

ELECTRONIC LAND USE HEARING REQUEST CASE NO. _____

APPLICANT INFORMATION

Firm: Hartronft Associates, p.c.
Contact: Erik Hartronft
Address: 950 Spruce Street, #2A
Louisville, CO 80027
Mailing Address: (same)
Telephone: 303-673-9304
Fax: n/a
Email: erik@hapcdesign.com

OWNER INFORMATION

Firm: Schlageter Properties, LLC
Contact: Stephanie Schlageter
Address: 7534 Brockway Drive
Boulder, CO 80303
Mailing Address: (same)
Telephone: (727) 466-8999
Fax: n/a
Email: stephanie@radiancemedspa.com

REPRESENTATIVE INFORMATION

Firm: (same as applicant)
Contact: Erik Hartronft
Address: _____
Mailing Address: _____
Telephone: _____
Fax: _____
Email: _____

PROPERTY INFORMATION

Common Address: 916 Main Street
Legal Description: Lot 9 (partial) Blk 1
Subdivision Town of Louisville
Area: 4,745 Sq. Ft.

TYPE (S) OF APPLICATION

- ☐ Annexation
- ☐ Zoning
- ☐ Preliminary Subdivision Plat
- ☐ Final Subdivision Plat
- ☐ Minor Subdivision Plat
- ☐ Preliminary Planned Unit Development (PUD)
- ☒ Final PUD
- ☐ Amended PUD
- ☐ Administrative PUD Amendment
- ☐ Special Review Use (SRU)
- ☐ SRU Amendment
- ☐ SRU Administrative Review
- ☐ Temporary Use Permit: _____
- ☐ CMRS Facility: _____
- ☐ Other: (easement / right-of-way; floodplain; variance; vested right; 1041 permit; oil / gas production permit)

I hereby request the public hearing(s) on this application be scheduled to be conducted by Electronic Participation in accordance with the attached Resolution No. 30, Series 2020, as adopted by the City Council on April 7, 2020, and in accordance with Resolution No. 38, Series 2020, as adopted by City Council on June 2, 2020 if such hearing(s) can be scheduled during a time period when in-person meetings are not being held due to a health epidemic or pandemic. I acknowledge that holding a quasi-judicial hearing by Electronic Participation may present certain legal risks and involves an area of legal uncertainty, and that having this application heard at a meeting held by Electronic Participation is optional and undertaken at my own risk. I also understand that in-person meetings are preferred for quasi-judicial hearings, and that even if electronic hearing(s) are scheduled, this application will be heard at an in-person meeting if in-person meetings have resumed by the scheduled hearing date(s). I further agree to defend and indemnify the City of Louisville in any action that may arise out of, or in connection with, conducting the hearing by Electronic Participation.

SIGNATURES & DATE

Applicant: _____
Print: Hartronft Associates, p.c.
Owner: S. S. _____
Print: Stephanie Schlageter
Representative: _____
Print: Erik Hartronft

Digitally signed by J. Erik Hartronft
DN: cn=J. Erik Hartronft, o=Hartronft
Associates, p.c., ou=_____
email=erik@hapcdesign.com, c=US
Date: 2022.11.17 10:58:31 -0700

Digitally signed by J. Erik Hartronft
DN: cn=J. Erik Hartronft, o=Hartronft
Associates, p.c., ou=_____
email=erik@hapcdesign.com, c=US
Date: 2022.11.17 10:58:27 -0700

CITY STAFF USE ONLY

- ☐ Electronic Hearing Approved: _____
- ☐ Date(s) of Hearing(s): _____



**HARTRONFT
ASSOCIATES**
A Professional Corporation

*Planning
Architecture
Interior Design*

950 Spruce Street, #2A
Louisville, CO 80027
TEL: 303.673.9304
FAX: 303.673.9319

Mr. Rob Zuccaro, Planning & Building Safety Director
City of Louisville, Colorado
749 Main Street
Louisville, CO 80027

14 February 2023

Re: 916 Main St. ĩ Radiance Medspa
Final PUD

Rob,

We are pleased to submit the attached Final PUD for the redevelopment of 916 Main Street, which consists of modification to the existing storefront of an existing commercial building at 916 Main Street. This application includes the use of the same finish materials on the east alley elevation of the building and miscellaneous minor site improvements.

The redevelopment of 916 Main is intended to upgrade a 72 year old existing stucco facade with small windows to a more pedestrian retail friendly presentation that features larger windows and upgraded level of finish. This renovation will also provide an accessible entrance that meets ADA/ANSI regulations. The storefront will be maintained in the same line as the original front wall which aligns with the storefront walls of the adjacent commercial storefronts.

The proposed storefront is designed to be consistent with the desired character and development concepts set forth in the Downtown Design Guidelines for the Commercial Core. At approximately 20'9" tall, the one story façade is in scale with other one story buildings along Main Street and provides a variety of building heights along the street. The design evokes a historic sensibility in the massing, materials and proportions of the façade typical of western false-front architecture. It is a rectangular composition that is common in traditional commercial buildings. This design provides a flat top line to the building in place of the stair step parapet of the original building.

The materials proposed are appropriate to the downtown core as expressed in the Design Guidelines. The exterior finish material is stained tongue and groove wood siding. The entrance canopy is wood. There are touches of steel detailing in the sign band and the parapet cap. The colors of the materials are intended to be subdued and elegant to reinforce the business brand for the owner/operator.

The storefront has solid precast concrete panels of a stone texture and color below large display windows. This base provides a durable material at the walkway level and visually anchors the enlarged display windows above. These display windows have intermediate mullions to break down the scale and provide more detail.

Above the door there is a traditional sign band and the parapet is topped by a decorative steel cap which is an interpretation of a traditional cornice. The main entry door is recessed and covered by a wood canopy that provides a sense of shelter and invitation from the pedestrian walkway directly in front of the building.

The major aspects of this proposed redevelopment are as follows:

- Revitalized storefront and building design that is cohesive with the Downtown Design Guidelines and adjacent Main Street vocabulary.
- Creation of a wheelchair accessible entrance that is ADA compliant. Creating a more gracious, welcoming recessed entry.
- Upgrade of existing east alley elevation using the same materials as the Main Street elevation.

Thank you for your consideration of this request for approval of the PUD attached herein. Please let us know if you have any questions regarding this proposal.

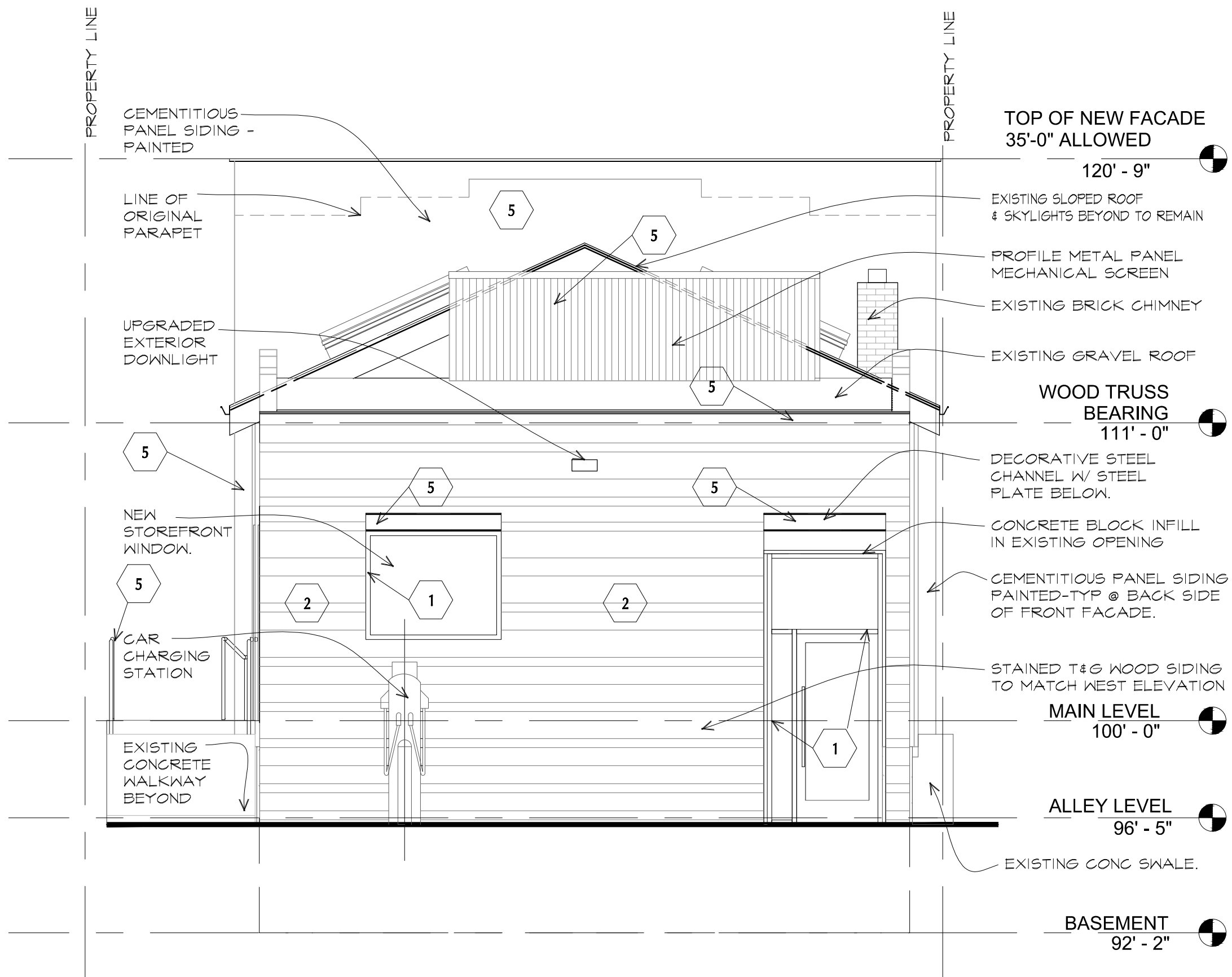
Sincerely,



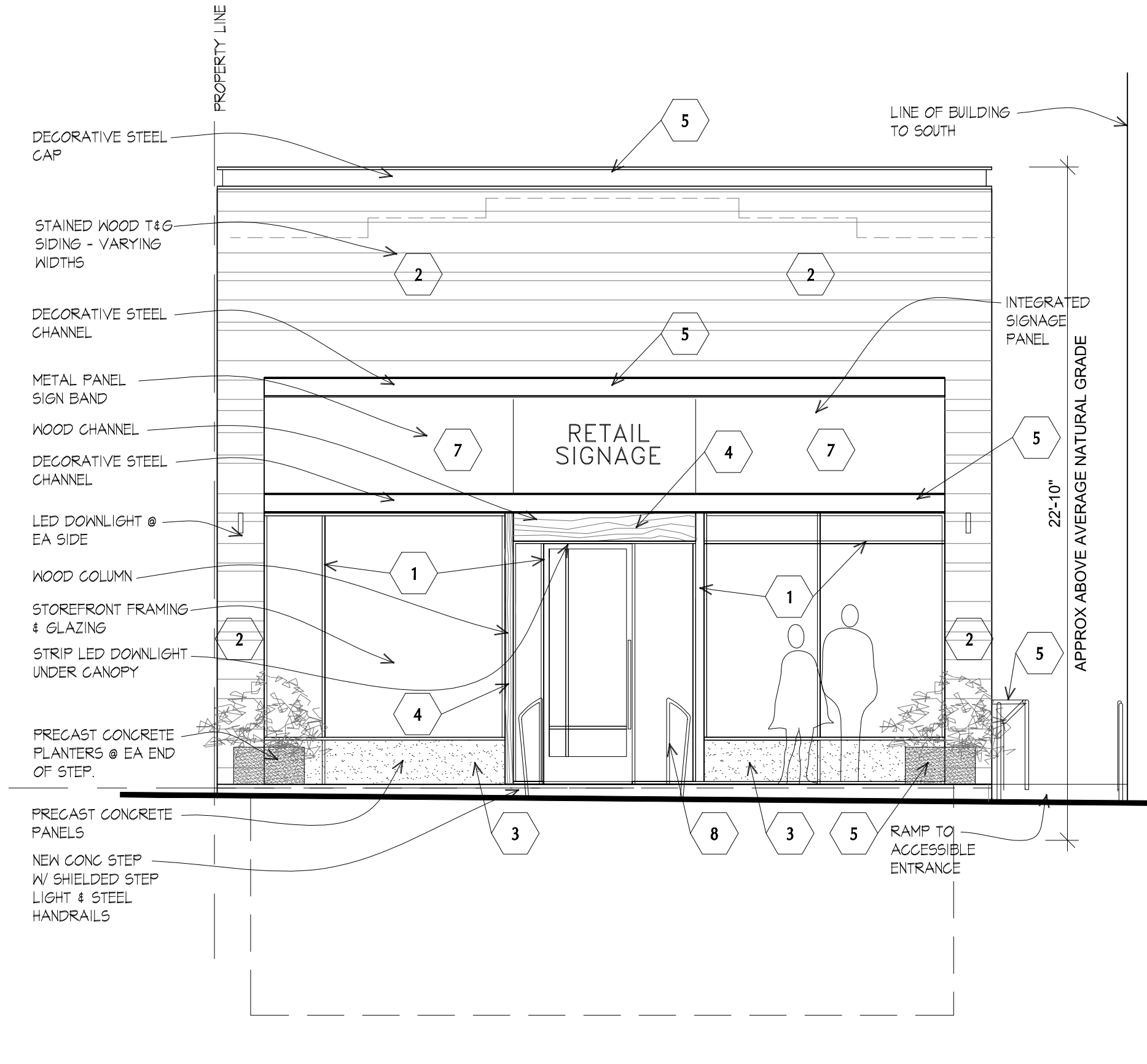
J. Erik Hartronft, AIA, President
Hartronft Associates, p.c.

916 MAIN STREET RENOVATION
LOUISVILLE, CO 80027

FINAL PUD SUBMITTAL - FEBRUARY 15, 2023



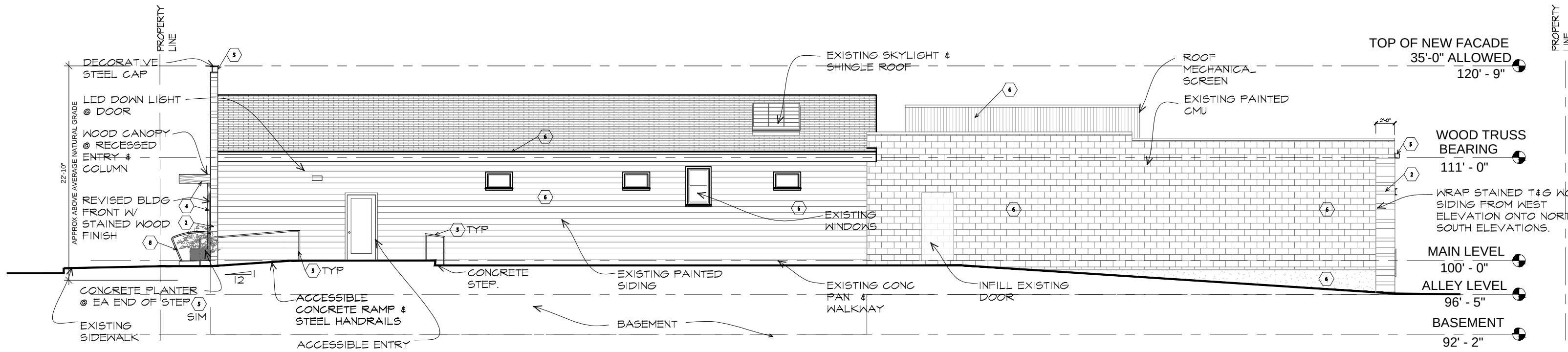
3 BUILDING ELEVATIONS - EAST ELEVATION
A1 SCALE: 1/4" = 1' - 0"



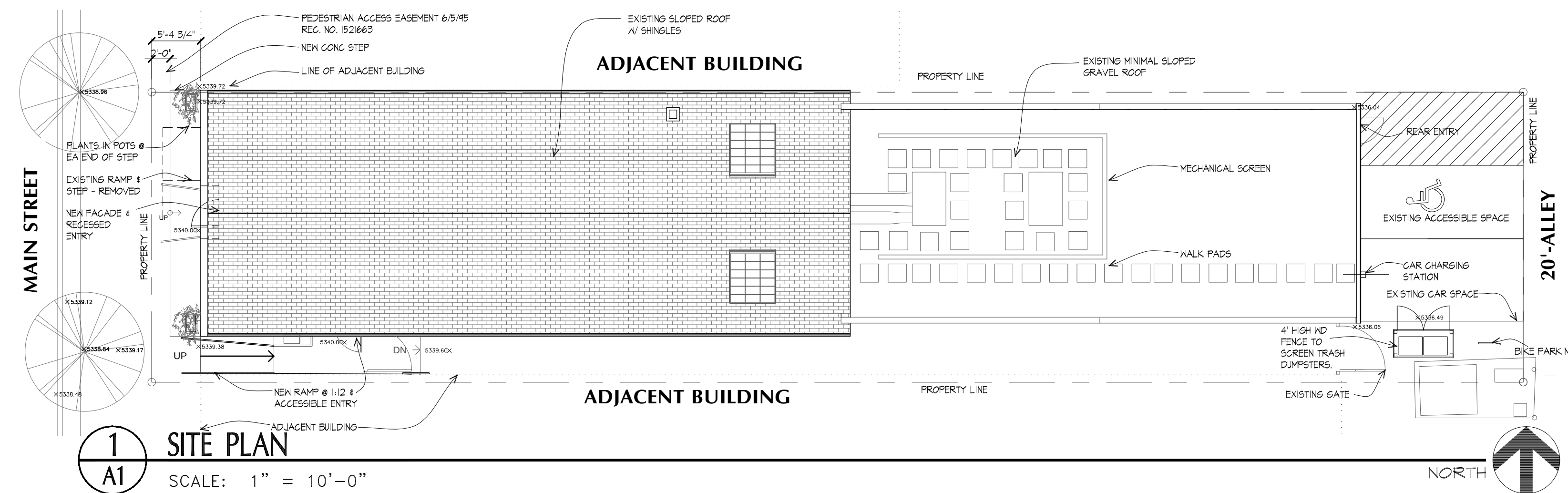
4 BUILDING ELEVATIONS - WEST ELEVATION
A1 SCALE: 1/4" = 1' - 0"



5 CONCEPTUAL WEST ELEVATION FROM MAIN ST.
A1 SCALE: NTS



2 SOUTH ELEVATION - (No modifications at North Elevation)
A1 SCALE: 1" = 10' - 0"



1 SITE PLAN
A1 SCALE: 1" = 10' - 0"

PROJECT DATA

PROJECT OWNER: SCHLAGETER PROPERTIES, LLC
STEPHANIE SCHLAGETER
7534 BROCKWAY DRIVE
BOULDER, CO 80303
727-466-8999

ARCHITECT / PLANNER: HARTRONFT ASSOCIATES, P.C.
950 SPRUCE STREET, #2A
LOUISVILLE, CO 80027
303-673-9304

PROJECT LOCATION: 916 MAIN ST. LOUISVILLE, COLORADO

ZONING: CC - COMMERCIAL COMMUNITY
OVERLAYS: DOWNTOWN CORE AREA; CENTRAL BUSINESS DISTRICT

APPLICABLE STANDARDS: LOUISVILLE MUNICIPAL CODE
DESIGN HANDBOOK FOR DOWNTOWN LOUISVILLE
DOWNTOWN LOUISVILLE FRAMEWORK PLAN
DOWNTOWN LOUISVILLE SIGN MANUAL

PROPOSED USES: ANY APPROVED USES INCLUDING RETAIL, RESTAURANT, PROFESSIONAL OFFICES, ETC. (SEE MUNI CODE)

LEGAL DESCRIPTION: LOT 9 LESS THE NORTH 15 FEET, BLOCK 1 TOWN OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

PROJECT DESCRIPTION: THE PROJECT SCOPE IS TO REDEVELOP THE EXISTING COMMERCIAL BUILDING AT 916 MAIN STREET TO INCLUDE INTERIOR MODIFICATIONS AND NEW FACADE TREATMENT ON MAIN STREET. MINOR MODIFICATIONS ARE PROPOSED AT ALLEY FACADE.

ZONE DISTRICT: CC - Commercial Community
Downtown Louisville

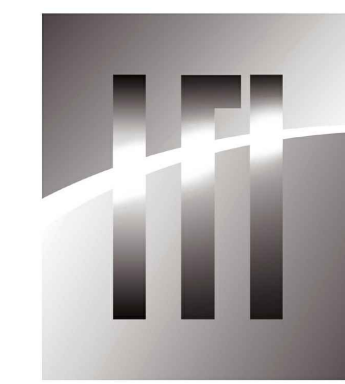
LOT AREA: 4,745 sf
TOTAL FLOOR AREA: 3,877 sf Existing, 3,877 sf Proposed - No new area added to building.

PROJECT INFORMATION: Development Plan - N/A
Utility Plan - N/A
Grading & Drainage Plan - N/A
Landscape Plan - N/A
One tenant occupies entire building.

SIGNATURES

OWNERSHIP SIGNATURE BLOCK By signing this PUD, the owner acknowledges and accepts all the requirements and intent set forth in this PUD. Witness my/our hand(s) seal(s) this ____ day of _____, 20____.	CLERK AND RECORDER CERTIFICATE (COUNTY OF BOULDER, STATE OF COLORADO) I hereby certify that this instrument was filed in my office at ____ o'clock, ____ M., this ____ day of _____, 20____, and is recorded in Plan File _____. Fee _____ paid _____ Reception _____. Owner Name and Signature _____ Owner Name and Signature _____ Notary Name (print) _____ (Notary Seal) Notary Signature _____ My Commission Expires _____	CITY COUNCIL CERTIFICATE Approved this ____ day of _____, 20____ by the City Council of the City of Louisville, Colorado. Resolution No. _____ Series _____ (City Seal) Mayor Signature _____ City Clerk Signature _____
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VICINITY MAP



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950 Spruce Street, #2A
Louisville, CO 80027
TEL: 303.673.9304
FAX: 303.673.9319

916 MAIN STREET
RENOVATION
PUD
916 MAIN STREET, LOUISVILLE, CO

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ISSUE:

PUD DATE: 02.14.23

DRAWN BY: HAPC

REVIEWED BY: HAPC

PROJECT #: 2251.20

REVISIONS:

No.	Description	Date

DRAWING TITLE:
SITE PLAN
ELEVATIONS

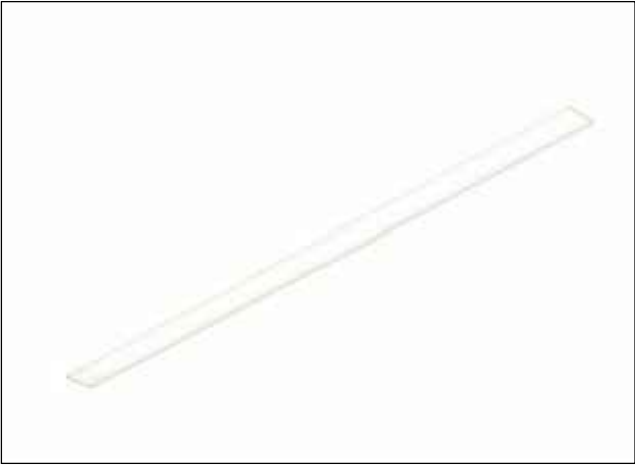
A1

Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Filename	Lumen Multiplier	Light Loss Factor	Total Lamp Lumens	Wattage
	M1	2	Lithonia Lighting	WDGE2 LED P2 30K 80CRI T1S	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, TYPE 1 SHORT OPTIC	WDGE2_LED_P2_30K_80CRI_T1S.ies	1	1	1886	18.9615
	J	1	Coronet Inc.	CRT1906131633-012, Model: LSR2 LED 4FT 3500K mod to 300lm/ft	Linear Luminaire	LSR2-LED-4FT-3500K-LOW.ies	0.64	1	1202	14
	L	24	kelix		uni tl 0 100	UNI-TL-O-100-30K-24V-NA-IESNA2002-1FT (1).ies	1	1	126	1.12329
	K	2	BETA-CALCO, INC. TORONTO, ONTARIO	RARQ1W01-BA75-CR80-CTA40	BETA-CALCO RAZER RD LED LUMINAIRE WITH PRISMATIC DOWNLIGHT LENS ANBA75-CR80-CLEAR UPLIGHT LENS	RARQ1W01-BA75-CR80-CTA40.ies	1	1	480	6.8

M1



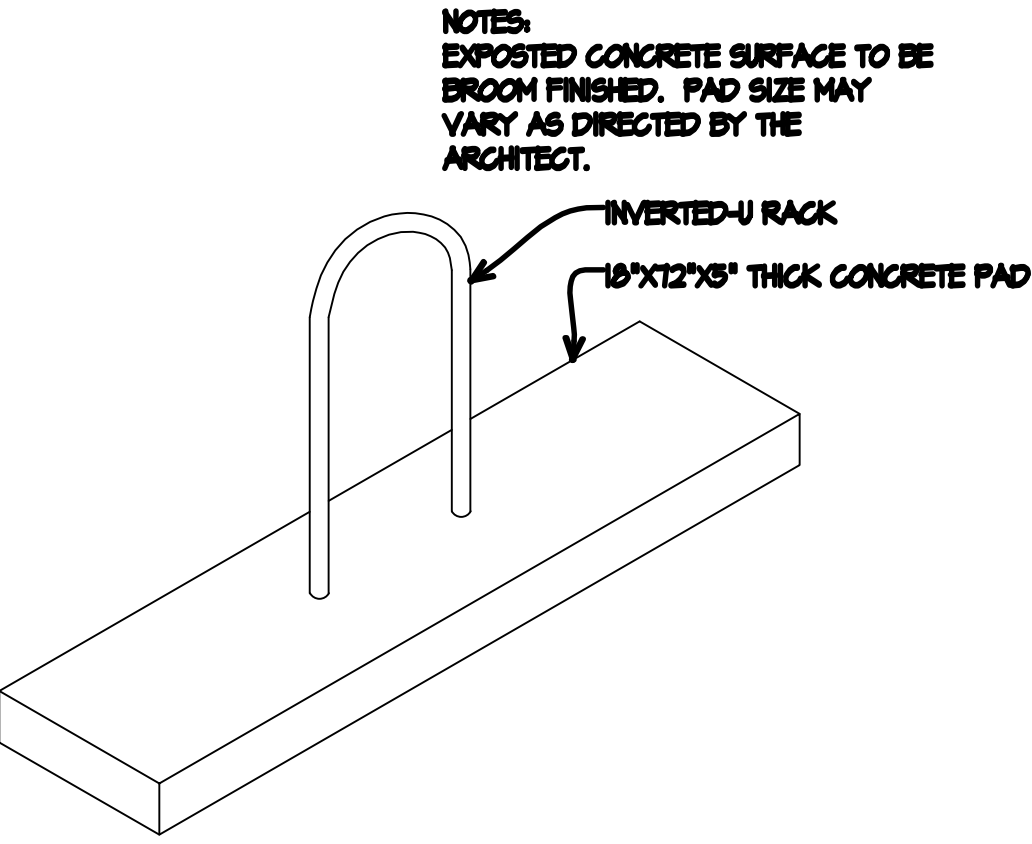
J



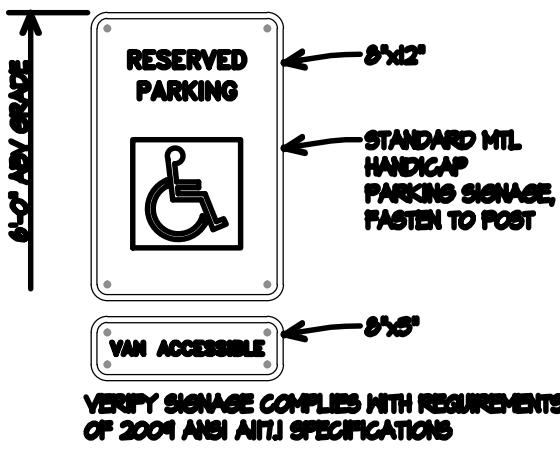
L



K

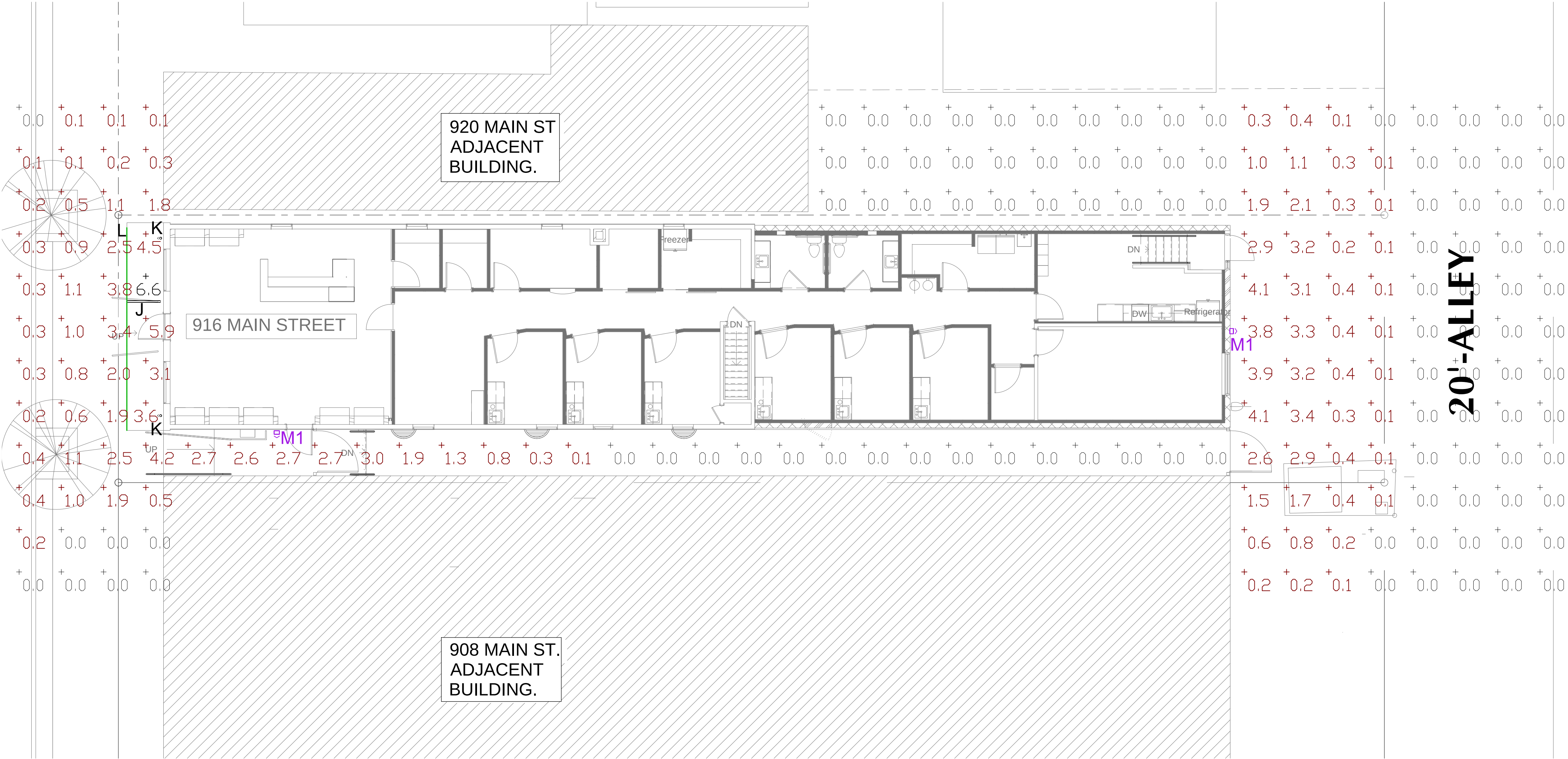


3
A2 BIKE RAMP
SCALE: NTS



2
A2 HC SIGN
1"=1'-0"

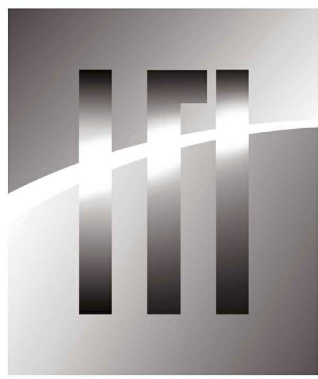
MAIN STREET



1
A2 PHOTOMETRIC PLAN
SCALE: 1/8" = 1'-0"



916 MAIN STREET
RENOVATION
PUD
916 MAIN STREET, LOUISVILLE, CO



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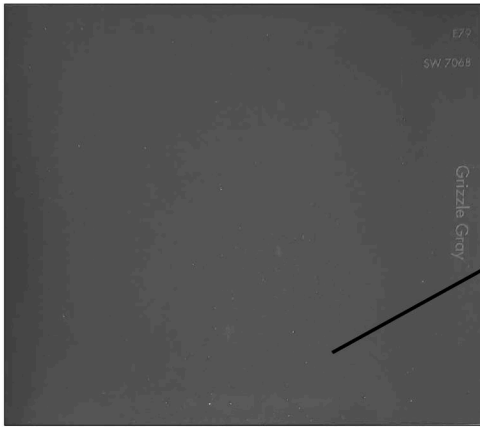
ISSUE:
PUD
DATE:
02.14.23
DRAWN BY:
HAPC
REVIEWED BY:
HAPC
PROJECT #:
2251.20
REVISIONS:

No.	Description	Date

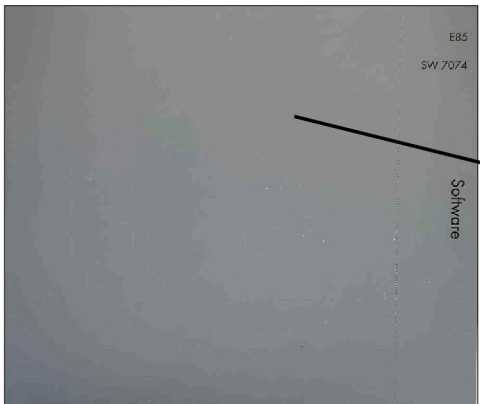
DRAWING TITLE:
PHOTOMETRIC
SITE DETAILS

A2

MATERIAL KEYNOTES



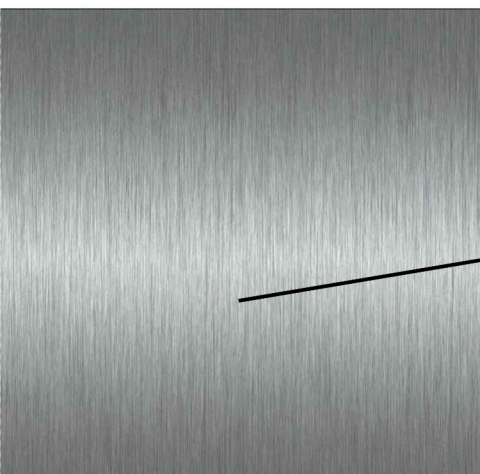
5) STEEL @ ACCESSIBLE RAMP
RAILING COLOR



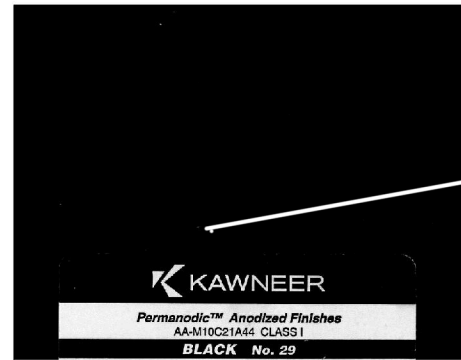
6) MEDIUM GRAY PAINT -
EXISTING SIDING, CMU, CONCRETE
& MECHANICAL SCREEN.



7) METAL LAMINATED PANEL -
SIGN PANEL



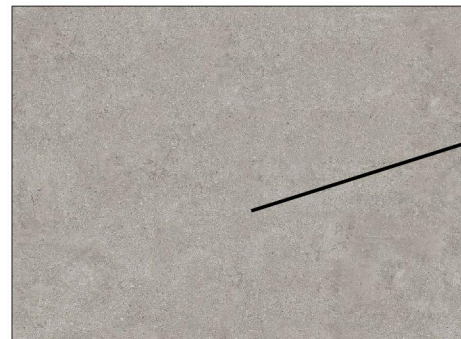
8) STAINLESS STEEL - ENTRY
STAIR RAILING



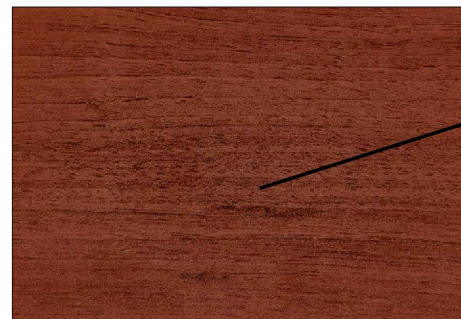
1.) STOREFRONT
BLACK ANODIZED
ALUMINUM



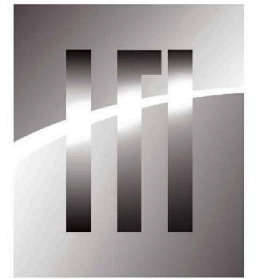
2.) TOUNGE & GROVE
WOOD SIDING W/
NATURAL COLOR
VARIATION - STOREFRONT
& REAR ELEVATION



3) PRECAST CONCRETE
PANELS UNDER
FRONT WINDOWS



4) WOOD FINISH - ENTRY
CANOPY AND COLUMN



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RADIANCE MEDSPA

Renovation

RADIANCE MEDSPA

916 MAIN ST., LOUISVILLE, CO