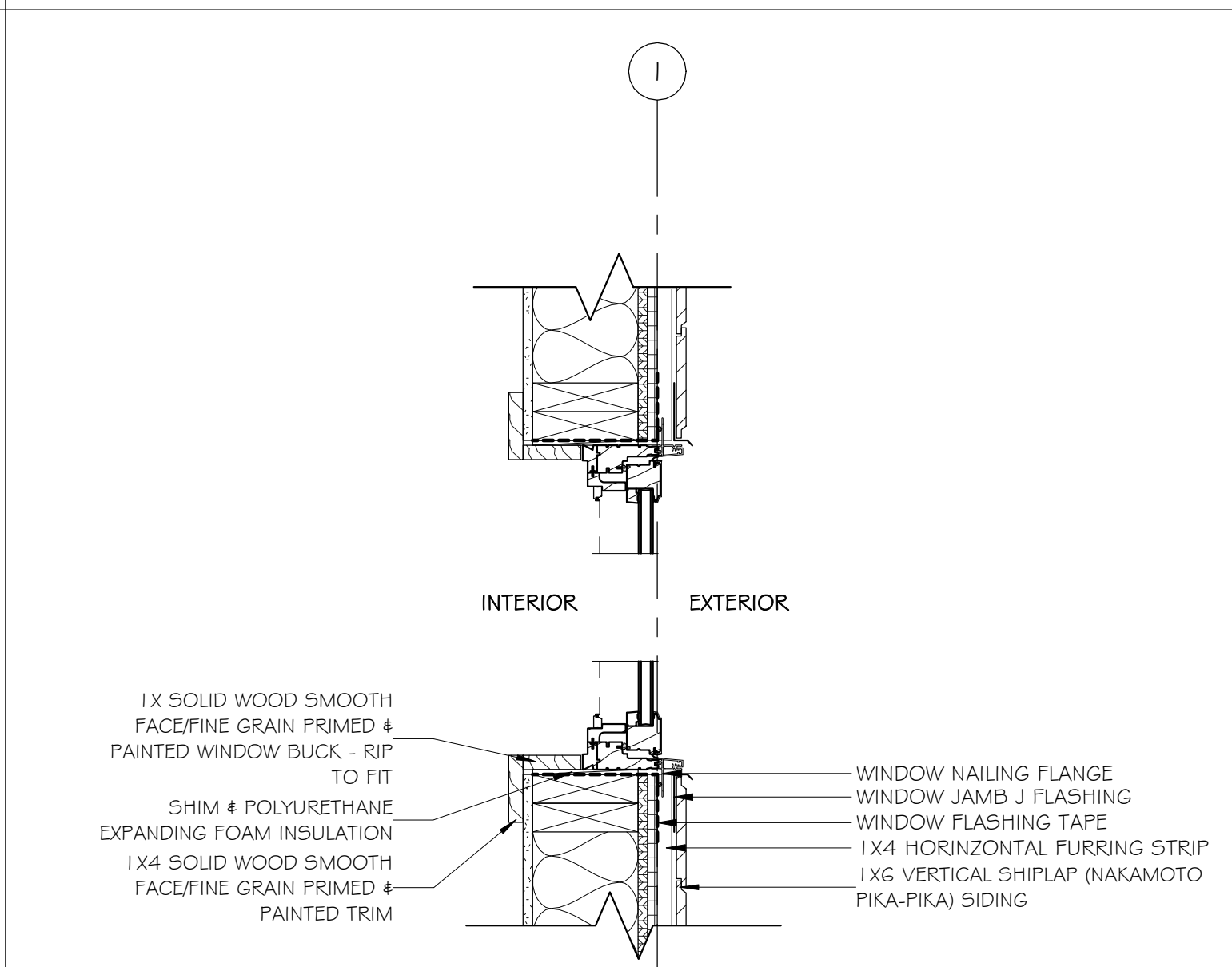
7 TRUSS - EAVE
A5.1 SCALE: 1 1/2" = 1'-0"



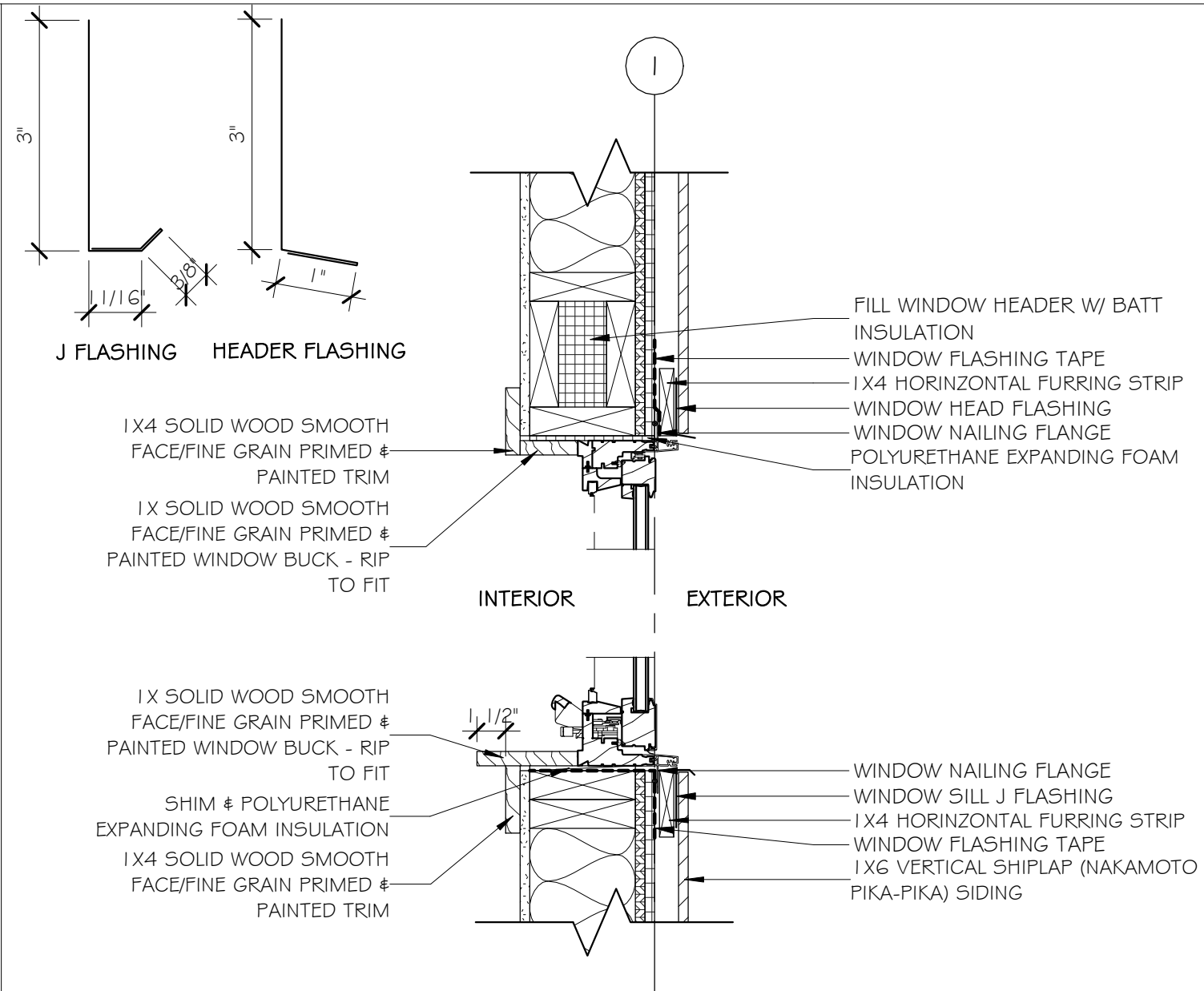
6 STICK FRAME - RAKE
A5.1 SCALE: 1 1/2" = 1'-0"



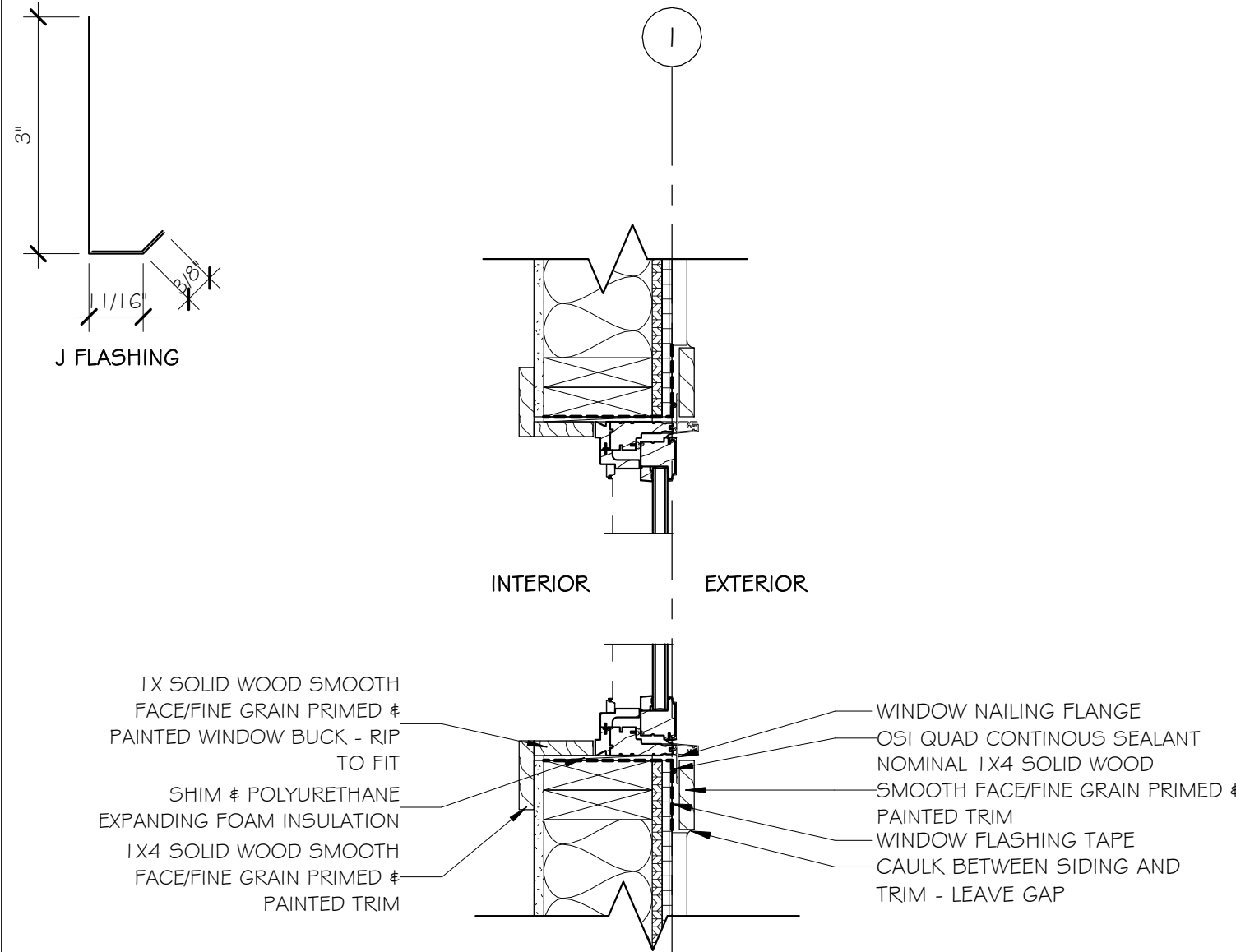
5 STICK FRAME - EAVE
A5.1 SCALE: 1 1/2" = 1'-0"



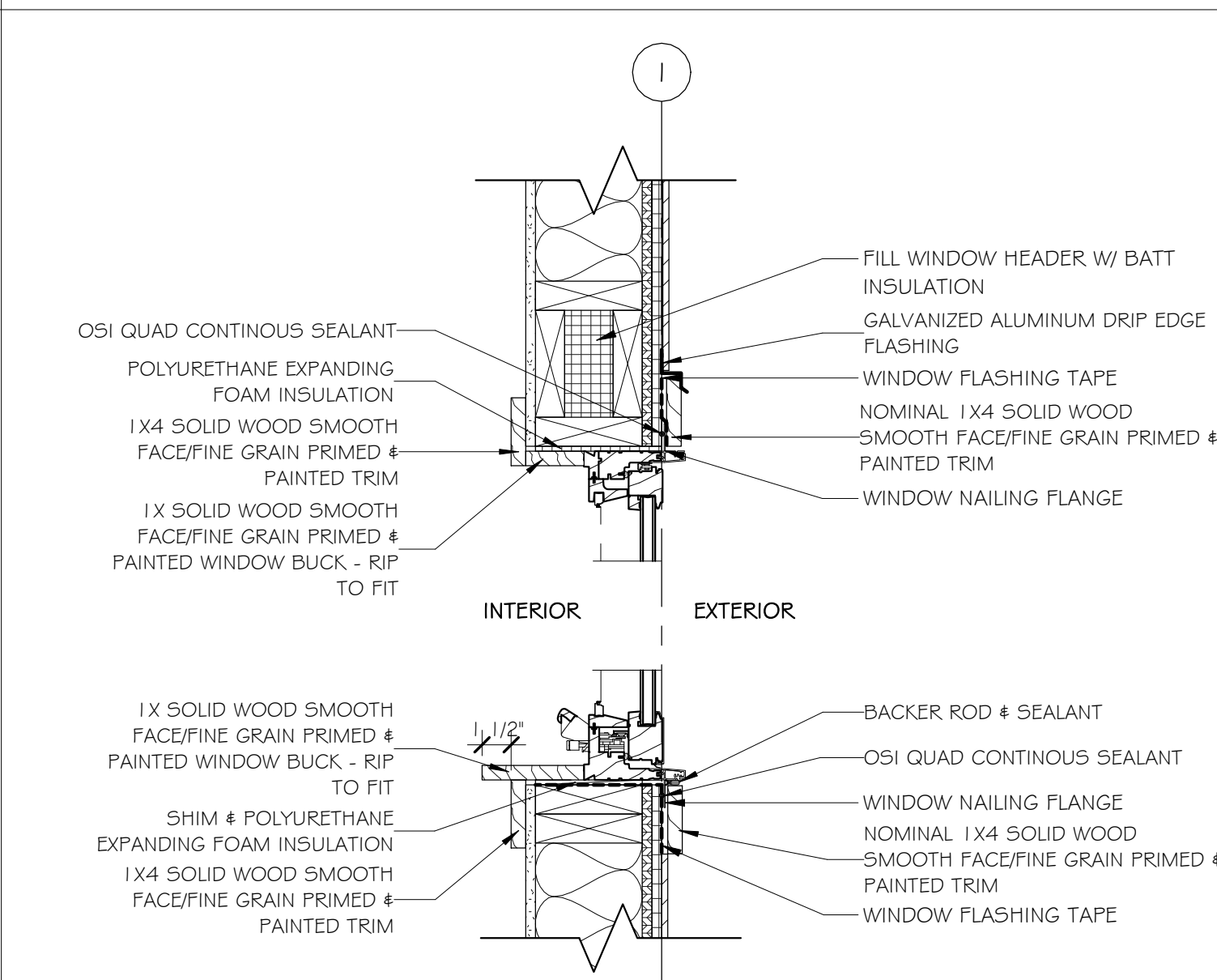
4 WINDOW JAMB - VERTICAL SIDING
A5.1 SCALE: 1 1/2" = 1'-0"



3 WINDOW SILL - VERTICAL SIDING
A5.1 SCALE: 1 1/2" = 1'-0"



2 WINDOW JAMB - SIDING
A5.1 SCALE: 1 1/2" = 1'-0"



1 WINDOW SILL - SIDING
A5.1 SCALE: 1 1/2" = 1'-0"