



984 Arapahoe

984 Arapahoe Circle
Louisville, CO 80027

PERMIT SET

06.14.2022

DEFERRED SUBMITTALS:

- FIRE SPRINKLER DESIGN

PROJECT CONTACTS

OWNER
Contact: Kurt Fimhaber
984 Arapahoe Cir.
Louisville, CO 80027
Kurt: kfinhaber5@gmail.com

SURVEYOR
Colorado Surveys
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William: William@coloradosurveys.com

ARCHITECT
Caddis, P.C.
Project Architect: Bryan Bowen
1521 Easy Rider Ln. #102
Boulder, CO 80304
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HERS / ENERGY MODELER
Scott Home Inspection
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13728 W County Road 10
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STRUCTURAL ENGINEER
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SHEET NO.	SHEET NAME
00 GENERAL	
A000	COVER SHEET
A002	GENERAL NOTES, SYMBOLS, & ABBREVIATIONS
A003	IECC 2021 APPENDIX RC - MARSHALL FIRE OPTION 3
A004	MINE HAZARD MAP
A026	ZIP SYSTEM SEQUENCING
01 SURVEY	
ISP	IMPROVEMENT SURVEY PLAT
04 ARCHITECTURE	
A101	ARCHITECTURAL SITE PLAN + LOT COVERAGE + BUILDING HEIGHT
A121	FLOOR PLANS
A122	FLOOR PLANS
A123	FLOOR PLANS
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A203	TRUSS ELEVATIONS
A301	BUILDING SECTIONS
A501	DETAILS
A502	DETAILS
A503	WINDOW & DOOR DETAILS
05 STRUCTURAL	
S1	FOUNDATION PLAN
S1.1	MAIN FLOOR FRAMING PLAN
S1.2	LOFT FLOOR & FRAMING PLAN
S2.1	DETAILS
21	

SCOPE OF WORK

REBUILDING OF SINGLE FAMILY STRUCTURE DUE TO MARSHALL FIRE W/ MINOR EXTERIOR & INTERIOR CHANGES TO ORIGINAL DESIGN. INSTALLATION OF NFPA 13R FIRESPRINKING SYSTEM THROUGHOUT STRUCTURE (DEFERRED SUBMITTAL).

DESIGN CHANGES FROM ORIGINAL INCLUDE BUT NOT LIMITED TO:
- EXTERIOR DECK, LANDING & STAIR OFF FAMILY ROOM (MAIN FLOOR)
- EXTERIOR DECK OFF DINING ROOM (MAIN FLOOR)
- FINISHED BASEMENT (BASEMENT FLOOR)
- KITCHEN SINK, DISHWASHER, RANGE RELOCATION (MAIN FLOOR)

PROPERTY INFORMATION

LOT AREA: +/- 6.4264 +/- .15 ACRE
LEGAL DESCRIPTION: LOT 12 CENTENNIAL 8 REPLAT A
PARCEL #: 157507321012
FLOODPLAIN: NO

BUILDING INFORMATION

PROPOSED FINISHED AREAS: 2963 SF
BASEMENT - 1030 SF
FIRST FLOOR - 1075 SF
SECOND FLOOR - 858 SF

PROPOSED UNFINISHED AREAS: 625 SF
GARAGE - 125 SF

PORCHES / DECKS (COVERED & UNCOVERED): 332 SF

3 TOTAL BACKFLOW PREVENTERS: WATER MAIN, IRRIGATION, FIRE SPRINKLER SYSTEM

PRIOR APPROVALS

CENTENNIAL 8 PUD - APPROVED 12/12/1988

ZONING INFORMATION

(PER CENTENNIAL 8 PUD SUBDIVISION REGULATIONS)

ZONING: RE - (RESIDENTIAL ESTATE)

PRINCIPAL STRUCTURE SETBACKS:

FRONT - 15 FT FROM PROPERTY LINE OR 20 FT FROM BACK OF CURB

SIDE YARD (INTERIOR) - 5 FT

SIDE YARD (STREET) - 15 FT

REAR YARD - 15 FT

MAXIMUM HEIGHT: 35 FT

PROPOSED HEIGHT:

MAXIMUM LOT COVERAGE:

LOTS BETWEEN 5,000 TO 9,000 SF - 30% OR 1,750 SF WHICHEVER IS GREATER

ALLOWABLE LOT COVERAGE - 1,927.8 SF (6.426 SF x 30%)

PROPOSED LOT COVERAGE - 1,751 SF

FLOODPLAIN:

FLOOD ZONE: X

FLOODWAY: NO

LIMITS OF DISTURBANCE AREA: 2906 SF

BUILDING CODE & ZONING INFORMATION

2018 INTERNATIONAL RESIDENTIAL CODE (IRC) W/ LOCAL AMENDMENTS

2018 INTERNATIONAL FIRE CODE (IFC)

2018 INTERNATIONAL MECHANICAL CODE (IMC)

2018 INTERNATIONAL PLUMBING CODE (IPC)

2018 INTERNATIONAL FUEL GAS CODE (IFGC)

2020 NATIONAL ELECTRICAL CODE (NEC)

MARSHALL FIRE RESIDENTIAL REBUILD ENERGY CODE OPTIONS:

2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) PERSCRPTIVE PATH

2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) HERS RATING OF 30 OR PERSCRPTIVE PATH

OR

2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) APPENDIX RC

APPENDIX RC SELECTED ENERGY PATH FOR PROJECT

VICINITY MAP (NTS)



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it was supplied with the prior written consent of
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Full Size: 0" 1" 2"

Date: 06.14.2022

Project: 2209

Archive:

Plot Date: 6/14/2022 11:22:47 AM

Revisions:

Rev#	Date	Description
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PERMIT SET

COVER SHEET

A000

ABBREVIATIONS		GENERAL LEGEND		RESIDENTIAL GENERAL NOTES																
Center Line Diameter Tolerance Dimension AC - Air Conditioning ACT - Acoustic Ceiling Tile ADA - The Americans with Disabilities Act ADD - Additional ADJ - Adjustable AFF - Above Finished Floor ALT - Alternate APPROX - Approximately ARCH - Architect BD - Board BLDG - Building BM - Beam BO - Bottom Of BRG - Bearing BTWN - Between CAB - Cabinet/Cabinetry CER - Ceramic CJ - Construction/Control Joint CK - Cork CLG - Ceiling CLO - Closet CLR - Clear CMU - Concrete Masonry Unit COL - Column CONC - Concrete CONT - Continuous OPT - Carpet CORR - Corridor CSMT - Casement CSWK - Casework DBL - Double DEMO - Demolition DEPT - Department DF - Drinking Fountain DIA - Diameter DIM - Dimension DIV - Division DN - Down DS - Downspout DTL - Detail DWG - Drawing EA - Each EJ - Expansion Joint ELEC - Electrical ENGR - Engineer EQ - Equal EQUIP - Equipment E/EX/EXIST - Existing EXT - Exterior EXP - Expansion FD - Floor Drain/Area Drain FND - Foundation FE - Fire Extinguisher FEC - Fire Extinguisher Cabinet FF - Finish Floor FIN - Finish FLR - Floor FT - Foot or Feet FTG - Footing FURN - Furniture FURR - Furring G - Gas GA - Gauge GALV - Galvanized GC - General Contractor GWB/GYP - Gypsum Wall Board HB - Hose Bibb HC - Hollow Core HT - Height HM - Hollow Metal HORIZ - Horizontal ID - Inside Diameter IN - Inch or Inches INT - Interior JAN - Janitor JST - Joist JT - Joint LAM - Laminate LAV - Lavatory LB - Pound LF - Linear Foot or Feet LIN - Linear LNL - Linel LTG - Lighting LTWT - Lightweight LVL - Laminated Veneer Lumber LVT - Luxury Vinyl Tile MAINT - Maintenance MATL - Material MAX - Maximum MDF - Medium Density Fiberboard MECH - Mechanical MED - Medium MEMB - Membrane MEZZ - Mezzanine MFR - Manufacturer MIN - Minimum MISC - Miscellaneous MTL - Metal (N) - New NA - Not Applicable NI, N - Not Included NIC - Not In Contact NO - Number NOM - Nominal NTS - Not To Scale OC - On Center OD - Outside Diameter OFD - Owner Furnished/Contractor Installed OFF - Office OH - Overhead OPNG - Opening OV - Over PERF - Perforated PLAM - Plastic Laminate PLBG - Plumbing PLYWD - Plywood PREFAB - Prefabricated PREFIN - Prefinished PT - Pressure Treated PTD - Painted QTY - Quantity R - Riser (Stairs) RCP - Reflected Ceiling Plan RD - Roof Drain REF - Reference REFR - Refrigerator REQD - Required REV - Reverse RM - Room RO - Rough Opening S - South SC - Solid Core SABF - Sound Attenuation Fiber Blanket SCHED - Schedule SECT - Section SF - Square Foot or Feet SHT - Sheet SIM - Similar SOG - Sub On Grade SPEC - Specifications SQ - Square SS - Stainless Steel STC - Sound Transmission Class STD - Standard STO - Storage STL - Steel STRUCT - Structural SYM - Symbol SUBFL - Subfloor SYM - Similar T - Treads (Stairs) T&G - Tongue and Groove TBD - To Be Determined TEMP - Temporary THK - Thickness T.O. - Top Of TOL - Tolerance TOW - Top of Wall TYP - Typical UL - Underwriters Laboratory UNFIN - Unfinished UNO - Unless Noted Otherwise UPS - Uninterruptible Power Supply VCT - Vinyl Composition Tile VERT - Vertical VIF - Contractor to Verify In Field W - West W - With WO - Without WC - Water Closet WD - Wood WRB - Weather Resistive Barrier WT - Weight WVF - Welded Wire Fabric Room name 101 ELEV 25'-0" MATCH LINE SEE XXXXXX LIMIT OF WORK DIMENSION LINE 1" COLUMN LINE INDICATORS FD RD DF FEC FEC FE DOOR NUMBER SEALANT (BACKER ROD AS NEEDED) EXISTING PARTITION TO BE REMOVED NEW PARTITION WINDOW OR LOUVER 1 HOUR RESISTIVE RATED CONSTRUCTION PARTIAL HEIGHT PARTITION EXISTING DOOR TO BE REMOVED NEW DOOR NEW DOUBLE ACTING DOOR NEW POCKET DOOR NEW CASED OPENING NEW BIFOLD DOOR ROOM KEY ROOM NAME ROOM NUMBER SPOT ELEVATION KEY ALIGN KEY MATCH LINE LIMIT OF WORK DIMENSION LINE COLUMN LINE INDICATORS FLOOR DRAIN ROOF DRAIN DRINKING FOUNTAIN FIRE EXTINGUISHER W/ RECESSED CABINET FIRE EXTINGUISHER W/ SEMI-RECESSED CABINET FIRE EXTINGUISHER W/ CABINET DOOR NUMBER SEALANT (BACKER ROD AS NEEDED) EXISTING PARTITION TO BE REMOVED NEW PARTITION WINDOW OR LOUVER 1 HOUR RESISTIVE RATED CONSTRUCTION PARTIAL HEIGHT PARTITION EXISTING DOOR TO BE REMOVED NEW DOOR NEW DOUBLE ACTING DOOR NEW POCKET DOOR NEW CASED OPENING NEW BIFOLD DOOR DETAIL KEY DETAIL NUMBER DRAWING NUMBER SECTION KEY ENLARGED PLAN KEY EXTERIOR ELEVATION KEY INTERIOR ELEVATION KEY MULTIPLE INTERIOR ELEVATIONS REVISION KEY KEYNOTE INDICATOR WINDOW TYPE LOUVER TYPE PRECAST CONCRETE TYPE PARTITION TYPE BUILDING WALL TYPE N.I.C. SHADING EXISTING PARTITION TO REMAIN WINDOW WALL RECESSED ITEM 2 HOUR RESISTIVE RATED CONSTRUCTION CORNER GUARD EXISTING DOOR TO REMAIN NEW DOUBLE DOOR NEW DOUBLE EGRESS DOOR NEW SLIDING DOOR NEW OVERHEAD ROLLING DOOR NEW DOUBLE BIFOLD DOOR 1. ALL WORK SHALL COMPLY WITH CURRENT FEDERAL, STATE, AND LOCAL BUILDING CODES AND REGULATIONS, TRADE STANDARDS, AND MANUFACTURERS INSTRUCTIONS REFERENCED IN THE CONTRACT DOCUMENTS. 2. CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE SITE TO ENSURE THEIR KNOWLEDGE OF THE CONDITIONS AFFECTING THE WORK. 3. NOTIFY ARCHITECT/DESIGNER OF ANY CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION OR CORRECTIVE MEASURES. 4. THE CONTRACTOR SHALL VERIFY AND PROTECT ALL SERVICE LINES AND EXISTING SITE AREA FROM DETERIORATION OR DAMAGE. 5. ALL DRAWINGS SHALL BE FULLY COORDINATED BY CONTRACTOR TO VERIFY ALL DIMENSIONS, DEPRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, REGLETS, BOLT SETTINGS, SLEEVES, ETC... 6. FOR EXACT LOCATION OF FLOOR & ROOF OPENINGS SHOWN ON STRUCTURAL DRAWINGS, SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND SHOP DRAWINGS. 7. ALL STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, SHOP DRAWINGS AND SPECIFICATIONS. 8. DETAILS AND SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS. DETAILS NOTED "TYPICAL" OR "TYP" IMPLY ALL CONDITIONS TREATED SIMILARLY; MODIFICATIONS TO BE MADE BY CONTRACTOR TO ACCOMMODATE MINOR VARIATION. 9. DIMENSIONS: A. ALL DIMENSIONS TO NEW ELEMENTS ARE TO FACE OF STUD, U.N.O. B. DRAWINGS ARE NOT TO BE SCALED; VERIFY ANY MISSING OR CONFLICTING WRITTEN DIMENSIONS WITH THE ARCHITECT/DESIGNER PRIOR TO CONSTRUCTION. C. NOTIFY ARCHITECT OF CONDITIONS WHERE CLEAR OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET OR WHERE CORRIDOR/ABLE WIDTH CANNOT MEET THE MINIMUM REQUIREMENTS (3'-6" U.N.O.). D. MAINTAIN FINISH FLOOR BASE ELEVATION THROUGHOUT THE CONTRACT AREA SUCH THAT ALL DIMENSIONS INDICATED AS ABOVE FINISH FLOOR ARE AT THE SAME ELEVATION. 10. CONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVERSPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF PROJECT. 11. ALL MANUFACTURER'S PRINTED WARNINGS FOR HANDLING OF PRODUCTS MUST BE STRICTLY OBSERVED. 12. ALL DOORS TO BE A MINIMUM OF 6" FROM NEAREST PERPENDICULAR PARTITION, U.N.O. 13. TEMPERED GLASS TO BE USED IN ALL LOCATIONS AS REQUIRED BY CODE. 14. REVIEW LAYOUTS FOR PARTITIONS IN FIELD WITH THE OWNER AND ARCHITECT/DESIGNER PRIOR TO START OF CONSTRUCTION. 15. REPAIR (N) CONSTRUCTION AT ALL LEVELS AND MATCH FINISH AND TEXTURE IN ACCORDANCE WITH OWNER SELECTIONS. 16. CABINET SIZES ON PLANS ARE TO BE USED FOR BUDGET PURPOSES ONLY. FINAL CABINET SIZES/CONFIGURATION TO BE DETERMINED BY OTHERS. 17. FIELD VERIFY ALL (N) OPENINGS AND WINDOW SIZES. 18. COORDINATE HOUSE ALARM REQUIREMENTS WITH OWNER. 19. HIGH EFFICIENCY FIXTURE (HEFF) TO COMPLY WITH JURISDICTION REQUIREMENTS. 20. CONTRACTOR TO VERIFY WHETHER RADON MITIGATION IS REQUIRED & COORDINATE ACCORDINGLY. 21. ARCHITECTURAL DRAWINGS ARE FOR DESIGN AND CONSTRUCTION INTENT ONLY. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING PER CODE AND PER MANUFACTURER'S RECOMMENDATIONS. <tr><td colspan="2"></td><td colspan="2"> RESIDENTIAL ROOF NOTES 1. ALL WORK SHALL COMPLY WITH CURRENT FEDERAL, STATE, AND LOCAL BUILDING CODES AND REGULATIONS, TRADE STANDARDS, AND MANUFACTURER'S INSTRUCTIONS REFERENCED IN THE CONTRACT DOCUMENTS. 2. NOTIFY ARCHITECT/DESIGNER OF ANY CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS BEFORE CONSTRUCTION AND PROCEEDING WITH CORRECTIVE MEASURES. 3. INSTALL FLASHING AT ALL WALL AND ROOF INTERSECTIONS, CHANGE IN ROOF SLOPE OR DIRECTION, AND ROOF OPENINGS. 4. 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FINISHES FOR ELECTRICAL AND FIRE ALARM DEVICES TO BE WHITE U.N.O.				PERMIT SET				GENERAL NOTES, SYMBOLS, & ABBREVIATIONS				A002	
		RESIDENTIAL ROOF NOTES 1. ALL WORK SHALL COMPLY WITH CURRENT FEDERAL, STATE, AND LOCAL BUILDING CODES AND REGULATIONS, TRADE STANDARDS, AND MANUFACTURER'S INSTRUCTIONS REFERENCED IN THE CONTRACT DOCUMENTS. 2. NOTIFY ARCHITECT/DESIGNER OF ANY CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS BEFORE CONSTRUCTION AND PROCEEDING WITH CORRECTIVE MEASURES. 3. INSTALL FLASHING AT ALL WALL AND ROOF INTERSECTIONS, CHANGE IN ROOF SLOPE OR DIRECTION, AND ROOF OPENINGS. 4. ASPHALT SHINGLES AND UNDERLAYMENT TO BE INSTALLED AS PER DESIGN WIND SPEED AND MANUFACTURE'S INSTRUCTIONS. 5. FOR ASPHALT SHINGLE ROOFS WITH SLOPES FROM 2:12 UP TO 4:12; 2 LAYERS OF UNDERLAYMENT ARE REQUIRED OR USE SELF-ADHERING POLYMER-MODIFIED BITUMEN UNDERLAYMENT. ROOFS SLOPES OF 4:12 OR GREATER 1 LAYER OF UNDERLAYMENT IS REQUIRED. 6. INSTALL CONTINUOUS ICE BARRIER (GRACE ICE AND WATER SHIELD OR EQUAL) AT ALL ROOF PERIMETER CONDITIONS MIN. 2FT IN FROM INSIDE THE EXTERIOR WALL, 3FT MIN IF SLOPE OF ROOF IS 8:12 OR GREATER. INSTALL ICE BARRIER MIN. 3 FT EACH WAY AT ALL VALLEY CONDITIONS, AND MINIMUM 2FT UP ALL ROOF/WALL CONDITIONS. 7. ASPHALT SHINGLE ROOF BASE AND CAP FLASHING SHALL BE INSTALLED AS PER MANUFACTURE'S INSTRUCTIONS. 8. BASE FLASHING AGAINST A VERTICAL SIDEWALL SHALL BE CONTINUOUS OR STEP FLASHING MINIMUM 4"x4" REQUIRED. 9. PROVIDE A FLASHED 1 1/2" (MIN.) SEPARATION FROM BOTTOM EDGE OF VERTICAL EXTERIOR SIDING MATERIALS TO HORIZONTAL ROOFING SURFACES. 10. PROVIDE DRIP EDGES ON ALL ROOF EDGES, RAKES AS WELL AS ON EAVES. 11. SLOPED ROOFS TO DRAIN TO GUTTERS AND DOWNSPOUTS. FLAT ROOFS TO DRAIN IN TO ROOF DRAINS INSTALLED AT EACH LOW POINT OF ROOF. 12. TERMINATE DOWNSPOUTS AT CONCRETE SPLASH BLOCK AT GRADE, SLOPED AWAY FROM FOUNDATION.																		
		POWER & SIGNAL PLAN NOTES 1. ALL WORK TO BE NEW U.N.O. 2. MOUNTING HEIGHTS OF ALL DEVICES ARE SHOWN ON POWER & SIGNAL DEVICE ELEVATION, U.N.O. REFER TO X14885. 3. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES AND REGULATIONS. 4. LOCATION OF ALL POWER & SIGNAL DEVICES ARE TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ELECTRICAL DRAWING PRIOR TO INSTALLATION. REFER TO ENGINEER'S DRAWINGS FOR OTHER REQUIREMENTS. 5. ALL DIMENSIONS ARE FROM FACE OF FINISHED WALL TO CENTERLINE OF SINGLE DEVICE OR CENTER OF GROUP OF DEVICES. 6. ALL OUTLETS TO BE LOCATED AS INDICATED ON PLANS, U.N.O. PROVIDE BRIDGE RACKS AS NEEDED TO ACHIEVE INDICATED LOCATIONS. 7. COORDINATE ALL FLOOR CORE LOCATIONS WITH ARCHITECT, AND OWNER PRIOR TO CORING. COORDINATE LOCATION SO AS NOT TO INTERFERE WITH STRUCTURAL BEAMS (DO NOT CUT THROUGH BEAMS). 8. ALL OUTLETS LOCATED ABOVE OR BELOW THE COUNTER TOPS IN KITCHEN, COFFEE AREAS, TOILET ROOMS, ETC (WET AREAS) SHALL BE GFI AS PER CODE (REFER TO ELECTRICAL DRAWINGS). 9. STAGGER ALL DEVICES SHOWN BACK TO BACK ON OPPOSITE SIDES OF SHARED PARTITIONS. DEVICE SHALL NOT OCCUPY THE SAME STUD CAVITY. 10. GROUP MULTIPLE DEVICES (POWER/SIGNAL) ON WALL TO BE GROUPED NOT MORE THAN 6" APART. 11. MULTIPLE SWITCH OR OUTLET DEVICES IN ONE LOCATION SHALL BE INSTALLED IN A COMMON MULTI-GANG BOX WITH A COMMON FACEPLATE, AS ALLOWED BY CODE. 12. REFER TO ENGINEERING DRAWINGS FOR SMOKE DETECTOR, THERMOSTAT, FIRE HORN, STROBE LIGHT, AND PULL STATION LOCATIONS AND REQUIREMENTS, U.N.O. VERIFY LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION. 13. LOCATE SWITCHES 6" CLEAR OF THE EDGE OF DOOR FRAME, U.N.O. AT DOUBLE DOORS OR DOORS WITH SIDELIGHTS, LOCATE SWITCHES 3'-6" FROM DOOR AT SIDE WALL, U.N.O. 14. ALL MEP-FP DEVICES AND FIRE EXTINGUISHER CABINETS ARE TO BE ALIGNED ON CENTERLINE, U.N.O. 15. WHERE SWITCHES FOR DEVICES OTHER THAN LIGHTS (I.E. EXHAUST FAN) ARE ADJACENT TO LIGHT SWITCHES, LOCATE LIGHT SWITCHES CLOSEST TO THE ENTRY DOOR. 16. REFER TO TELECOM PLANS FOR FURTHER DETAIL ON TELECOM SCOPE. 17. FINISHES FOR COVER PLATES TO BE WHITE U.N.O. FINISHES FOR ELECTRICAL AND FIRE ALARM DEVICES TO BE WHITE U.N.O.																		
		PERMIT SET																		
		GENERAL NOTES, SYMBOLS, & ABBREVIATIONS																		
		A002																		



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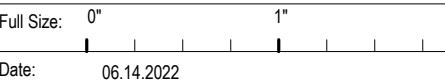
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IECC 2021 APPENDIX RC -
MARSHALL FIRE OPTION 3

A003

APPENDIX RC ZERO ENERGY RESIDENTIAL BUILDING PROVISIONS

The provisions contained in this appendix are not mandatory unless specifically referenced in the adopting ordinance.

User Note:

About this appendix: This appendix provides requirements for residential buildings intended to result in net zero energy consumption over the course of a year. Where adopted by ordinance as a requirement, Section RC101 language is intended to replace Section R401.2.

SECTION RC101
COMPLIANCE

RC101.1 Compliance.

Existing residential buildings shall comply with Chapter 5. New residential buildings shall comply with Section RC102.

SECTION RC102
ZERO ENERGY RESIDENTIAL BUILDINGS

RC102.1 General.

New residential buildings shall comply with Section RC102.2.

RC102.2 Energy Rating Index zero energy score.

Compliance with this section requires that the rated design be shown to have a score less than or equal to the values in Table RC102.2 when compared to the Energy Rating Index (ERI) reference design determined in accordance with RESNET/ICC 301 for both of the following:

- ERI value not including on-site power production (OPP) calculated in accordance with RESNET/ICC 301.
- ERI value including on-site power production calculated in accordance with RESNET/ICC 301 with the OPP in Equation 4.1.2 of RESNET/ICC 301 adjusted in accordance with Equation RC-1.

Adjusted OPP = OPP + CREF + REPC

(Equation RC-1)

where:

CREF = Community Renewable Energy Facility power production—the yearly energy, in kilowatt hour equivalent (kWh_{eq}), contracted from a community renewable energy facility that is qualified under applicable state and local utility statutes and rules, and that allocates bill credits to the rated home.

REPC = Renewable Energy Purchase Contract power production—the yearly energy, in kilowatt hour equivalent (kWh_{eq}), contracted from an energy facility that generates energy with photovoltaic, solar thermal, geothermal energy or wind systems, and that is demonstrated by an energy purchase contract or lease with a duration of not less than 15 years.

TABLE RC102.2 MAXIMUM ENERGY RATING INDEX^a

CLIMATE ZONE	ENERGY RATING INDEX NOT INCLUDING OPP	ENERGY RATING INDEX INCLUDING ADJUSTED OPP (as proposed)
1	43	0
2	45	0
3	47	0
4	49	0
5	47	0
6	49	0
7	48	0
8	48	0

a. The building shall meet the requirements of Table R402.2, and the building thermal envelope shall be greater than or equal to the levels of efficiency and SHGC in Table R402.1.2 or R402.1.3 of the 2015 International Energy Conservation Code.

TABLE R402.1.3 INSULATION MINIMUM R-VALUES AND FENESTRATION REQUIREMENTS BY COMPONENT^a

CLIMATE ZONE	FENESTRATION U-FACTOR ^{b, i}	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE ^g	MASS WALL R-VALUE ^h	FLOOR R-VALUE	BASEMENT ^{a, g} WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^{a, g} WALL R-VALUE
0	NR	0.75	0.25	30	13 or 0& 10ci	3/4	13	0	0	0
1	NR	0.75	0.25	30	13 or 0& 10ci	3/4	13	0	0	0
2	0.40	0.65	0.25	49	13 or 0& 10ci	4/6	13	0	0	0
3	.30	0.55	0.25	49	20 or 13& 5ci ^f or 0& 15ci ^f	8/13	19	5ci or 13 ^f	10ci, 2 ft	5ci or 13 ^f
4 except Marine	.30	0.55	0.40	60	30 or 20& 5ci ^f or 13& 10ci ^f or 0& 20ci ^f	8/13	19	10ci or 13	10ci, 4 ft	10ci or 13
5 and Marine 4	0.30 ^j	0.55	0.40	60	30 or 20& 5ci ^f or 13& 10ci ^f or 0& 20ci ^f	13/17	30	15ci or 19 or 13& 5ci	10ci, 4 ft	15ci or 19 or 13& 5ci
6	0.30 ^j	0.55	NR	60	30 or 20& 3ci ^f or 13& 10ci ^f or 0& 20ci ^f	15/20	30	15ci or 19 or 13& 5ci	10ci, 4 ft	15ci or 19 or 13& 5ci
7 and 8	0.30 ^j	0.55	NR	60	30 or 20& 5ci ^f or 13& 10ci ^f or 0& 20ci ^f	19/21	38	15ci or 19 or 13& 5ci	10ci, 4 ft	15ci or 19 or 13& 5ci

For SI: 1 foot = 304.8 mm.

NR = Not Required.

ci = continuous insulation.

a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.

b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.

Exception: In Climate Zones 0 through 3, skylights shall be permitted to be excluded from glazed fenestration SHGC requirements provided that the SHGC for such skylights does not exceed 0.30.

c. "5ci or 13" means R-5 continuous insulation (ci) on the interior or exterior surface of the wall or R-13 cavity insulation on the interior side of the wall. "10ci or 13" means R-10 continuous insulation (ci) on the interior or exterior surface of the wall or R-13 cavity insulation on the interior side of the wall. "15ci or 19 or 13& 5ci" means R-15 continuous insulation (ci) on the interior or exterior surface of the wall; or R-19 cavity insulation on the interior side of the wall; or R-13 cavity insulation on the interior of the wall in addition to R-5 continuous insulation on the interior or exterior surface of the wall.

d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab-edge insulation for heated slabs shall not be required to extend below the slab.

e. There are no SHGC requirements in the Marine Zone.

f. Basement wall insulation is not required in Warm Humid locations as defined by Figure R301.1 and Table R301.1.

g.

g. The first value is cavity insulation; the second value is continuous insulation. Therefore, as an example, "13& 5" means R-13 cavity insulation plus R-5 continuous insulation.

h. Mass walls shall be in accordance with Section R402.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

i. A maximum U-factor of 0.32 shall apply in Climate Zones 3 through 8 to vertical fenestration products installed in buildings located either:

- Above 4,000 feet in elevation, or
- In windborne debris regions where protection of openings is required by Section R301.2.1.2 of the International Residential Code.



OPTION 3: Residential 2021 IECC – Appendix RC
New Residential Building shall be Zero Energy per
Appendix RC

- Electrical:**
 - New Residential and New Accessory Residential Buildings: Shall be Zero Energy and can use high efficient gas appliances, Energy Rating Index of 47 Max not including onsite power production (Appendix RC of 2021 IECC) 2 Electric vehicle changing spaces 1 EV ready, 1 EV capable for new residential buildings and additions greater than 50%.
 - EV Ready Space- Minimum of 40 AMP 240- volt circuit that terminates at receptacle, plug, junction box next to parking space
 - EV Capable Space- Supplied with conduit sized to handle to parking space
 - New construction shall be wired for all electric capabilities. Circuits shall be provided for all appliances such as furnace and range regardless of fuel source.
- 2021 IECC Appendix RC**
 - All New homes must have an ERI (Energy Rating Index) of 47 before OPP (Onsite Power Production)
 - New Homes will be required to have a Final ERI of 0 after OPP is installed
 - New Homes will need to be designed, inspected and signed off that home meets ERI of 0 by a licensed RESNET rating consultant
 - To find a RESNET rater and designer <https://www.resnet.us/raters/>

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MINE HAZARD MAP

A004

PROPERTY LOCATION:
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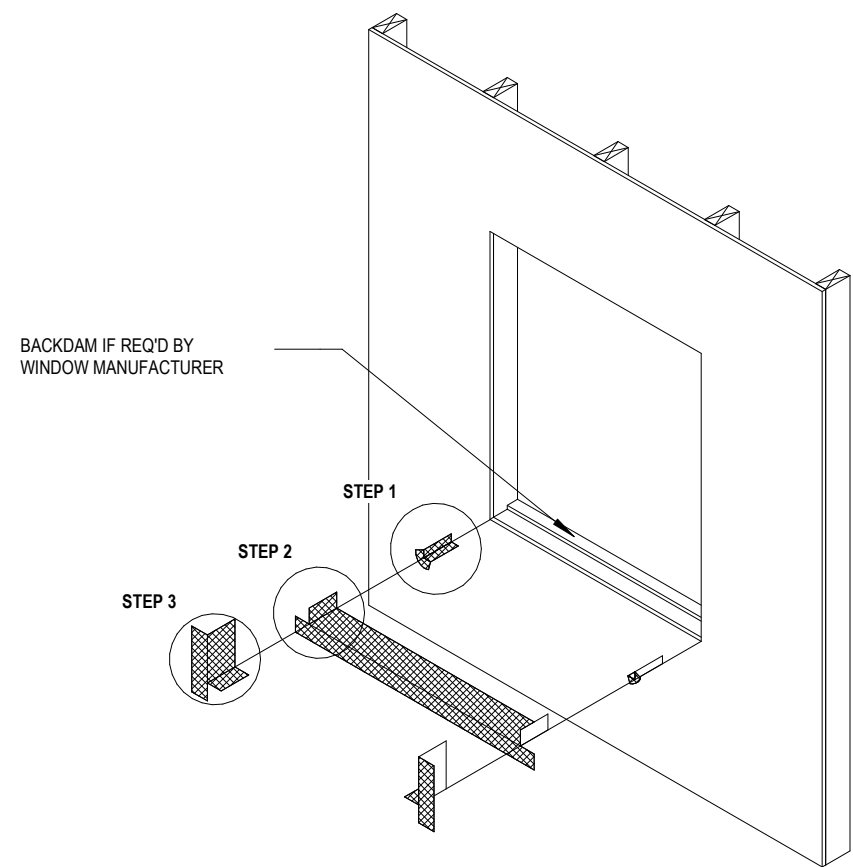
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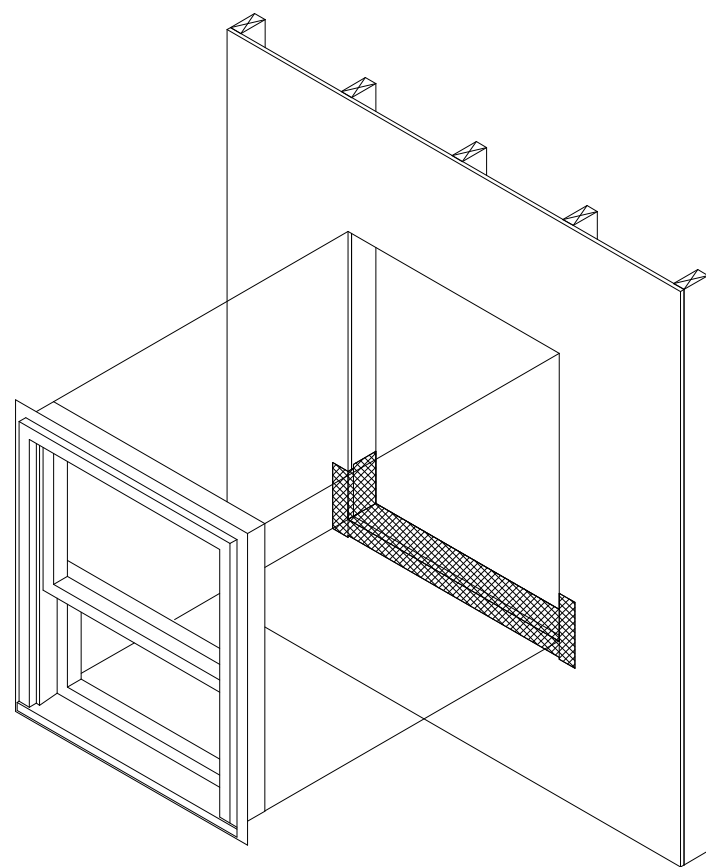
ZIP SYSTEM SEQUENCING

A026

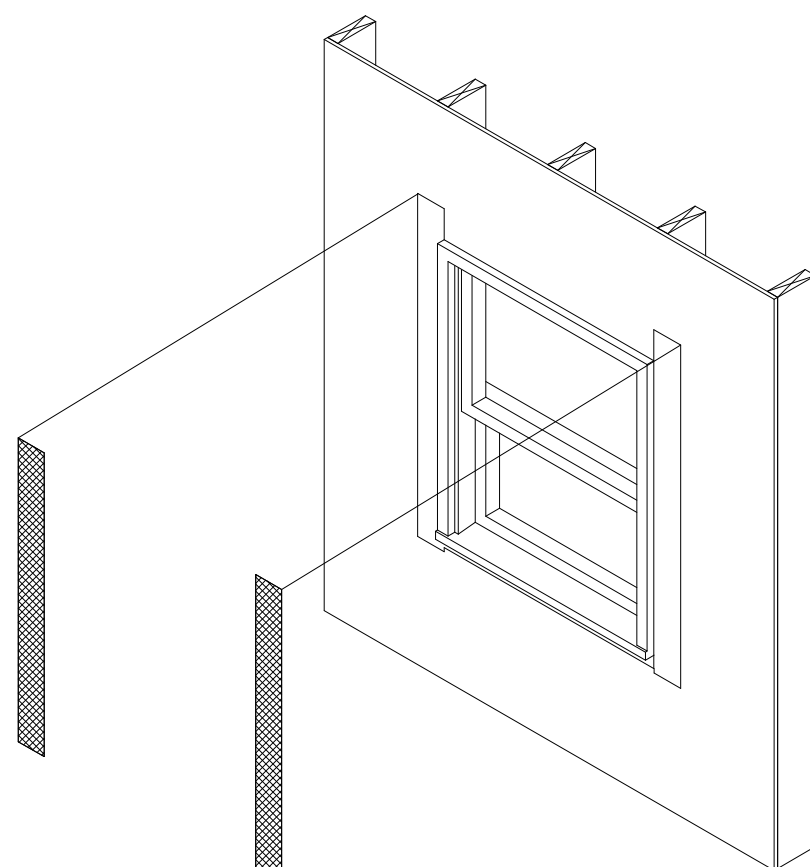
STEPS 1-3
INSTALL ZIP TAPE ON CORNERS AND SILL



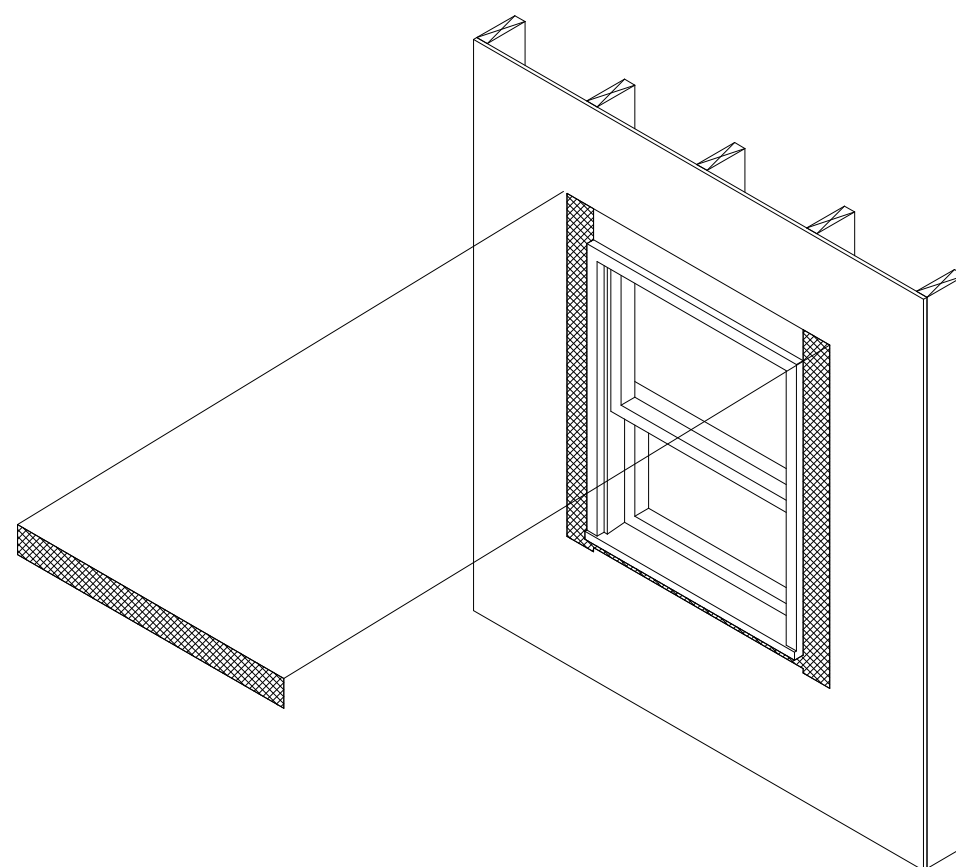
STEP 4
INSTALL WINDOW AND APPLY SEALANT



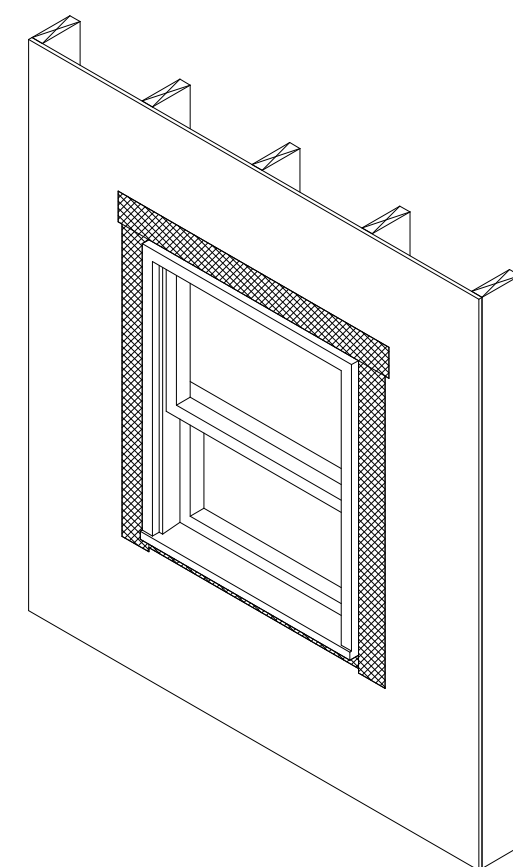
STEP 5
INSTALL ZIP TAPE OVER JAMB FLANGE



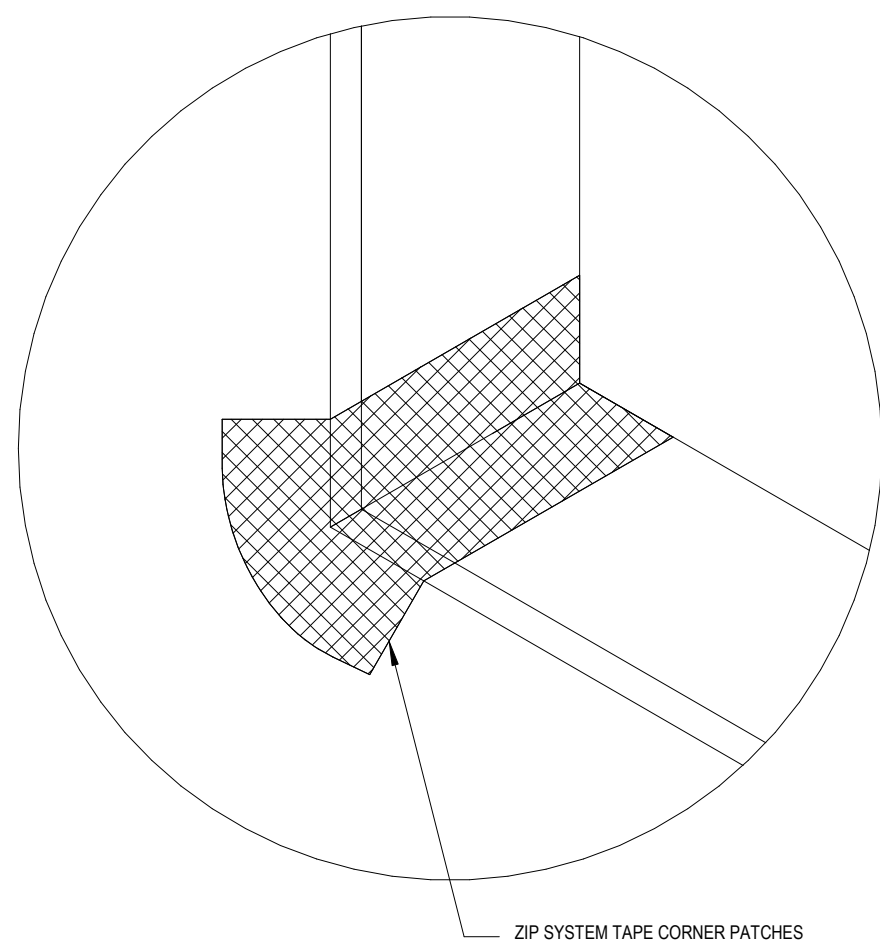
STEP 6
INSTALL ZIP TAPE OVER HEAD



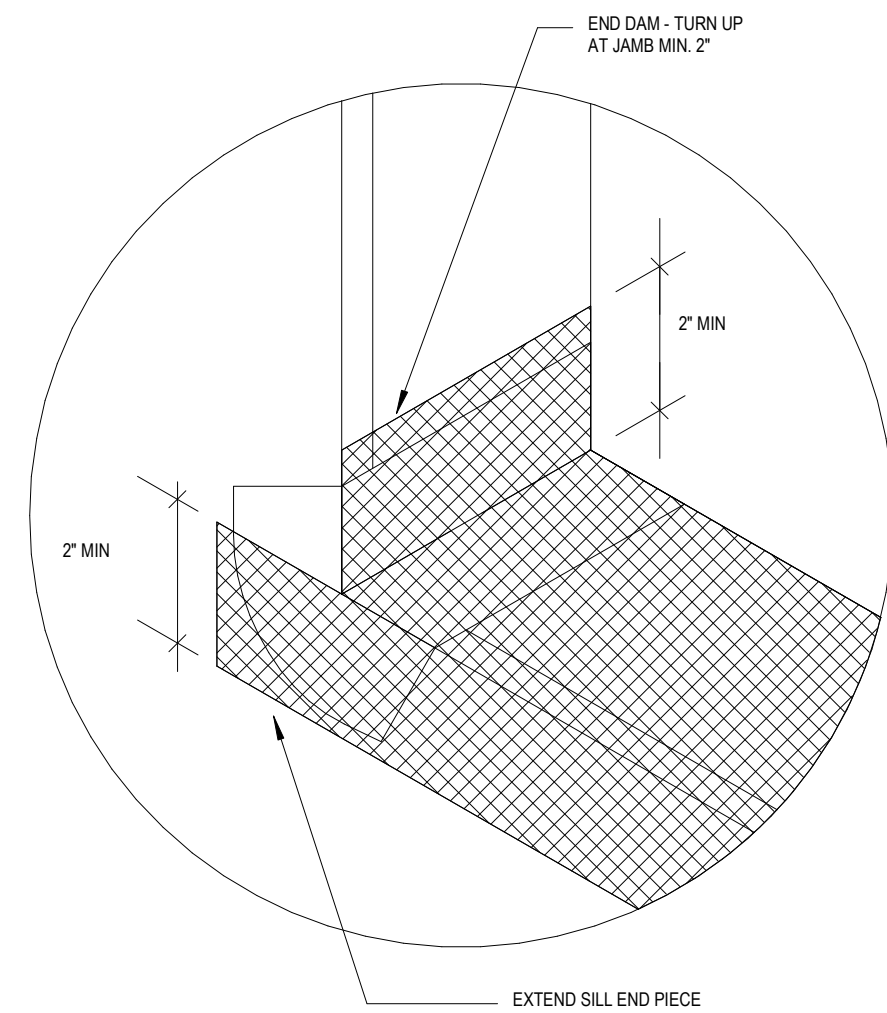
FINAL
INSTALLED WINDOW



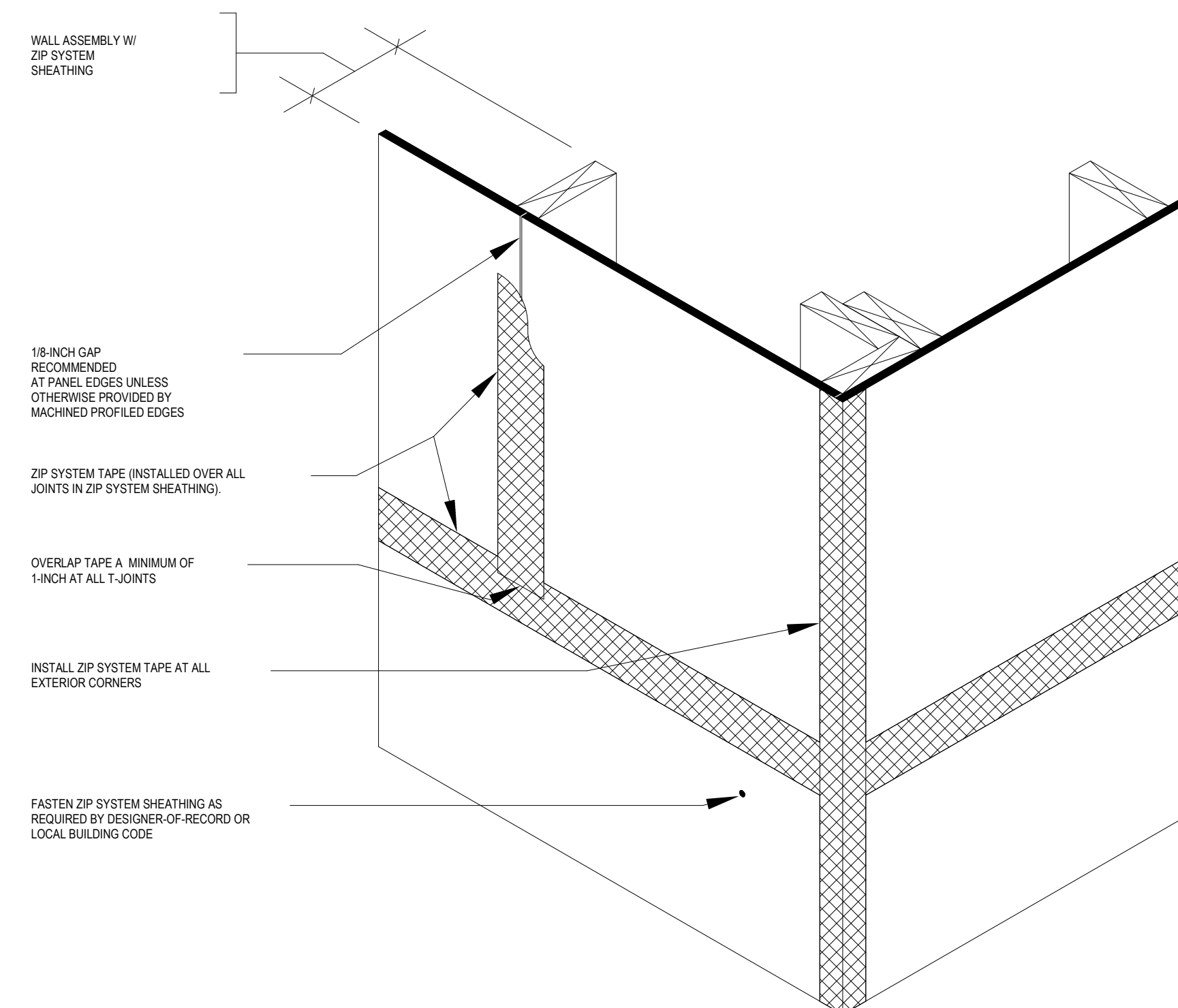
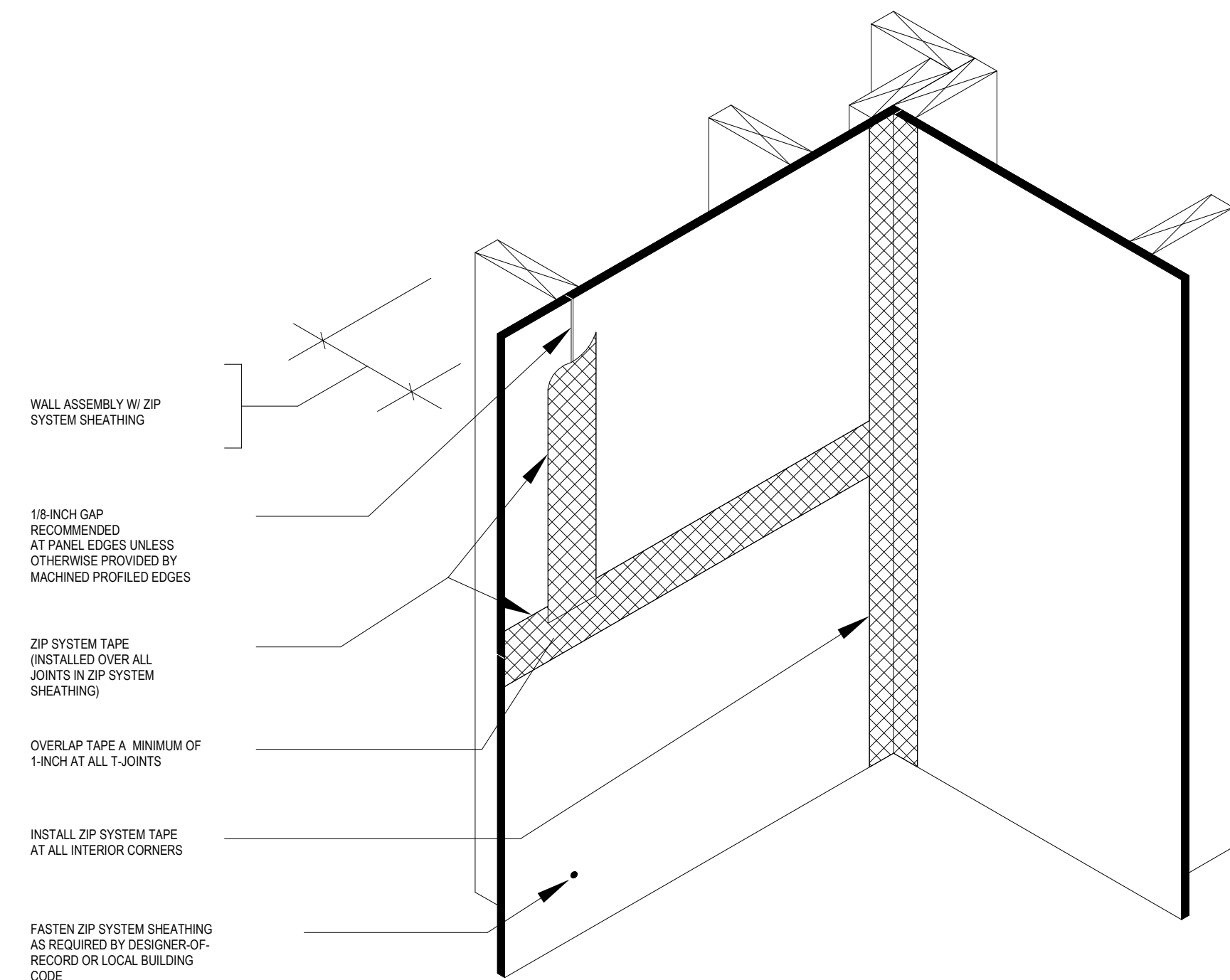
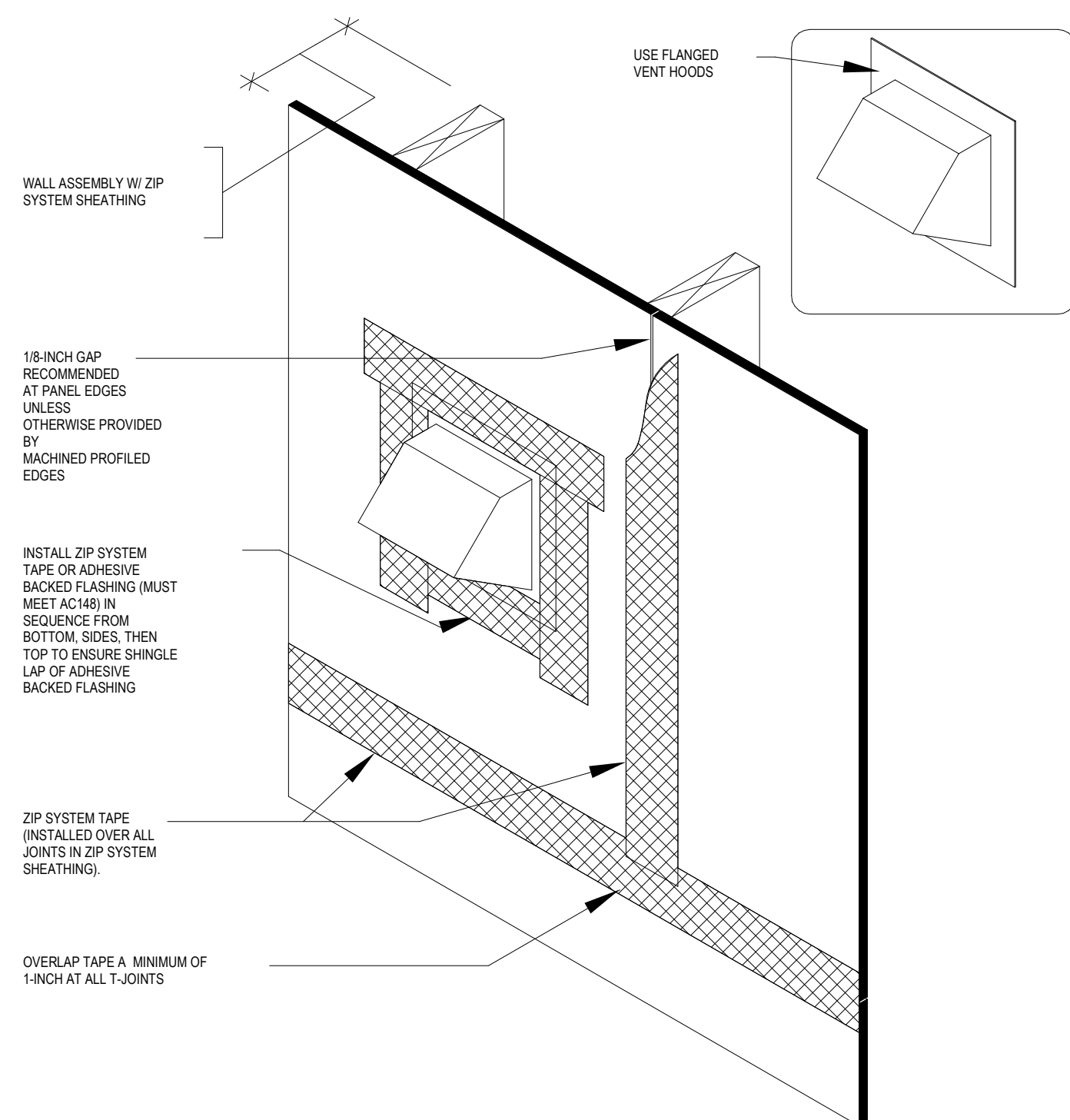
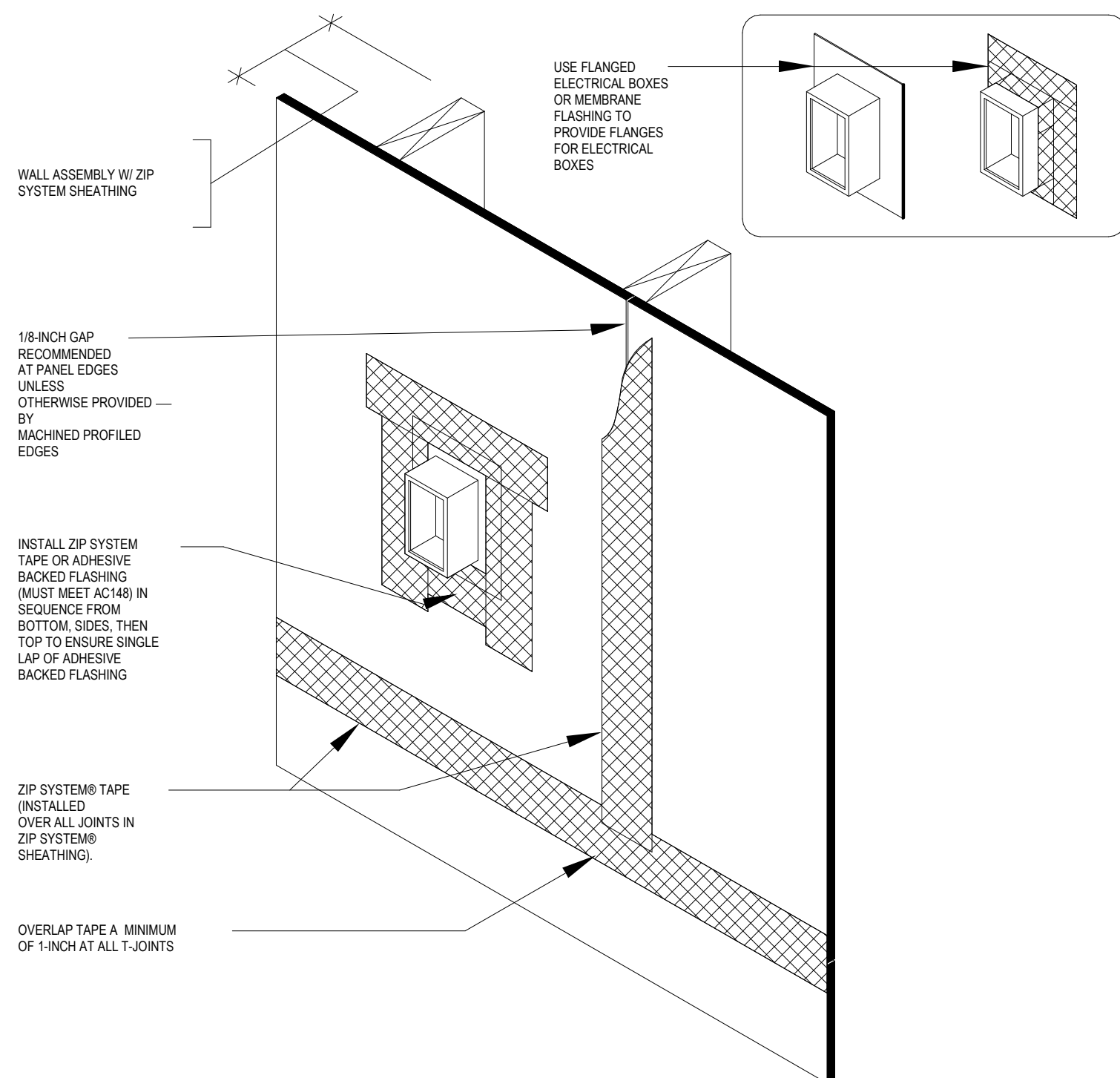
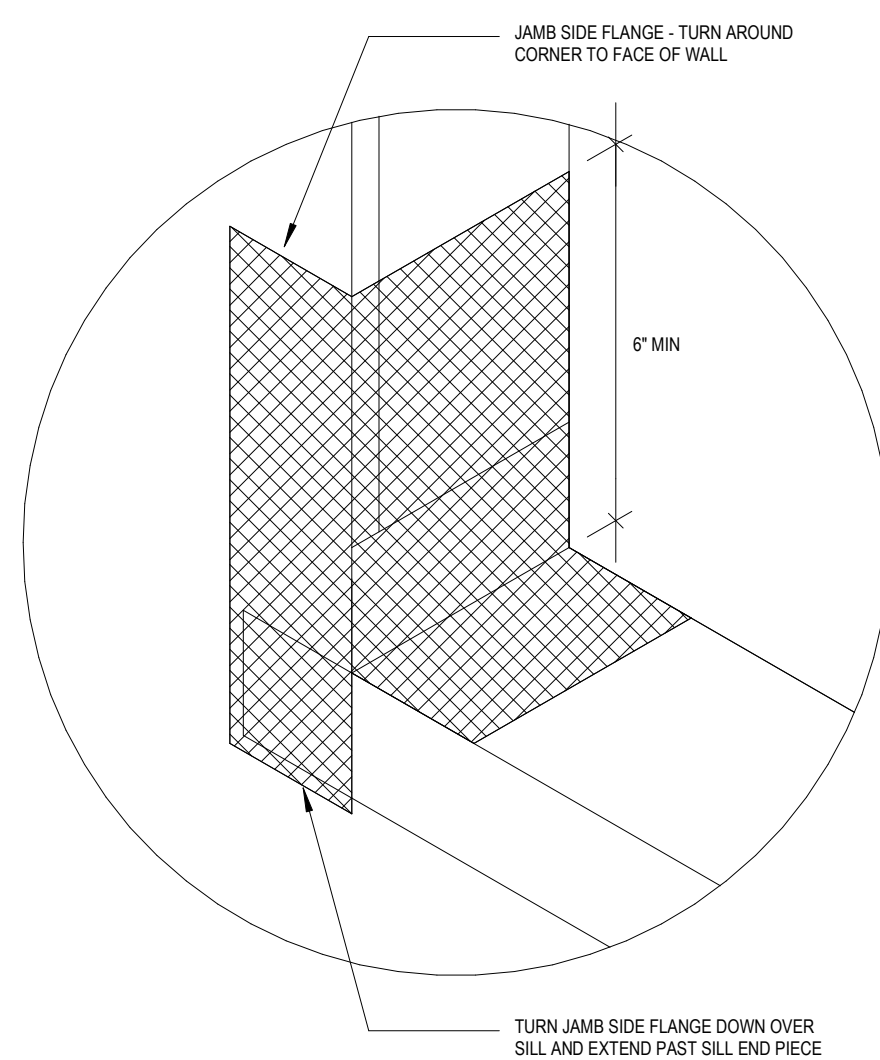
STEP 1
INSTALL ZIP SYSTEM TAPE CORNER PATCH
CENTERED ON OUTSIDE CORNER



STEP 2
INSTALL ZIP SYSTEM TAPE AS TYPE III
PAN FLASHING



STEP 3
JAMB PIECE



PROPERTY INFORMATION

LOT AREA: +/- 6.426sf, +/- .15 ACRE
LEGAL DESCRIPTION: LOT 12 CENTENNIAL 8 REPLAT A
PARCEL #: 157507321012
FLOODPLAIN: NO

BUILDING INFORMATION

PROPOSED FINISHED AREAS: 2963 SF
BASEMENT - 1030 SF
FIRST FLOOR - 1075 SF
SECOND FLOOR - 858 SF

PROPOSED UNFINISHED AREAS: 625 SF
GARAGE - 625 SF

PORCHES / DECKS (COVERED & UNCOVERED): 332 SF

3 TOTAL BACKFLOW PREVENTERS: WATER MAIN, IRRIGATION, FIRE SPRINKLER SYSTEM

ZONING INFORMATION

(PER CENTENNIAL 8 PUD SUBDIVISION REGULATIONS)

ZONING: RE - (RESIDENTIAL ESTATE)

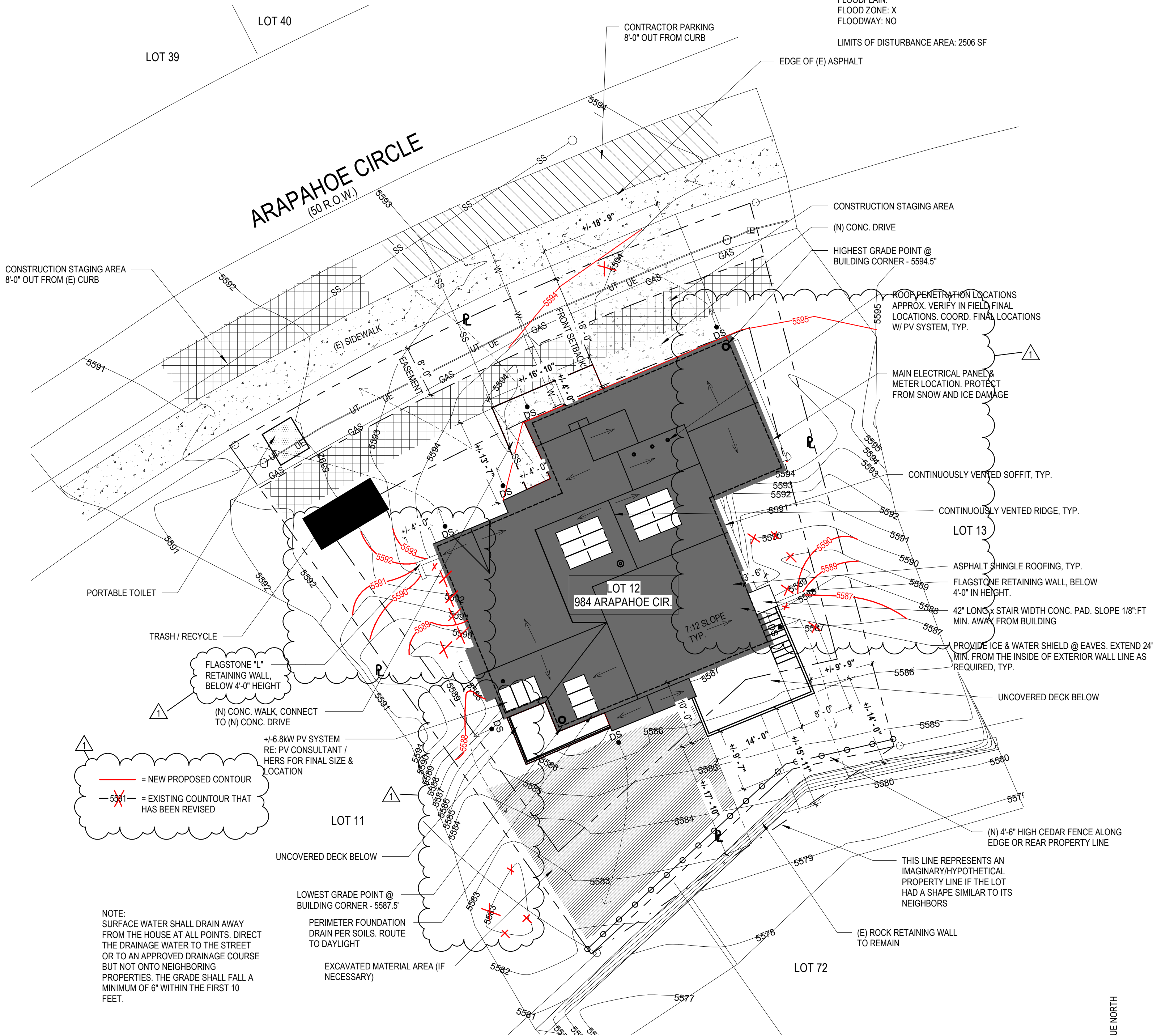
PRINCIPAL STRUCTURE SETBACKS:
FRONT - 18 FT FROM PROPERTY LINE OR 20 FT FROM BACK OF CURB
SIDE YARD (INTERIOR) - 5 FT
SIDE YARD (STREET) - 15 FT
REAR YARD - 15 FT

MAXIMUM HEIGHT: 35 FT
PROPOSED HEIGHT:

MAXIMUM LOT COVERAGE:
LOTS BETWEEN 5,000 TO 9,000 SF - 30% OR 1,750 SF WHICHEVER IS GREATER
ALLOWABLE LOT COVERAGE - 1,927.8 SF (6,426 SF x 30%)
PROPOSED LOT COVERAGE - 1,751 SF

FLOODPLAIN:
FLOOD ZONE: X
FLOODWAY: NO

LIMITS OF DISTURBANCE AREA: 2506 SF



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FLOOR PLANS

A121

NOTES:
FIBER CEMENT OR GLASS MAT BACKER TO BE USED WHERE TILE
IS INSTALLED FOR WALL FINISH

- TOPS OF HANDRAILS TO BE PLACED 34"-38" ABOVE TREADS
NOSING. HANDRAILS TO BE CONTINUOUS THE FULL LENGTH OF
STAIR. END OF HANDRAIL SHALL BE RETURNED OR TERMINATE AT
A NEVEL POST OR SAFETY TERMINAL. HANDGRIPS SHALL NOT BE
LESS THAN 1 1/4" AND NO MORE THAN 2.5" IN CROSS-SECTIONAL
DIMENSION. HANDRAILS PROJECTING FROM WALL SHALL HAVE A
SPACE OF NOT LESS THAN 1.5" BETWEEN WALL AND HANDRAIL.

- STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL
POINTS ABOVE PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL
NOT PROJECT MORE THAN 4.5" ON EITHER SIDE.

- GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT. OPEN GUARDS
SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN
SUCH THAT NO SPHERE 4" IN DIAMETER CAN PASS THROUGH.

- FIRE BLOCK STUD SPACES AT SOFFITS, FLOOR AND CEILING
JOIST LINES, AT 10' FT VERTICALLY AND HORIZONTALLY, AND AT
OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY SPACES FOR
FACTORY-BUILT CHIMNEYS, AND AT ANY OTHER LOCATIONS NOT
SPECIFICALLY MENTIONED WHICH COULD AFFORD PASSAGE FOR
FLAMES.

- SMOKE & CARBON MONOXIDE DETECTORS TO BE HARDWIRED TO
POWER, INTERCONNECTED, AND HAVE BATTERY BACKUP.

- ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, IN
GARAGES, BATHS, UNFINISHED BASEMENTS AND OUTSIDE
RECEPTABLES SHALL BE GFCI PROTECTED.

- ALL BRANCH CIRCUITS THAT SUPPLY ELECTRICAL IN BEDROOMS
NEED TO BE PROVIDED WITH ARC-FAULT PROTECTION.

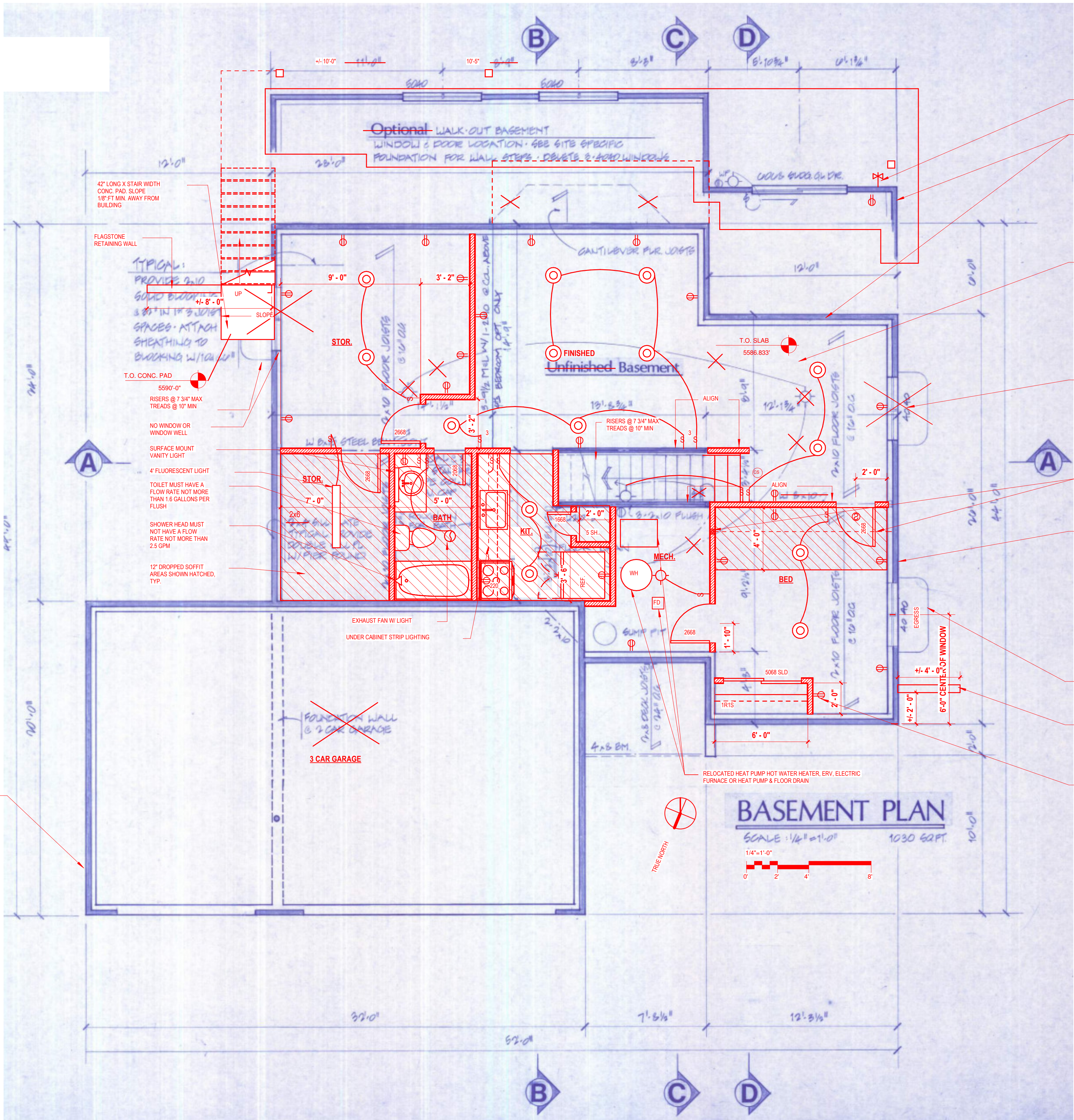
- ELECTRICAL PANELS PENETRATING THE GARAGE SIDE GYPSUM
BOARD MEMBRANE SHALL BE WRAPPED WITH 1/2" TYPE X GYPSUM
BOARD ON THE TOP, BOTTOM, SIDES AND BACK.

- ELECTRICAL PANELS MUST COMPLY WITH IRC E3405 FOR 30" BY
36" WORKING SPACE AND 6" HEADROOM.

- A PERMANENT CERTIFICATE SHALL BE POSTED ON A WALL IN THE
SPACE WHERE THE FURNACE IS LOCATED OR A UTILITY ROOM OR
ELECTRICAL PANEL. (MUST NOT COVER OR OBSTRUCT THE
VISIBILITY OF CIRCUIT DIRECTORY). PREDOMINANT R-VALUES OF
INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS,
FOUNDATION, (SLAB, BASEMENT WALL, CRAWLSPACE WALL
AND/OR FLOOR) AND DUCTS OUTSIDE THE CONDITIONED SPACES;
U-FACTORS OF WINDOWS, AND THE SOLAR HEAT GAIN
COEFFICIENT OF WINDOWS, THE TYPE AND EFFICIENCY OF
HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT
SHALL ALSO BE LISTED. NOTE: THE LISTING OF THE ELECTRICAL
PANEL WILL NOT ALLOW YOU TO DRILL OR MODIFY THE PANEL OR
COVER IN ANY WAY TO ACCOMPLISH THIS.

- MECHANICAL ROOMS LOCATED IN THE HOUSE OR BASEMENT
THAT HAVE MAKEUP FROM THE OUTSIDE WILL BE CONSIDERED
OUTSIDE THE THERMAL ENVELOPE AND WILL TO BE INSULATED AS
AN EXTERIOR AREA FROM THE REST OF THE HOME AND SHALL BE
SHEET ROCKED WITH R-21 WALLS, R-38 FLOORS, R-49 CEILING AND
EXTERIOR RATED DOOR SHALL BE FULLY GASKETED WATER LINES
INSULATED AND DUCTS SHALL HAVE A R-8 INSULATION UNLESS
THE USE OF DIRECT VENT APPLIANCES ARE USED AND THERE IS
NOT MAKE UP AIR REQUIRED.

GARAGE FOUNDATION WALL ASSEMBLY:
- (1) LAYER WATERPROOFING PER SOILS
(BELOW GRADE ONLY)
- CONC. FOUNDATION WALLS PER
STRUCTURAL



NON FREEZE HOSE BIB

WALKOUT BASEMENT SELECTED

TYP. BASEMENT SLAB ASSEMBLY:
- 4" CRUSHED GRAVEL PER SOILS
- PASSIVE RADON SYSTEM WITHIN GRAVEL
LAYER PER SOILS
- (R10 MIN) EXTERIOR RIGID SLAB EDGE
INSULATION @ WALK-OUT BASEMENT SLAB
EDGE LOCATION ONLY
- (1) LAYER 5/8" VAPOR BARRIER
- CONC. SLAB W/ CONTROL JOINTS PER
STRUCTURAL
- FLOOR UNDERLAYMENT & FINISH PER OWNER

NO WINDOW OR WINDOW
WELL

STRUCTURAL BEAM & COLUMN
RE: STRUCTURAL

TYP. FOUNDATION WALL ASSEMBLY:
- (1) LAYER WATERPROOFING PER SOILS
(BELOW GRADE ONLY)
- 9'-0" HIGH CONC. FOUNDATION WALLS
PER STRUCTURAL
- 2" GAP BTWN CONC. WALL & WOOD
FRAME WALL
- 2x4 P.T. WOOD BOTTOM PLATE
- 2x4 FLOATING WOOD STUD FRAMING @ 24" O.C.
- 2x4 WOOD DOUBLE TOP PLATE
- 5.5" (R10 MIN) NON-FACED PREGLASS BATT
INSULATION
- (1) LAYER VAPOR BARRIER
- (1) LAYER 1/2" GYPSUM BOARD, TEXTURED & PAINTED

WINDOW WELL TO BE 9 SF NET CLEAR
OPENING AND A DIMENSION OF 36"
MINIMUM. PROVIDE LADDER IF WELL IS
MORE THAN 44" DEEP

FLAGSTONE RETAINING WALL

ABOVE COUNTER HEIGHT

BASE DRAWINGS ORIGINALLY PRODUCED BY MCSTAIN
ENTERPRISES OF BOULDER, CO, DATED 2-27-90. ALL
ORIGINAL INFORMATION / DIMENSIONS / NOTES ETC. ARE TO
BE USED FOR PERMITTING AND CONSTRUCTION PURPOSES
UNLESS NOTED OTHERWISE BY CADDIS COLLABORATIVE &
IT'S ASSOCIATED CONSULTANTS. CADDIS COLLABORATIVE &
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Louisville, CO 80027



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NOTES:
- FIBER CEMENT OR GLASS MAT BACKER TO BE USED WHERE TILE IS INSTALLED FOR WALL FINISH

- TOPS OF HANDRAILS TO BE PLACED 34" 38" ABOVE TREADS NOSING. HANDRAILS TO BE CONTINUOUS THE FULL LENGTH OF STAIR. END OF HANDRAIL SHALL BE RETURNED OR TERMINATE AT A NEWEL POST OR SAFETY TERMINAL. HANDGRIPS SHALL NOT BE LESS THAN 1 1/4" AND NO MORE THAN 2 3/8" IN CROSS-SECTIONAL DIMENSION. HANDRAILS PROJECTING FROM WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN WALL AND HANDRAIL.

- STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4" ON EITHER SIDE.

- GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT NO SPHERE 4" IN DIAMETER CAN PASS THROUGH.

- FIRE BLOCK STUD SPACES AT SOFFITS, FLOOR AND CEILING JOIST LINES, AT 10' FT VERTICALLY AND HORIZONTALLY, AND AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY SPACES FOR FACTORY-BUILT CHIMNEYS, AND AT ANY OTHER LOCATIONS NOT SPECIFICALLY MENTIONED WHICH COULD AFFORD PASSAGE FOR FLAMES.

- SMOKE & CARBON MONOXIDE DETECTORS TO BE HARDWIRED TO POWER, INTERCONNECTED, AND HAVE BATTERY BACKUP.

- ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, IN GARAGES, BATHS, UNFINISHED BASEMENTS AND OUTSIDE RECEPTACLES SHALL BE GFCI PROTECTED.

- ALL BRANCH CIRCUITS THAT SUPPLY ELECTRICAL IN BEDROOMS NEED TO BE PROVIDED WITH ARC-FAULT PROTECTION.

- ELECTRICAL PANELS PENETRATING THE GARAGE SIDE GYPSUM BOARD MEMBRANE SHALL BE WRAPPED WITH 1/2" TYPE X GYPSUM BOARD ON THE TOP, BOTTOM, SIDES AND BACK.

- ELECTRICAL PANELS MUST COMPLY WITH IRC E3405 FOR 30" BY 36" WORKING SPACE AND 8" HEADROOM.

- A PERMANENT CERTIFICATE SHALL BE POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED OR A UTILITY ROOM OR ELECTRICAL PANEL (MUST NOT COVER OR OBSTRUCT THE VISIBILITY OF CIRCUIT DIRECTORY). PREDOMINANT VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION, SLAB, BASEMENT WALL, CHASE/SPACE WALL AND/OR FLOOR AND DUCTS OUTSIDE THE CONDITIONED SPACES, UFACATORS OF WINDOWS, AND THE SOLAR HEAT GAIN COEFFICIENT OF WINDOWS, THE TYPE AND EFFICIENCY OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT SHALL ALSO BE LISTED. NOTE: THE LISTING OF THE ELECTRICAL PANEL WILL NOT ALLOW YOU TO DRILL OR MODIFY THE PANEL OR COVER IN ANY WAY TO ACCOMPLISH THIS.

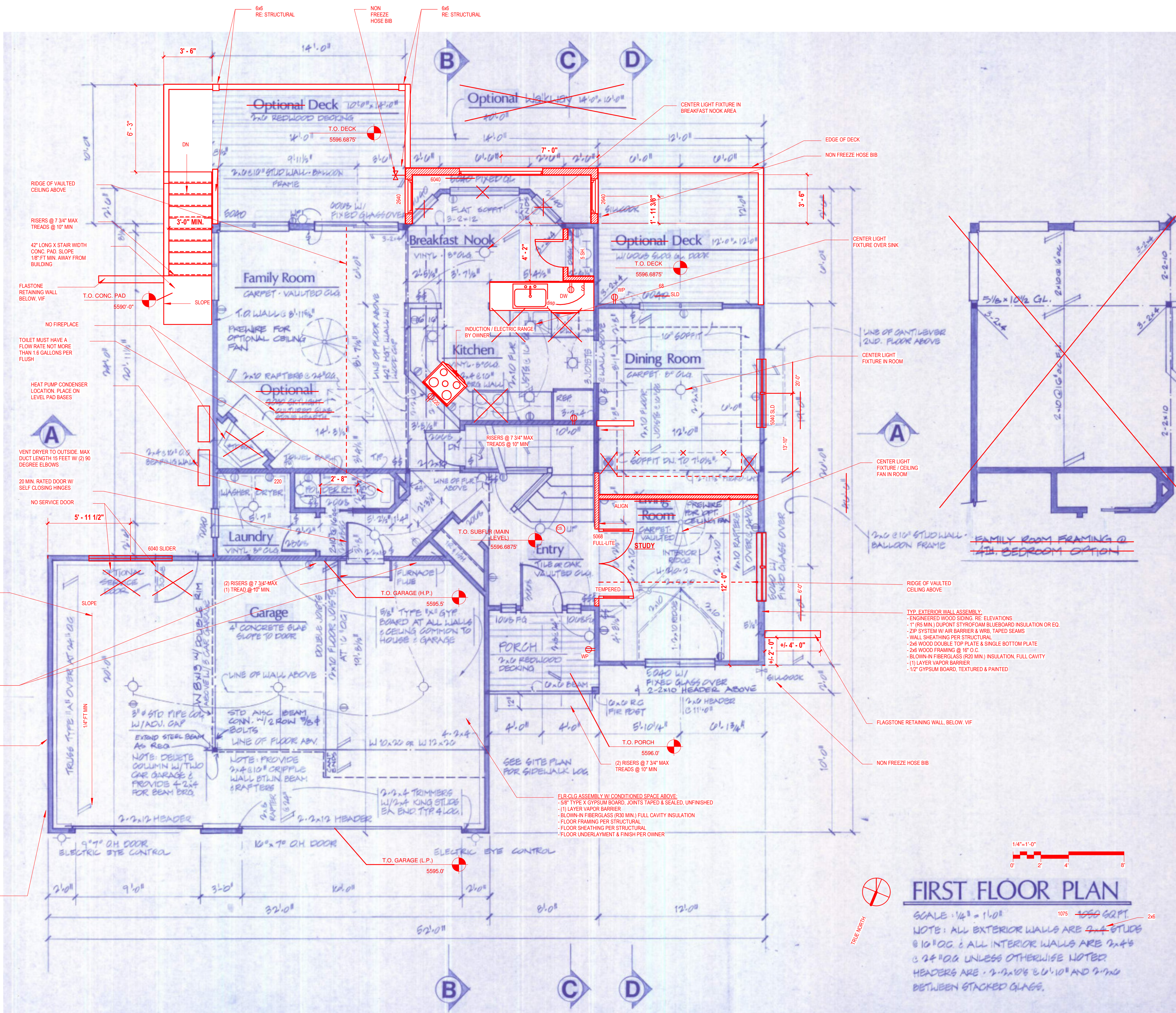
- MECHANICAL ROOMS LOCATED IN THE HOUSE OR BASEMENT THAT HAVE MAKEUP FROM THE OUTSIDE WILL BE CONSIDERED OUTSIDE THE THERMAL ENVELOPE AND WILL TO BE INSULATED AS AN EXTERIOR AREA FROM THE REST OF THE HOME AND SHALL BE SHEET ROCKED WITH R-1 WALLS, R-5 FLOORS, R-48 CEILING AND EXTERIOR RATED DOOR SHALL BE FULLY GASKETED WATER LINES INSULATED AND DUCTS SHALL HAVE A R-8 INSULATION UNLESS THE USE OF DIRECT VENT APPLIANCES ARE USED AND THERE IS NOT MAKE UP AIR REQUIRED.

GARAGE SLAB ASSEMBLY:
- 4" CRUSHED GRAVEL PER SOILS
- (1) LAYER 5 MIL VAPOR BARRIER
- CONC. SLAB W/ CONTROL PER STRUCTURAL
- CLEAR SEALED OR COATED SLAB PER OWNER

PROVIDE (2) COMPLETE EV CHARGING STATION W/ CHARGER IN GARAGE.

GARAGE EXTERIOR WALL ASSEMBLY:
- ENGINEERED WOOD SING. RE. ELEVATIONS
- 1" DUPONT STYROFOAM BLUEBOARD OR EQ.
- 2" SYSTEM W/ INTEGRATED AIR BARRIER & WRB, TAPED SEAMS
- WALL SHEATHING PER STRUCTURAL
- 2x6 WOOD DOUBLE TOP PLATE & SINGLE BOTTOM PLATE
- 2x6 WOOD FRAMING @ 16" O.C.
- (1) LAYER VAPOR BARRIER
- 1/2" TYPE X GYPSUM BOARD, JOINTS TAPED & SEALED, UNPAINTED @ COMMON WALLS BTWN. HOUSE & GARAGE ONLY
- 1/2" GYPSUM BOARD, JOINTS TAPED & SEALED, UNPAINTED, TYP. U.O.

PROVIDE (1) COMPLETE EV CHARGING STATION W/ CHARGER ON EXTERIOR OF GARAGE.



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FLOOR PLANS

A122

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FLOOR PLANS

A123

NOTES:

-FIBER CEMENT OR GLASS MAT BACKER TO BE USED WHERE TILE
IS INSTALLED FOR WALL FINISH

-TOPS OF HANDRAILS TO BE PLACED 34" 38" ABOVE TREADS.
NOTING: HANDRAILS TO BE CONTINUOUS THE FULL LENGTH OF
STAIR. END OF HANDRAIL SHALL BE RETURNED OR TERMINATE AT
A NEWEL POST OR SAFETY TERMINAL. HANDGRIPS SHALL NOT BE
LESS THAN 1-1/4" AND NO MORE THAN 2-5/8" IN CROSS-SECTIONAL
DIMENSION. HANDRAILS PROJECTING FROM WALL SHALL HAVE A
SPACE OF NOT LESS THAN 1/2" BETWEEN WALL AND HANDRAIL.

-STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL
POINTS ABOVE PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL
NOT PROJECT MORE THAN 4.5" ON EITHER SIDE.

-GUARDS SHALL NOT BE LESS THAN 36" IN HEIGHT. OPEN GUARDS
SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN
SUCH THAT NO SPHERE 4" IN DIAMETER CAN PASS THROUGH.

-FIRE BLOCK STUD SPACES AT SOFFITS, FLOOR AND CEILING
JOIST LINES, AT 16 FT VERTICALLY AND HORIZONTALLY, AND AT
OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY SPACES FOR
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FLAMES.

-SMOKE & CARBON MONOXIDE DETECTORS TO BE HARDWIRED TO
POWER, INTERCONNECTED, AND HAVE BATTERY BACKUP.

-ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, IN
GARAGES, BATHS, UNFINISHED BASEMENTS AND OUTSIDE
RECEPTACLES SHALL BE GFCI PROTECTED.

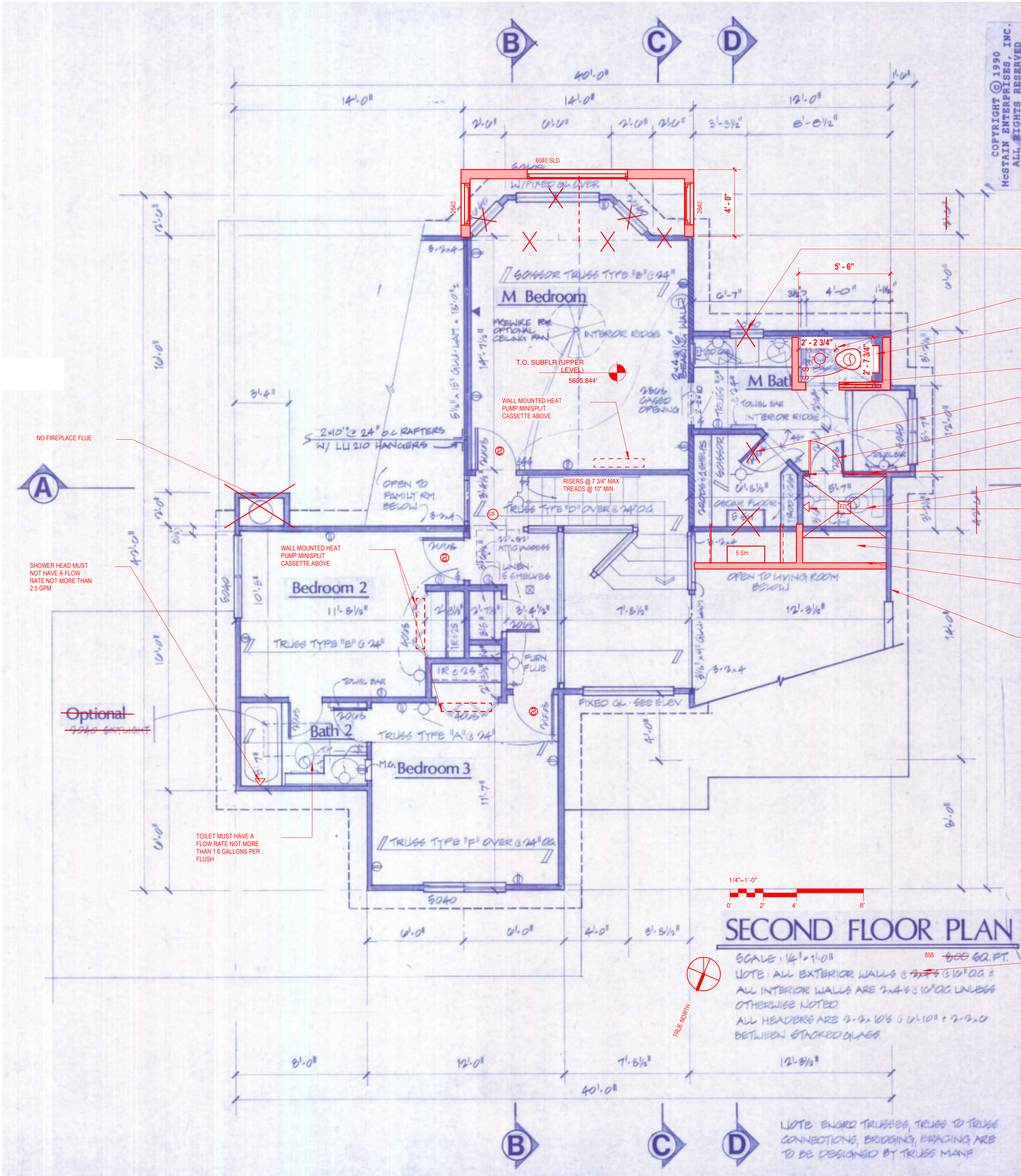
-ALL BRANCH CIRCUITS THAT SUPPLY ELECTRICAL IN BEDROOMS
NEED TO BE PROVIDED WITH ARC-FAULT PROTECTION.

-ELECTRICAL PANELS PENETRATING THE GARAGE SIDE GYPSUM
BOARD MEMBRANE SHALL BE WRAPPED WITH 1/2" TYPE X GYPSUM
BOARD ON THE TOP, BOTTOM, SIDES AND BACK.

-ELECTRICAL PANELS MUST COMPLY WITH IRC E3405 FOR 30" BY
36" WORKING SPACE AND 6-4" HEADROOM.

-A PERMANENT CERTIFICATE SHALL BE POSTED ON A WALL IN THE
SPACE WHERE THE FURNACE IS LOCATED OR A UTILITY ROOM OR
ELECTRICAL PANEL, (MUST NOT COVER OR OBSTRUCT THE
VISIBILITY OF CIRCUIT DIRECTORY). PREDOMINANT R-VALUES OF
INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS,
FOUNDATION, (SLAB, BASEMENT WALL, CRAWLSPACE WALL
AND/OR FLOOR) AND DUCTS OUTSIDE THE CONDITIONED SPACES;
LIFTERS OF WINDOWS, AND THE SOLAR HEAT GAIN
COEFFICIENT OF WINDOWS, THE TYPE AND EFFICIENCY OF
HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT
SHALL ALSO BE LISTED. NOTE: THE LISTING OF THE ELECTRICAL
PANEL WILL NOT ALLOW YOU TO DRILL OR MODIFY THE PANEL OR
COVER IN ANY WAY TO ACCOMPLISH THIS.

-MECHANICAL ROOMS LOCATED IN THE HOUSE OR BASEMENT
THAT HAVE MAKEUP FROM THE OUTSIDE WILL BE CONSIDERED
OUTSIDE THE THERMAL ENVELOPE AND WILL TO BE INSULATED AS
AN EXTERIOR AREA FROM THE REST OF THE HOME AND SHALL BE
SHEET ROCKED WITH R-21 WALLS, R-38 FLOORS, R-49 CEILING AND
EXTERIOR RATED DOOR SHALL BE FULLY GASKETED WATER LINES
INSULATED AND DUCTS SHALL HAVE A R-10 INSULATION, UNLESS
THE USE OF DIRECT VENT APPLIANCES ARE USED AND THERE IS
NOT MAKE UP AIR REQUIRED.



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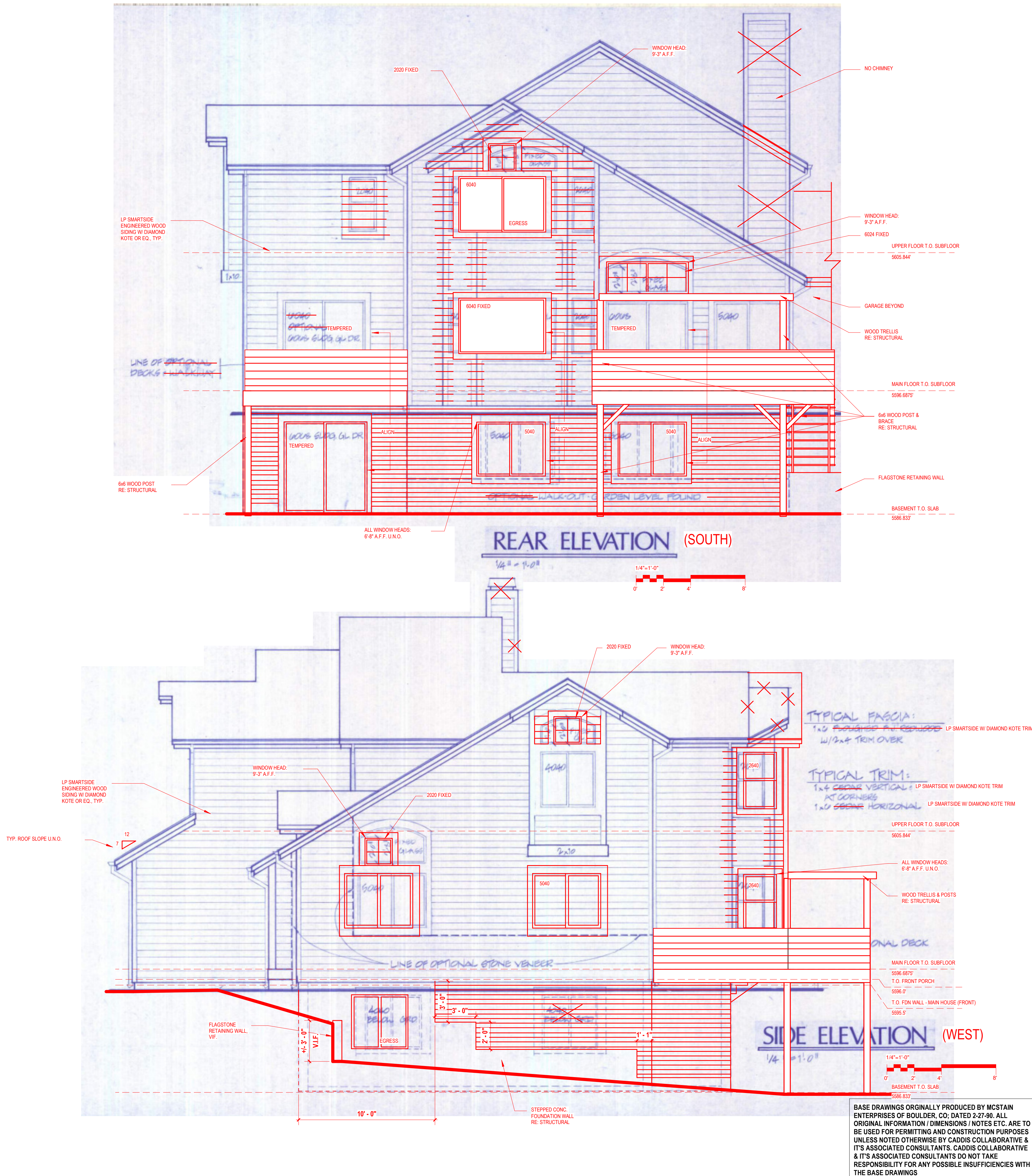
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PERMIT SET

EXTERIOR ELEVATIONS

A201



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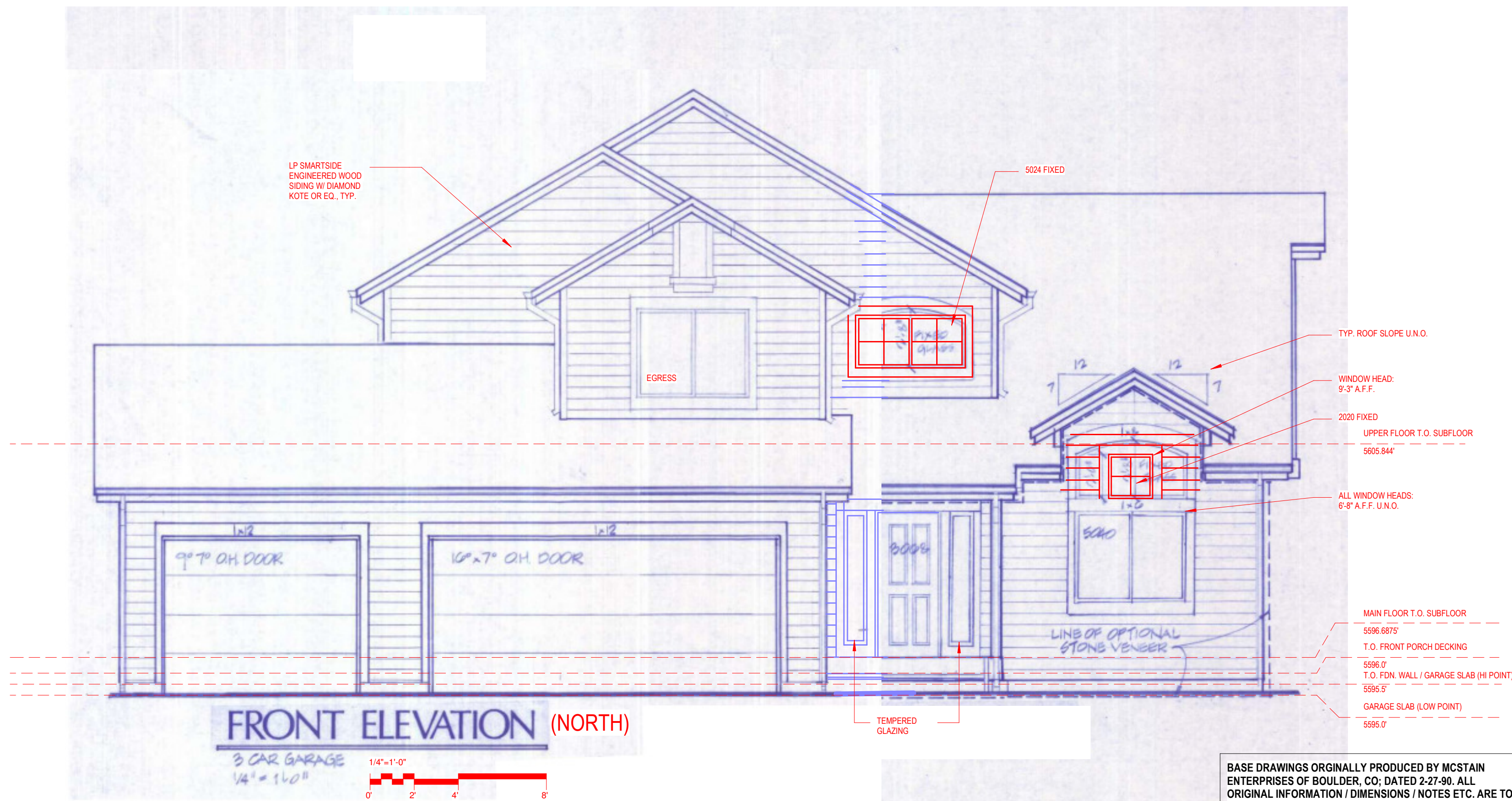
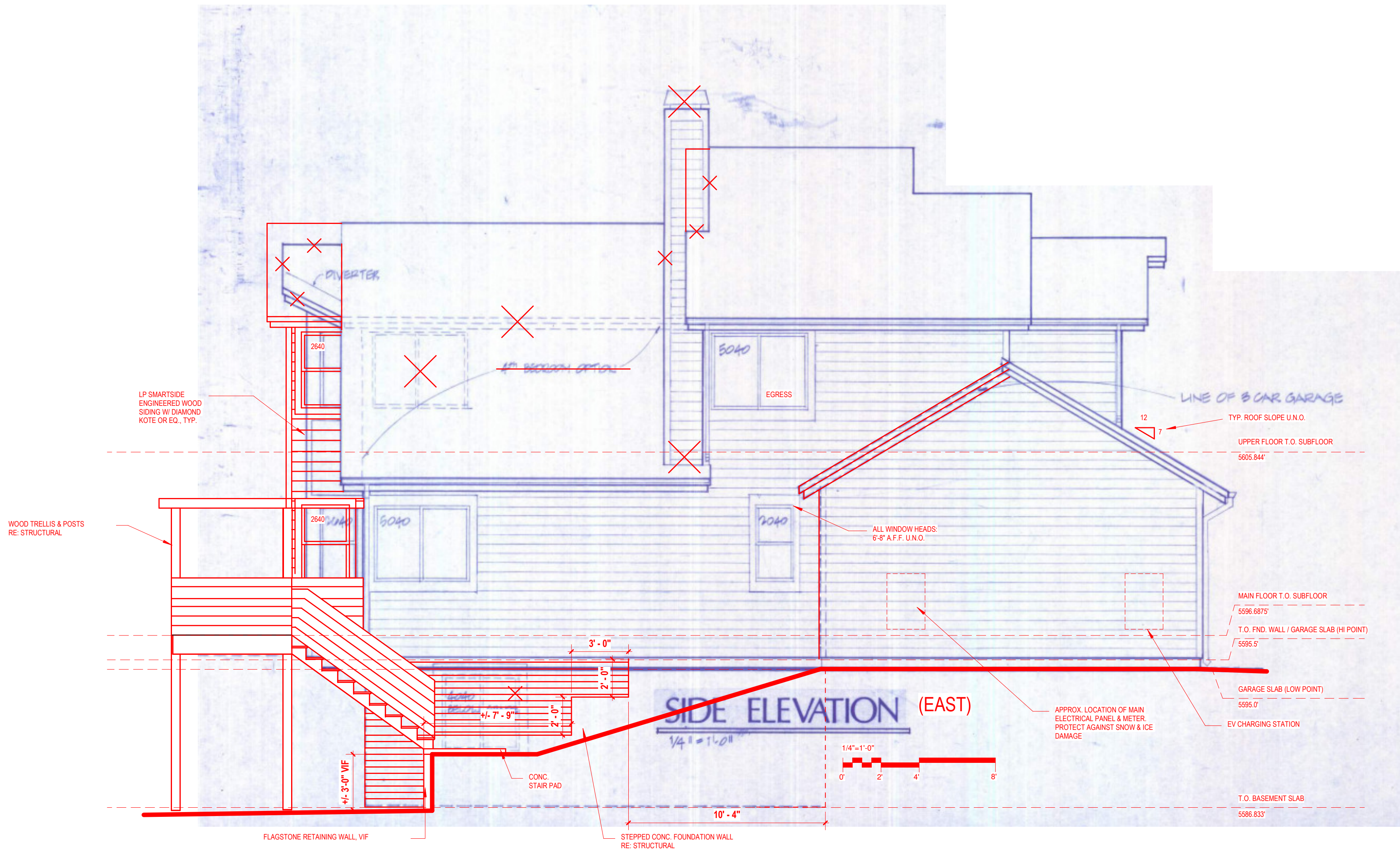
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EXTERIOR ELEVATIONS

A202



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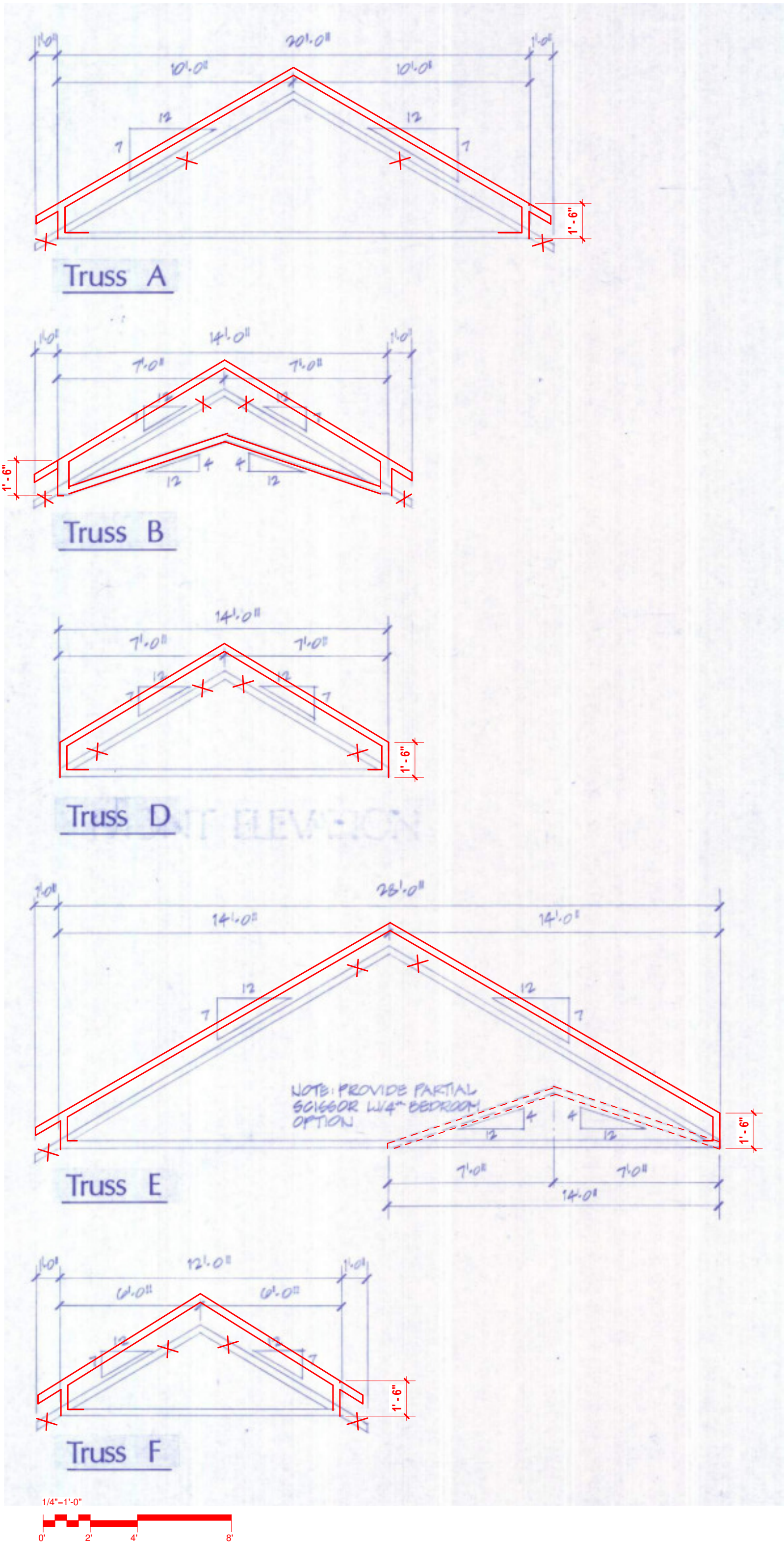
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TRUSS ELEVATIONS

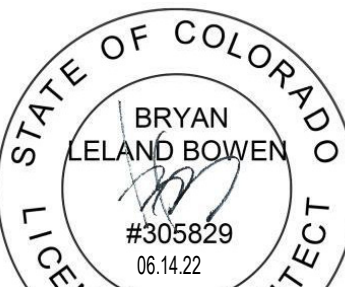
A203

NOTE:
FOR TRUSS C INFORMATION, SEE SECTION DD ON SHEET A201



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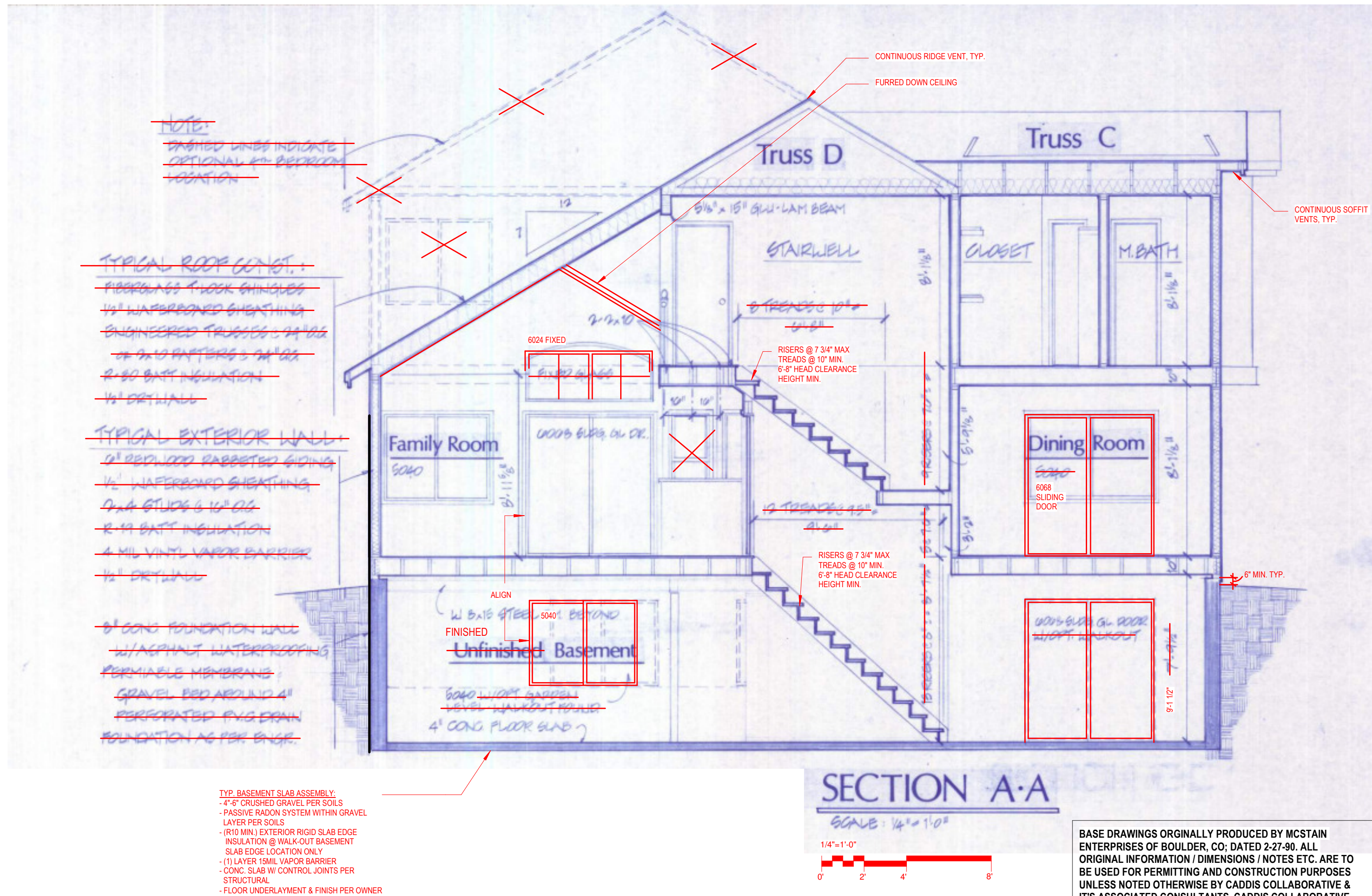
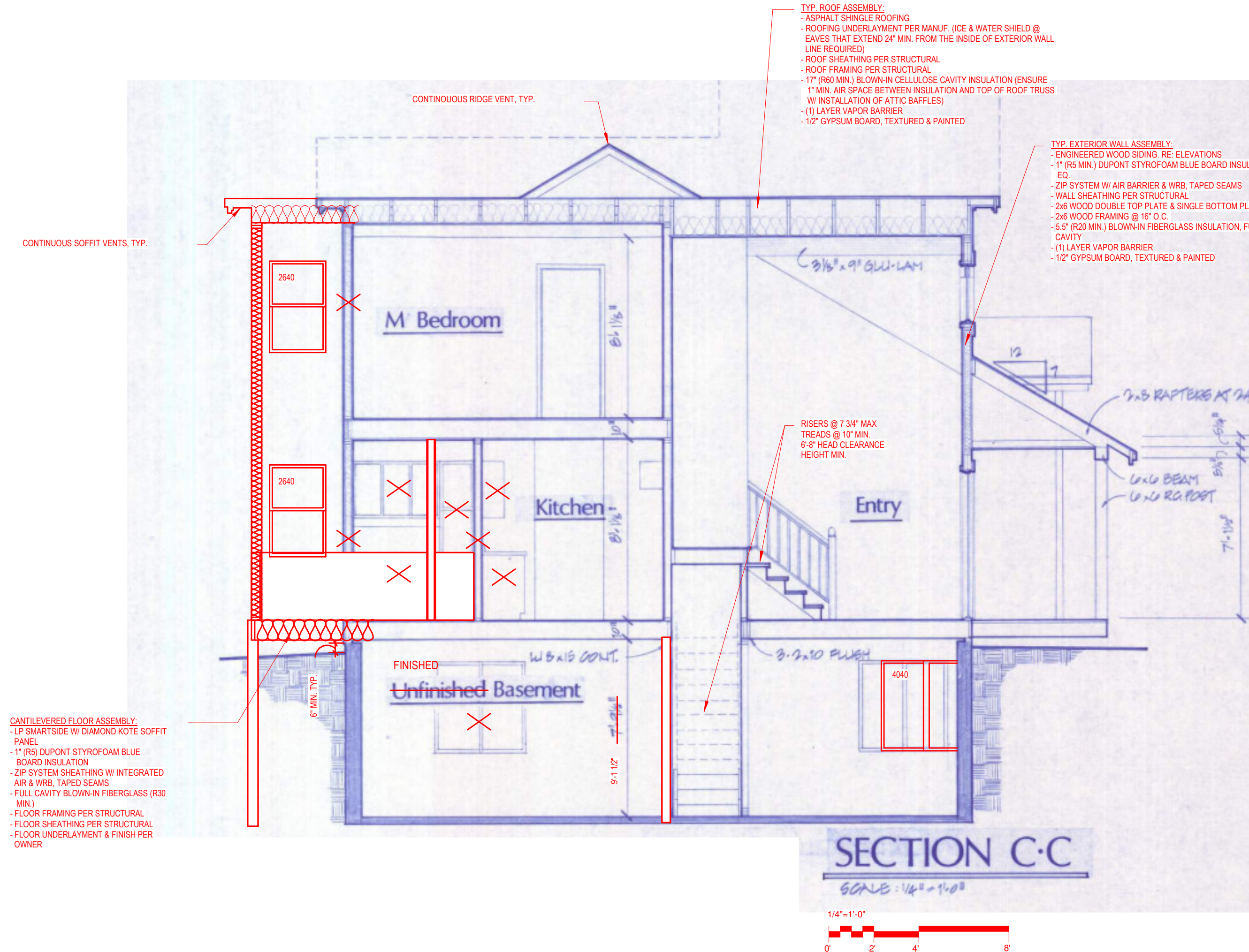
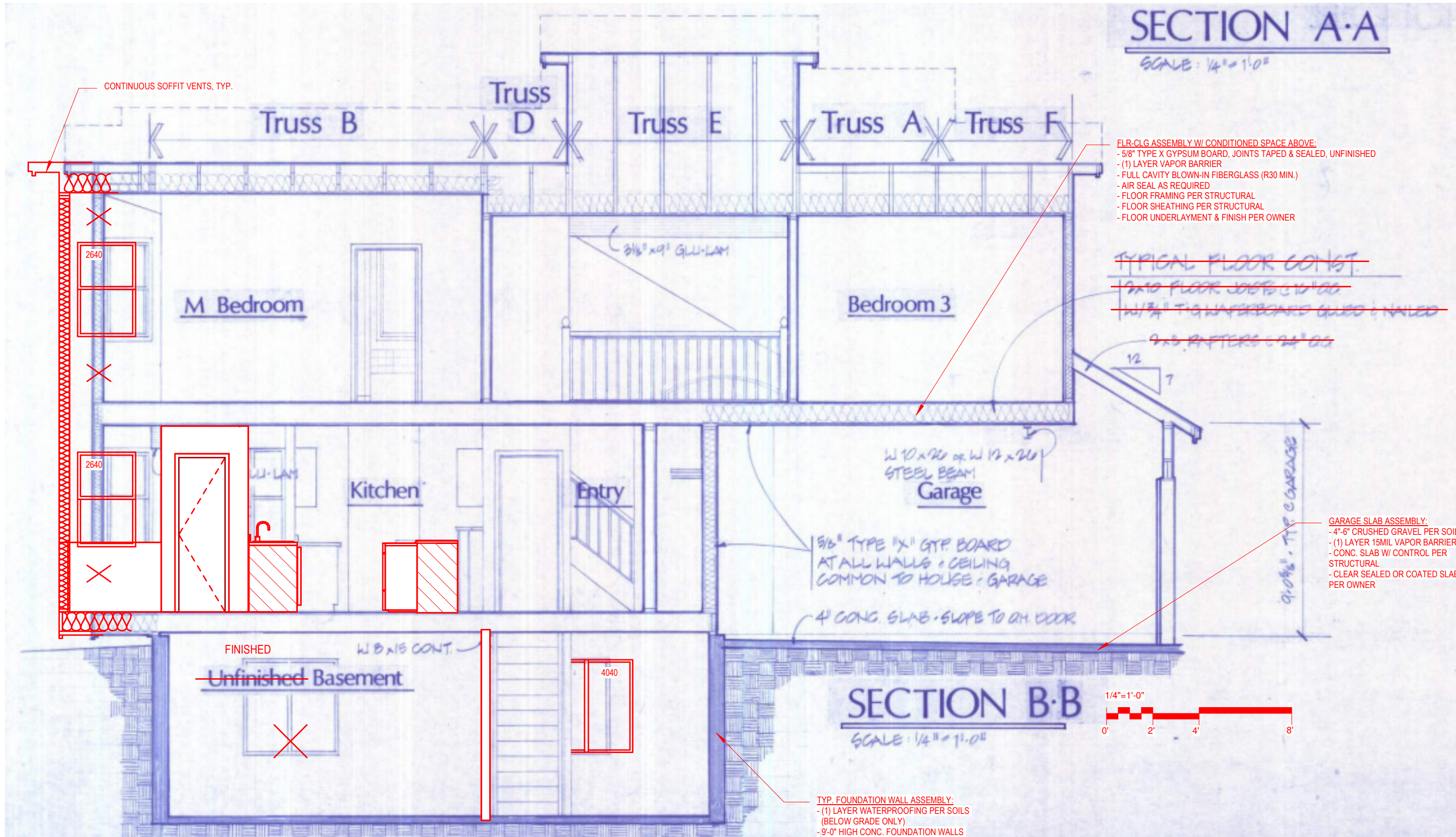
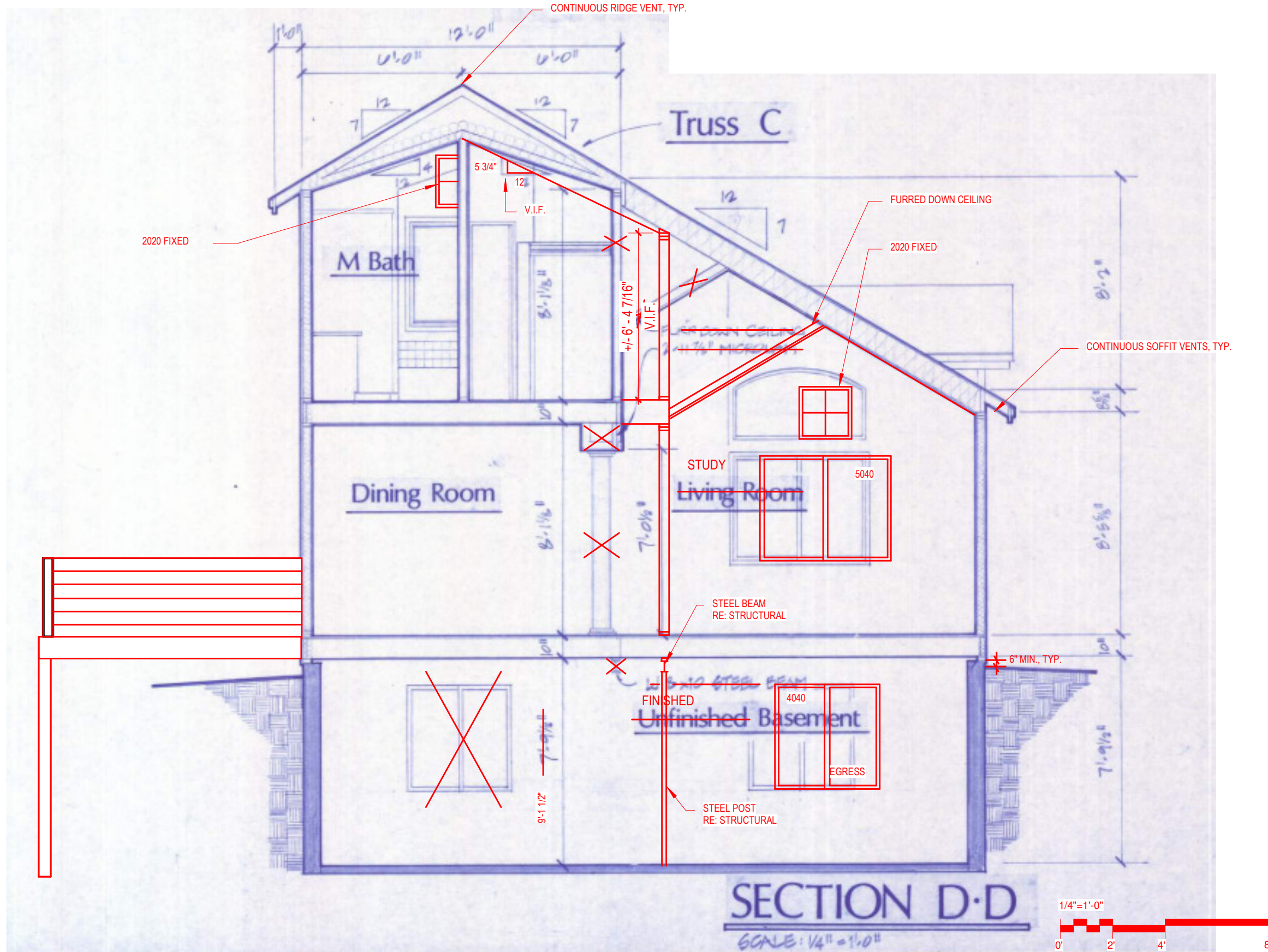
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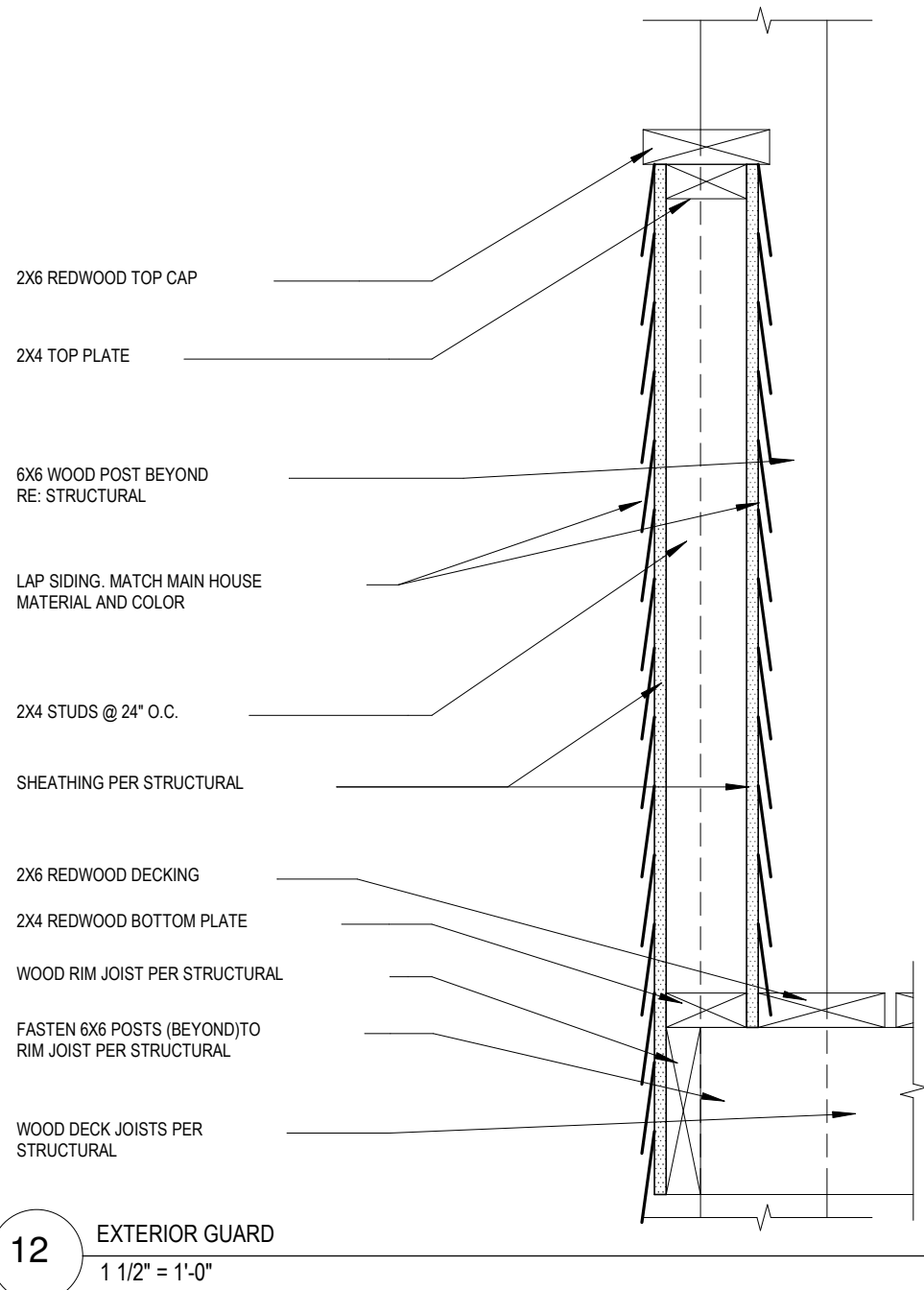
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BUILDING SECTIONS

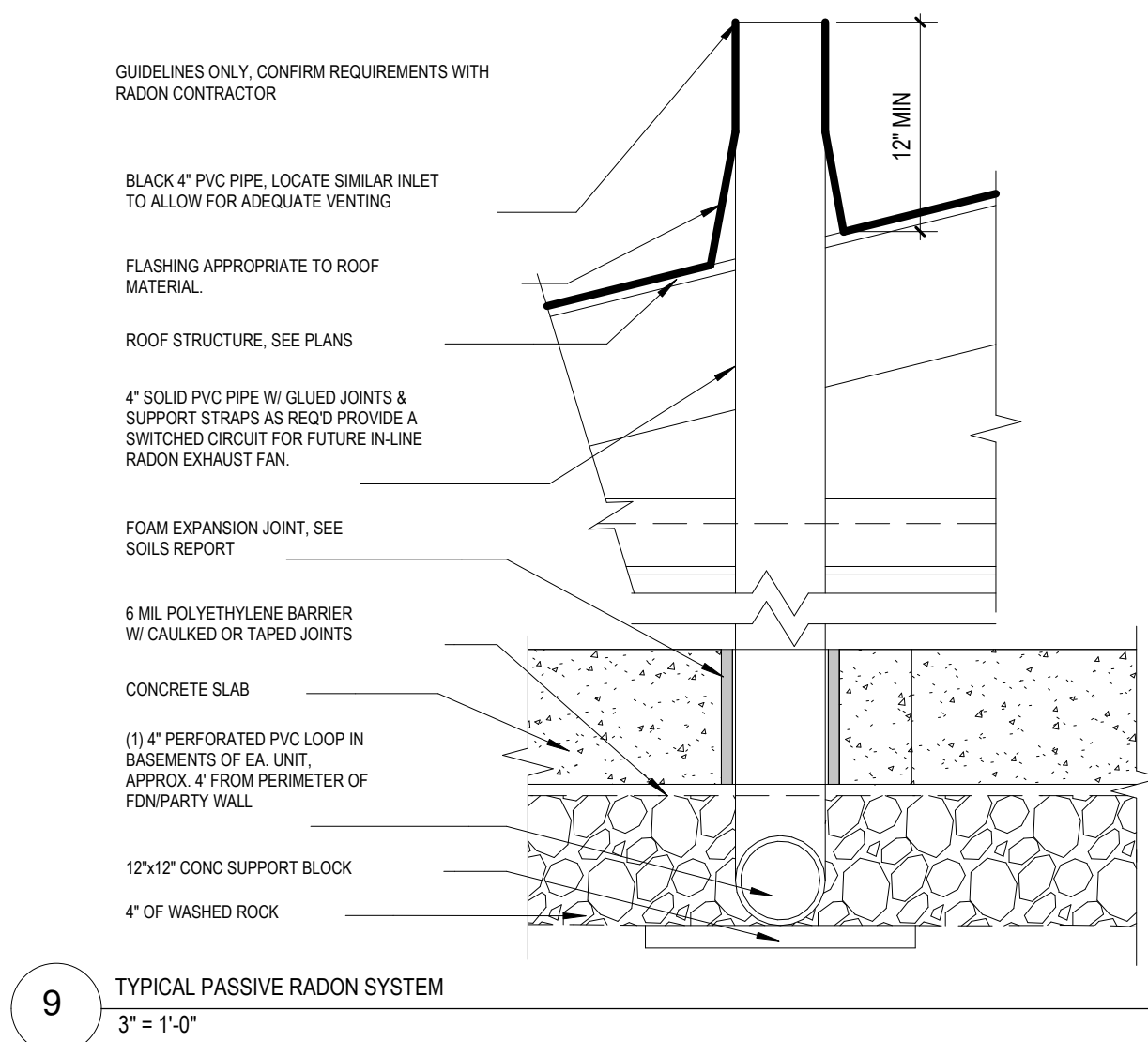
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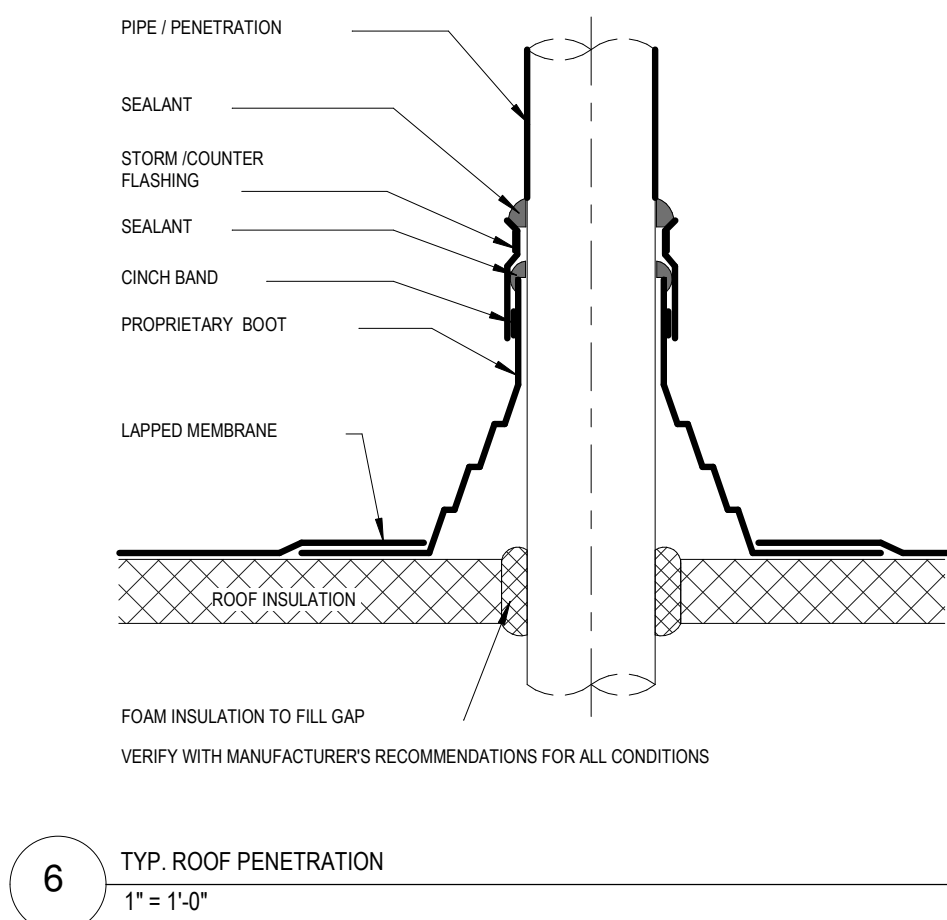
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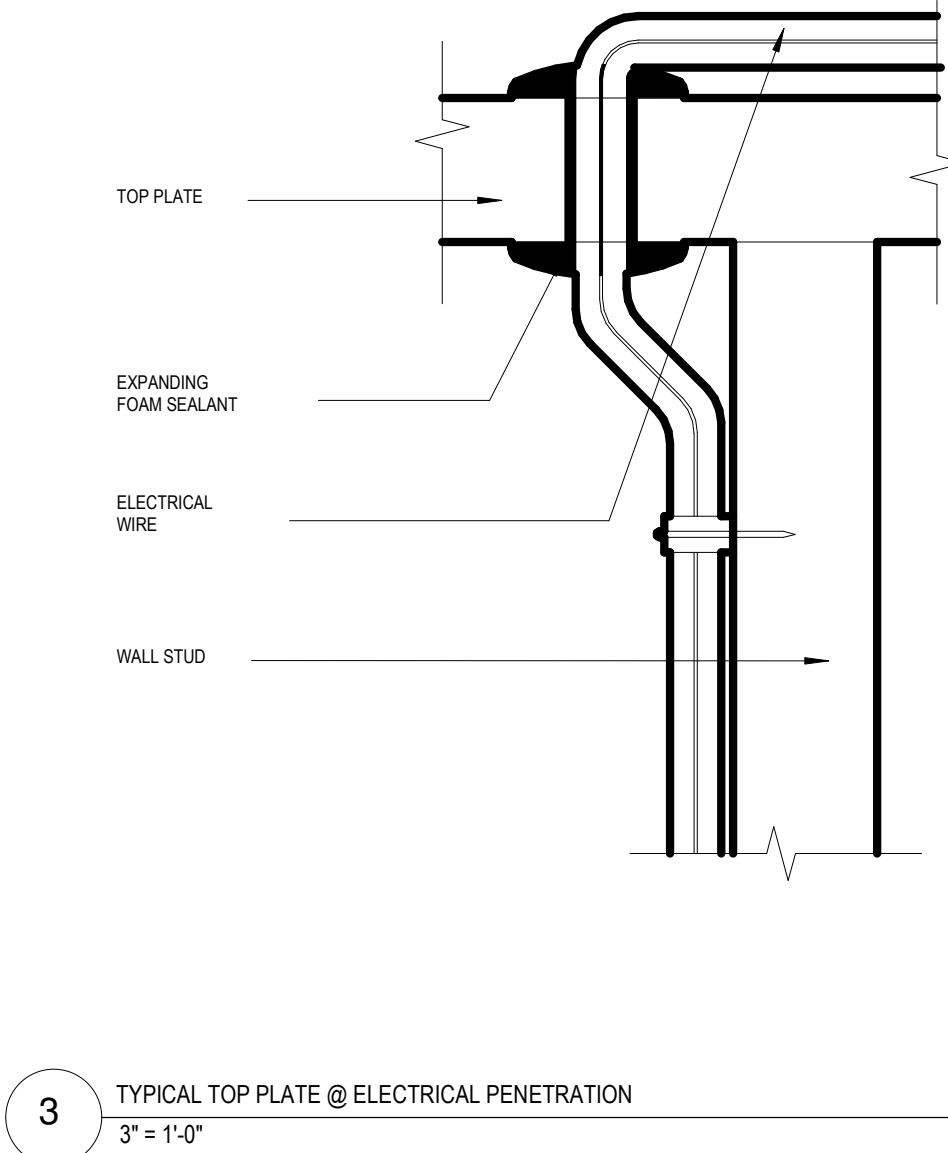
12 EXTERIOR GUARD
1 1/2" = 1'-0"



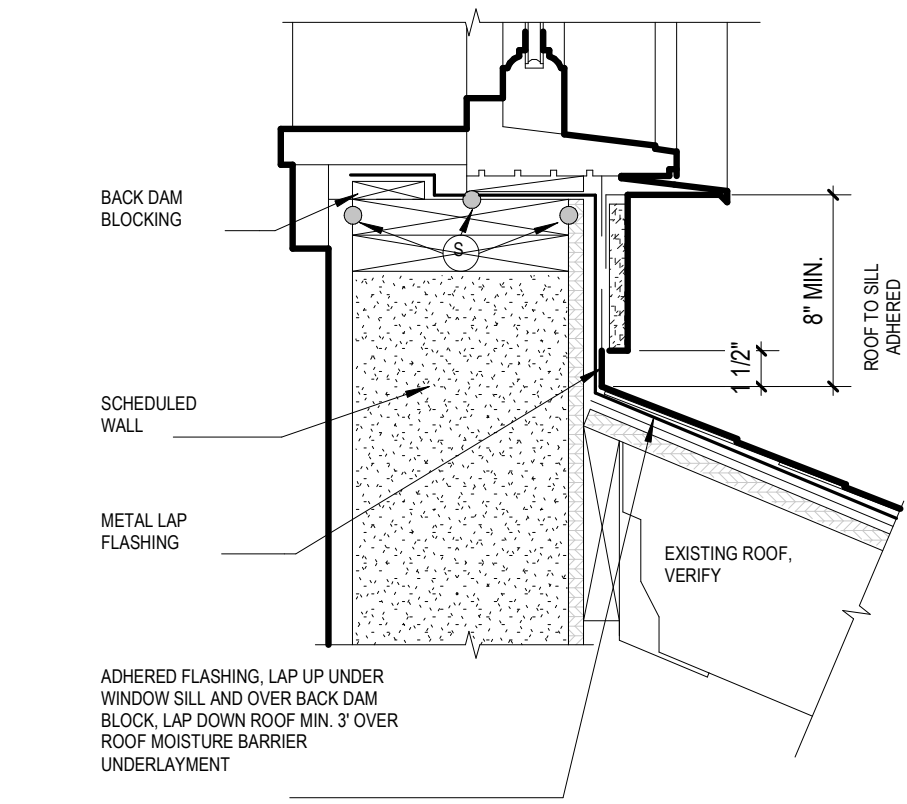
9 TYPICAL PASSIVE RADON SYSTEM
3" = 1'-0"



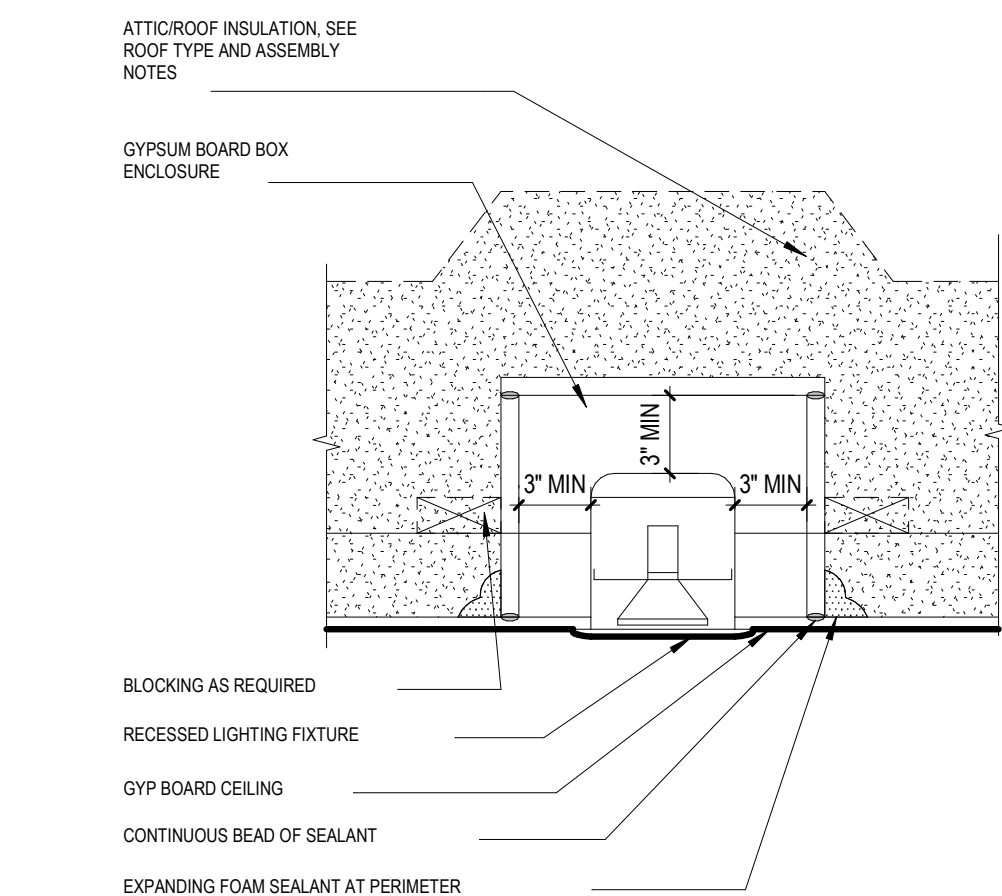
6 TYP. ROOF PENETRATION
1" = 1'-0"



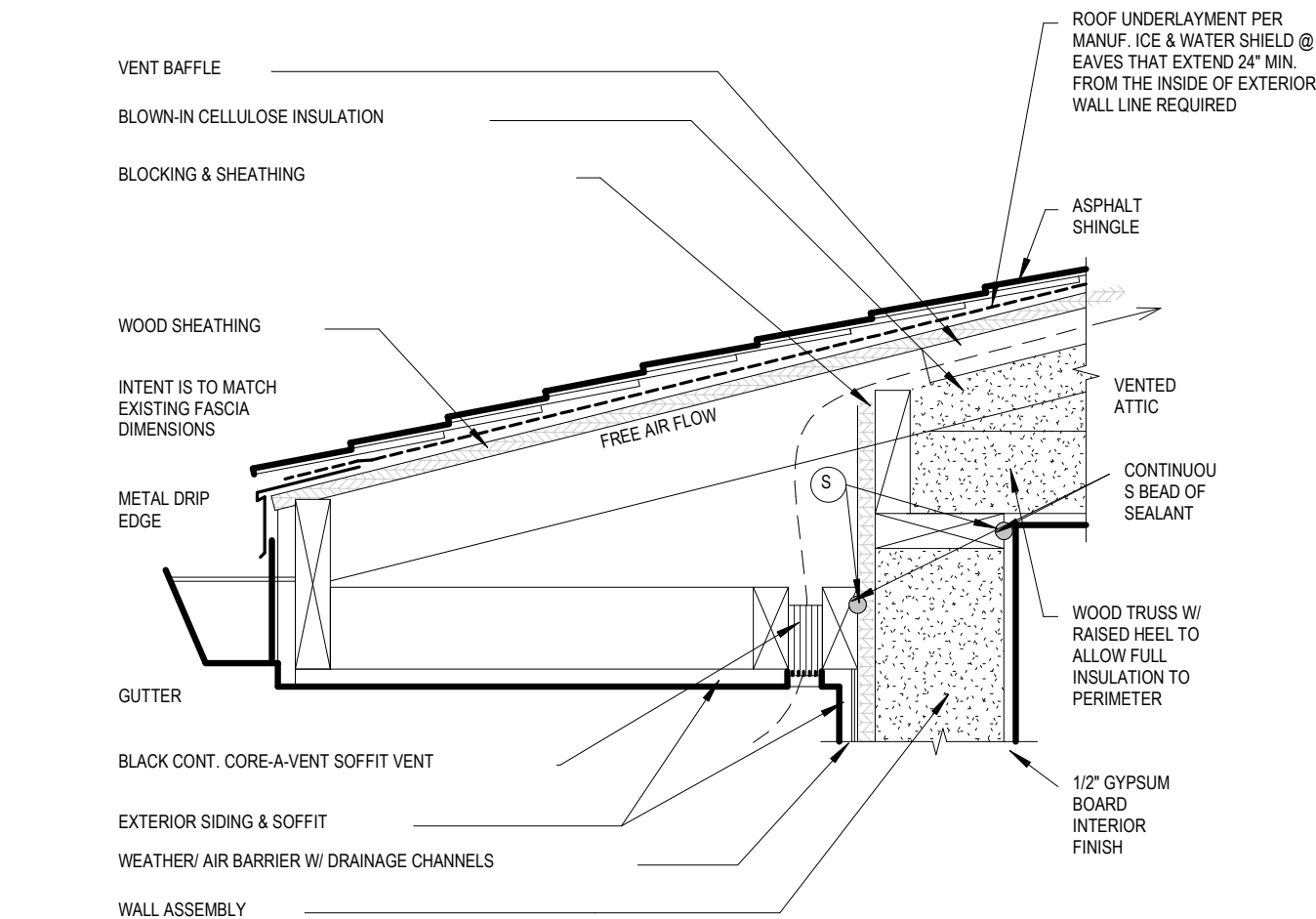
3 TYPICAL TOP PLATE @ ELECTRICAL PENETRATION
3" = 1'-0"



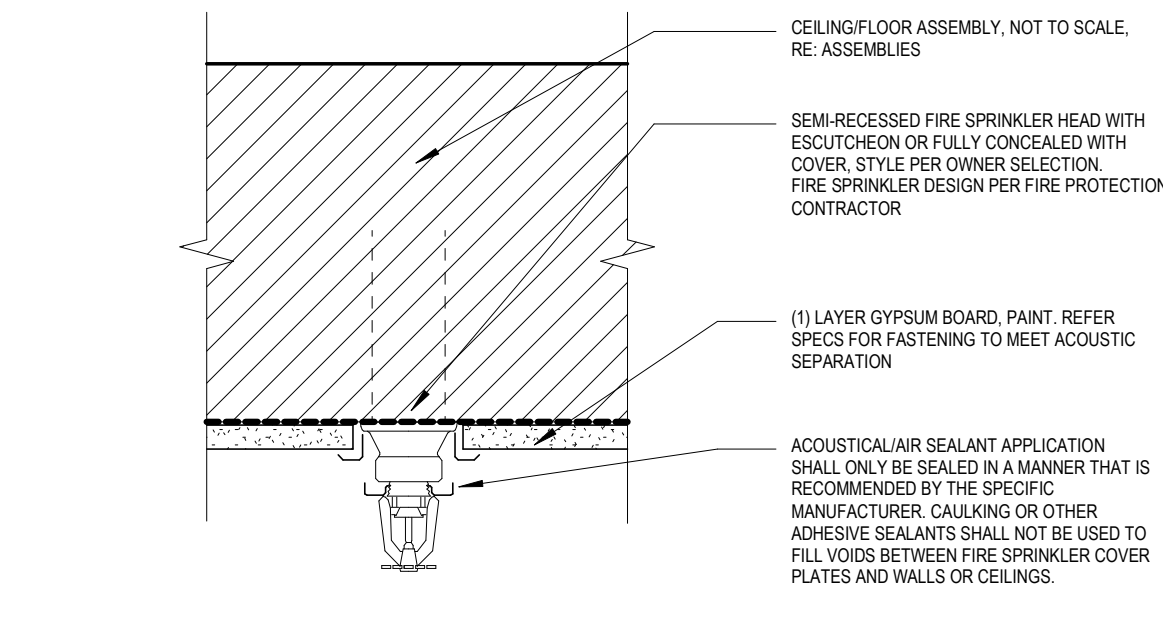
11 TYPICAL WALL/ROOF DETAIL
1 1/2" = 1'-0"



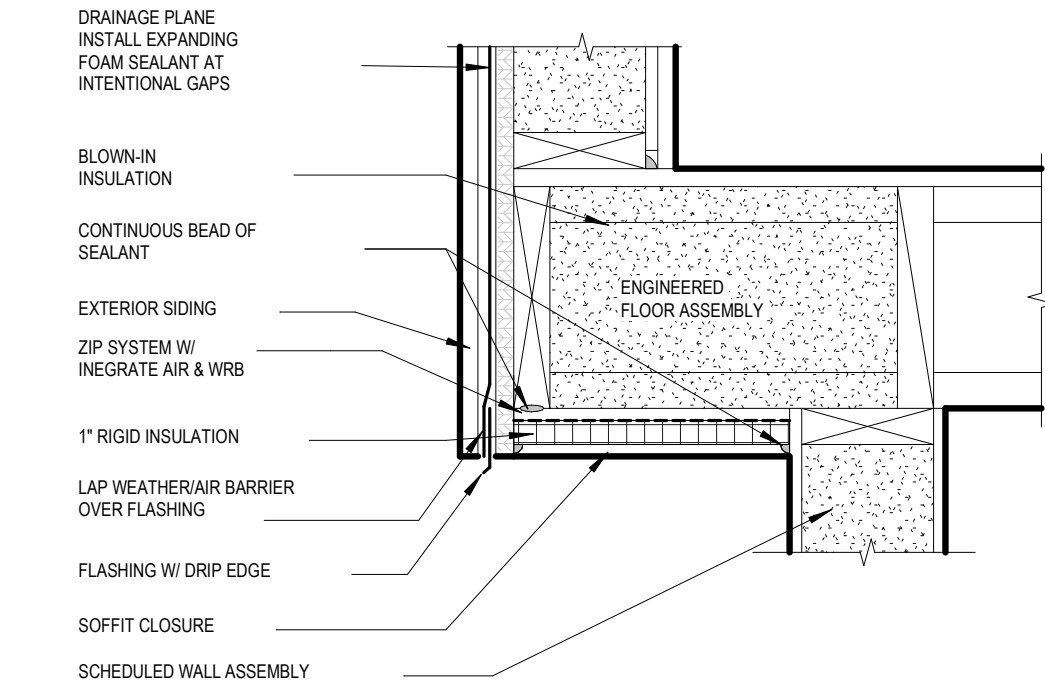
8 TYPICAL AIR SEALING AT RECESSED LIGHTING
1 1/2" = 1'-0"



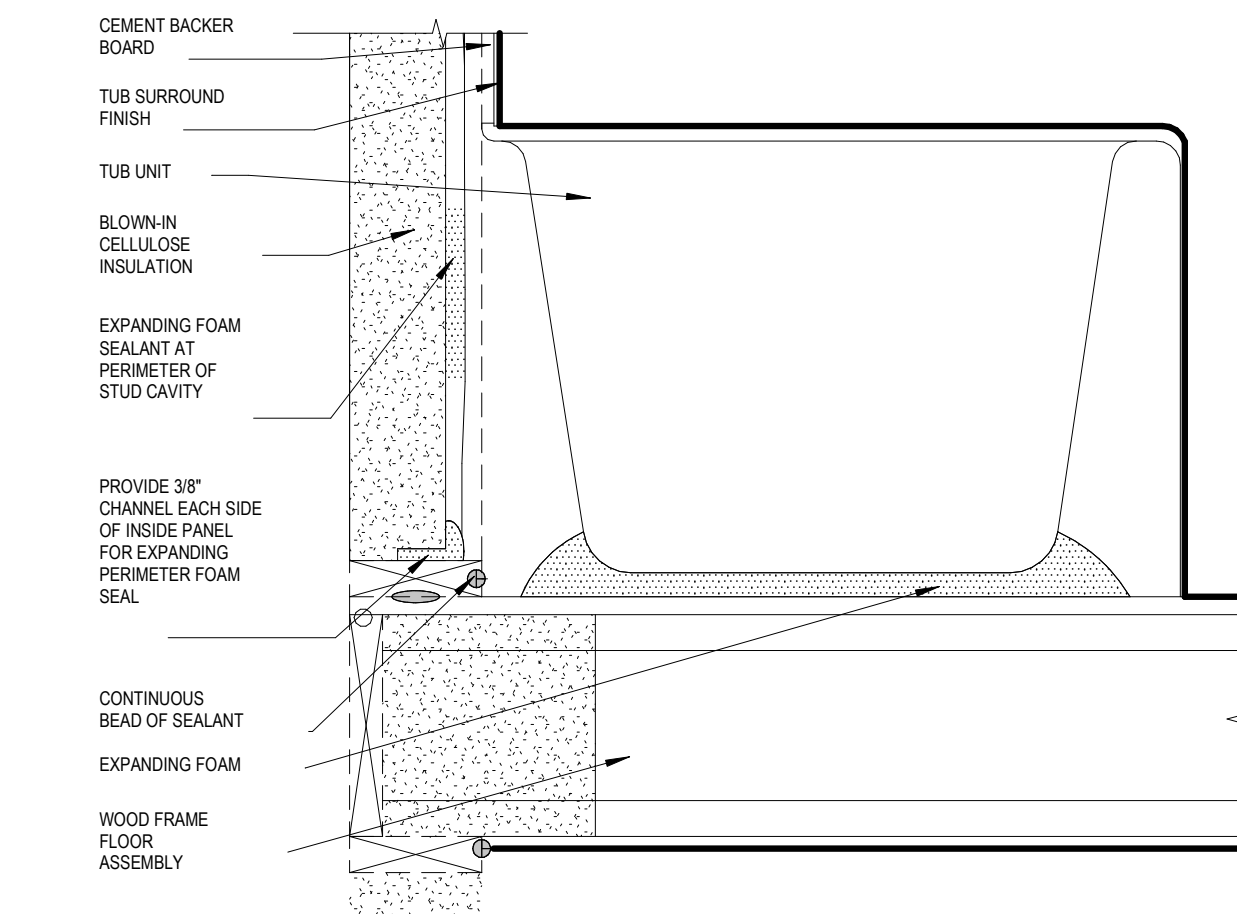
5 TYPICAL ROOF EAVE
1 1/2" = 1'-0"



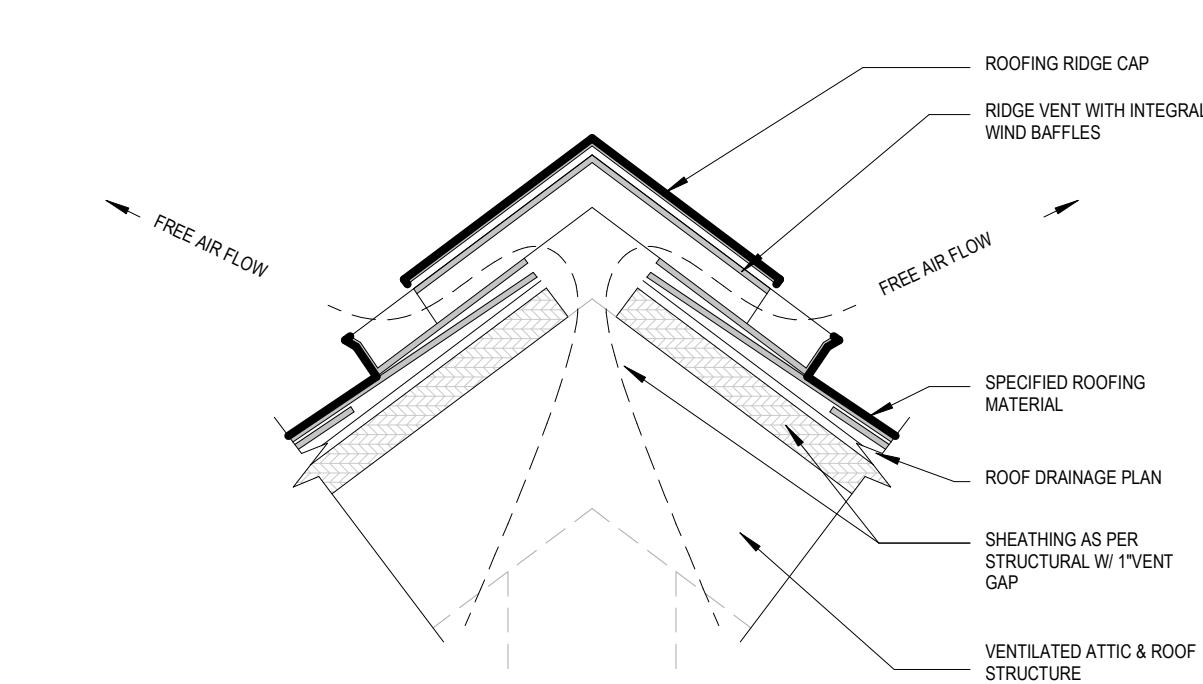
2 FIRE SPRINKLER DETAIL
3" = 1'-0"



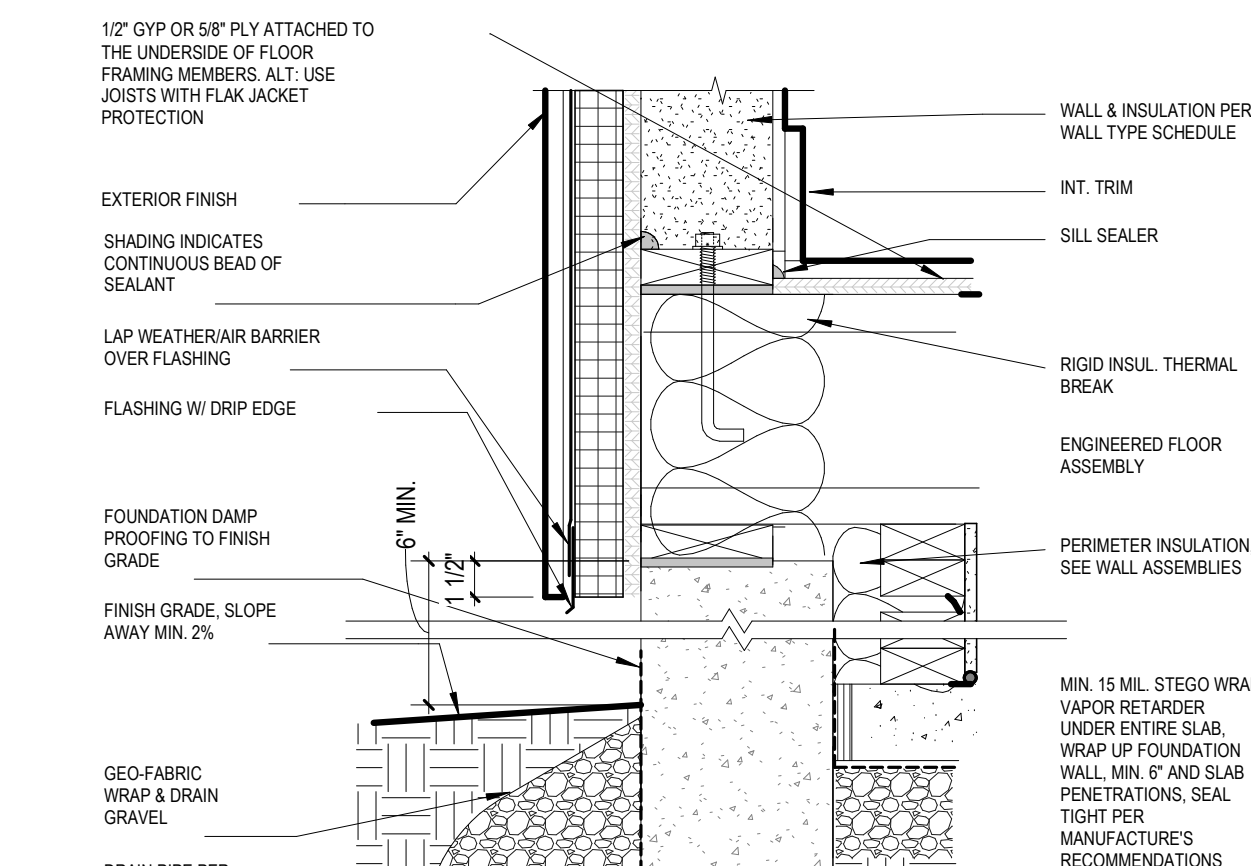
10 TYPICAL INSULATED CANTILEVER FLOOR
1 1/2" = 1'-0"



7 TYPICAL WALL TUB
1 1/2" = 1'-0"



4 TYPICAL RIDGE VENT
3" = 1'-0"



1 TYPICAL BASEMENT/FOUNDATION
1 1/2" = 1'-0"

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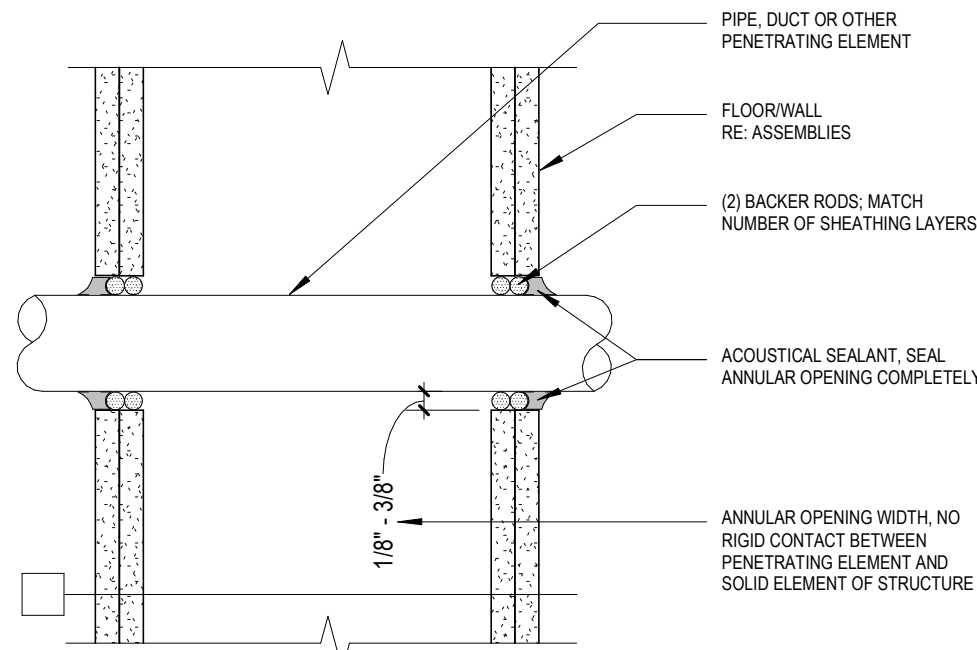
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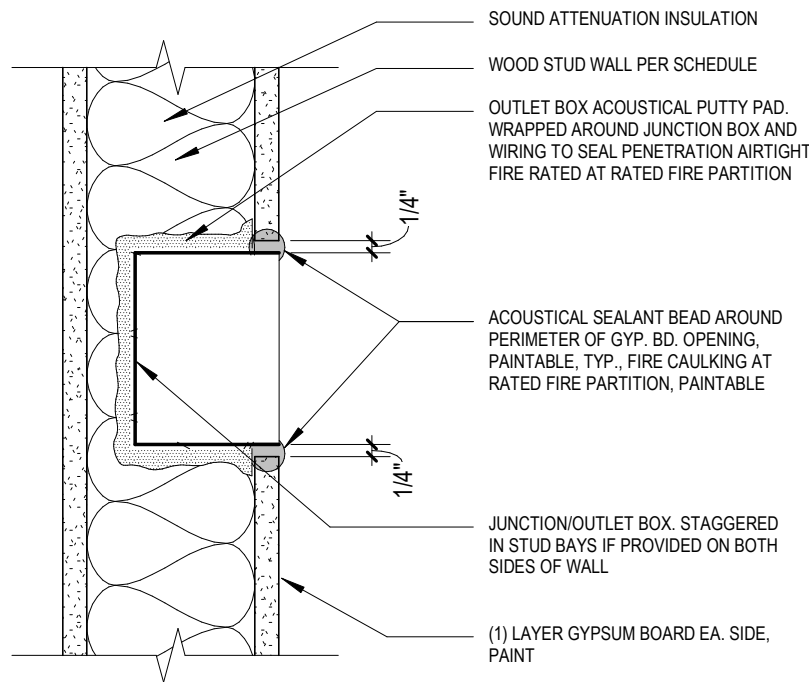
DETAILS

A502

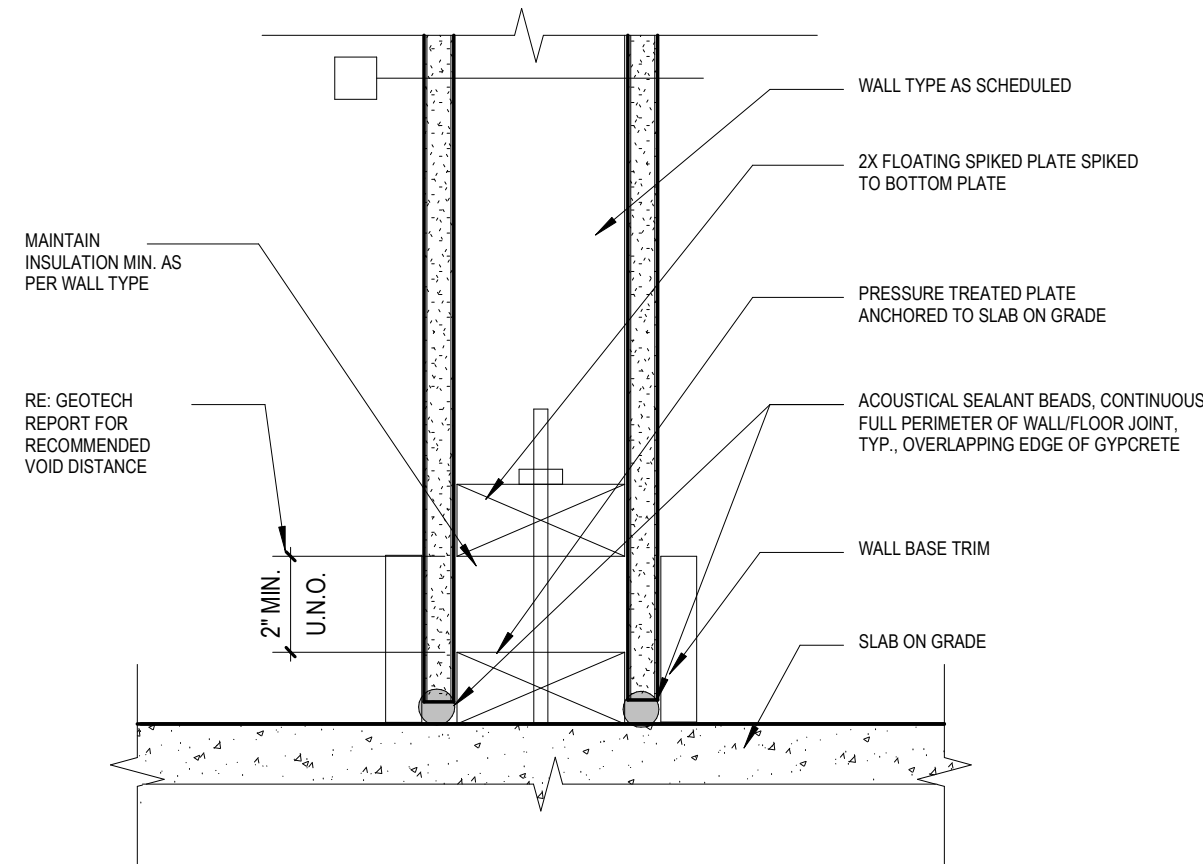


NOTE: FOR FIRE RATED ASSEMBLIES, REFER FIRE STOPPING
SPECS FOR APPROPRIATE FIRE CAULKING SEALANT TO BE USED

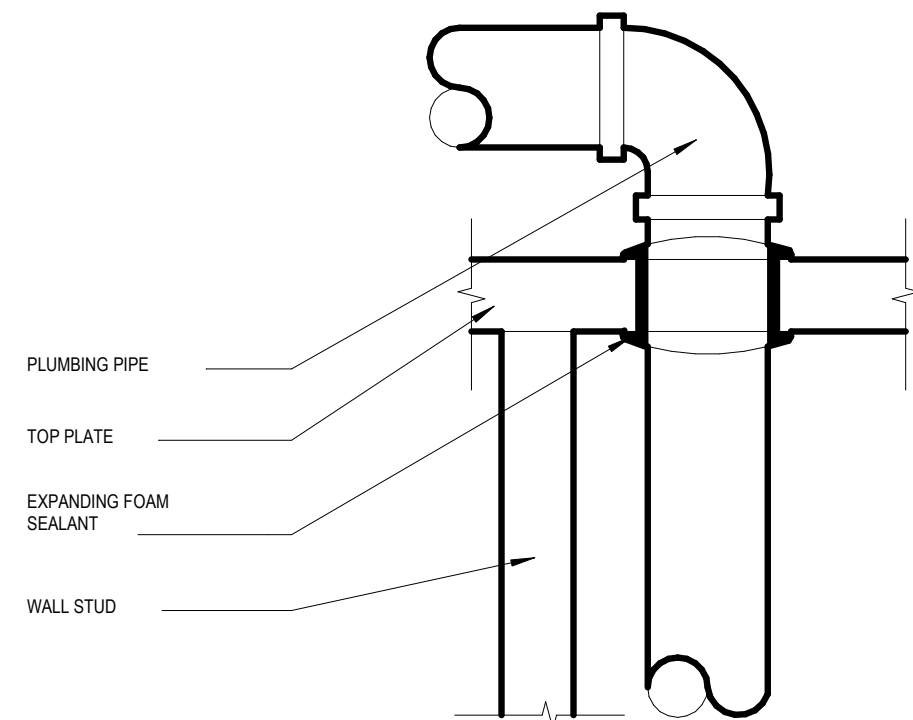
6 ACOUSTICALLY SEALED PARTITION PENETRATION - WOOD FRAME
3" = 1'-0"



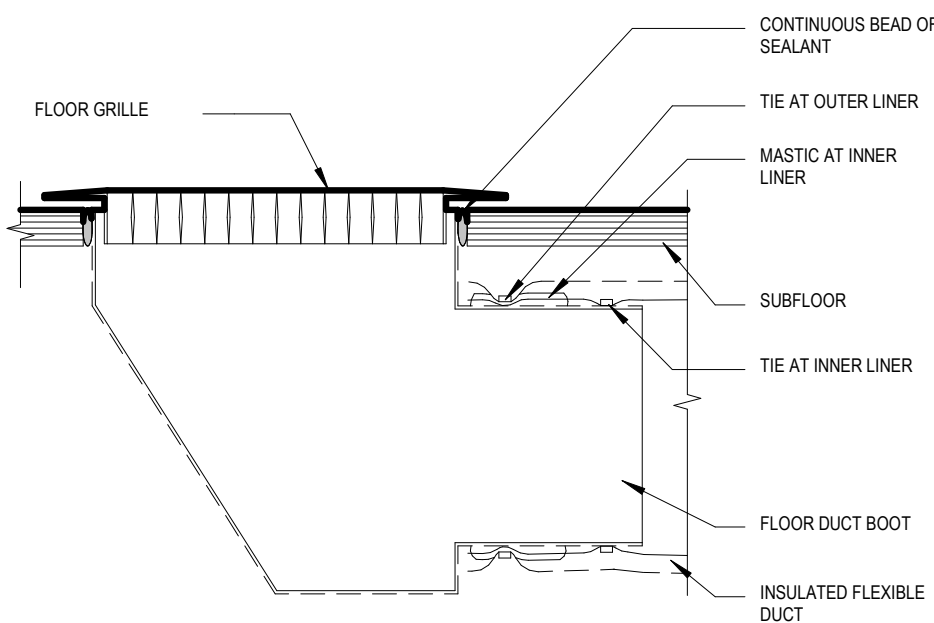
3 OUTLET BOX DETAIL
3" = 1'-0"



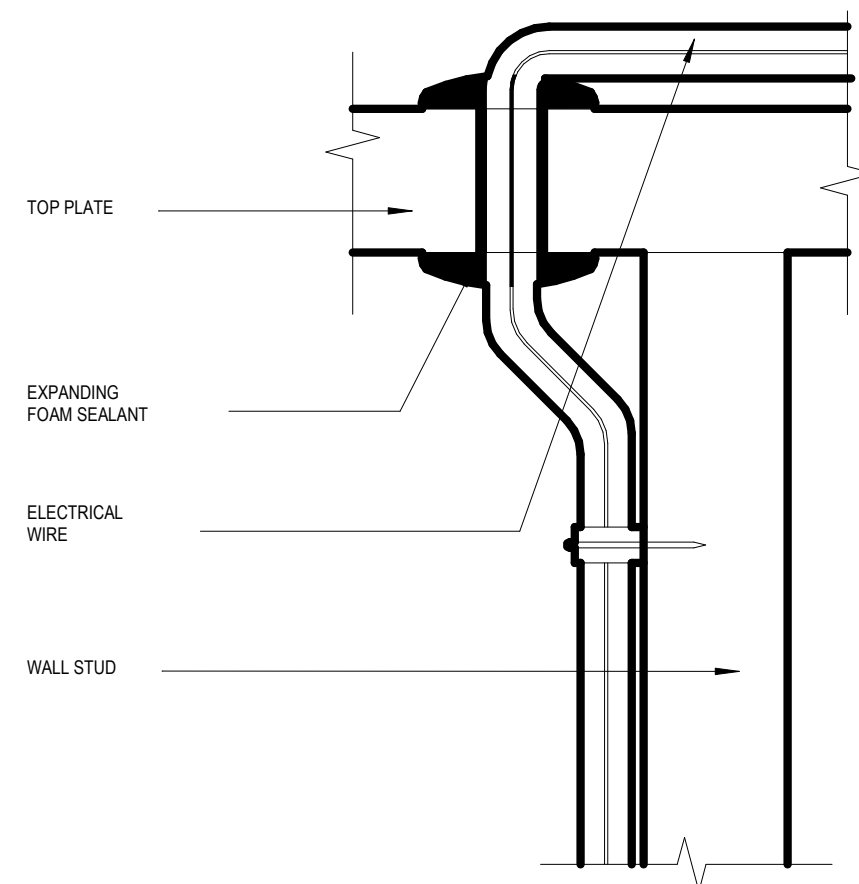
5 NON BEARING INTERIOR PARTITION @ CONC. SLAB ON GRADE - WOOD FRAME
3" = 1'-0"



2 TYPICAL TOP PLATE PIPE PENETRATION
1 1/2" = 1'-0"



4 TYPICAL AIR SEAL @ DUCT BOOT
1 1/2" = 1'-0"



1 TYPICAL TOP PLATE ELECTRICAL PENETRATION
3" = 1'-0"

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WINDOW & DOOR DETAILS

A503

