

RE CITY
RECREATION
CENTER

CENTENNIAL HEIGHTS
PCZD

OUTLOT D
10'-0" Access Easement w/
8'-0" Concrete Walk and
1'-0" Gravel Mulch Each Side.
OUTLOT D shall be maintained by the City.
OUTLOT D shall connect to East Mulberry Street.

OUTLOT A
Storm Detention Area

Dryland Seeding

P-R
UNDEVELOPED

DEVELOPER / OWNER
STORCK DEVELOPMENT CORPORATION
P.O. Box 8368
Fort Collins, CO 80524

Richard R. Storck

PROJECT NOTES

- A Hollywood curbwalk shall be extended along all interior streets.
- Unless otherwise noted, perimeter fence shall be a 72" high (maximum) with 1"x6" rough cedar vertical boards on 4"x4" posts spaced 5' on center with 1/4" spacing between boards and 1"x4" fascia board at top. All perimeter fencing shall be maintained by the Homeowner's Association.
- Perimeter fence shall extend along the side yard building setback line to a point where it will turn 90 degrees and extend to meet the rear corner of the house at lots 1, 16 and 85. Actual building footprints and fence lines will vary from what is shown on this plan. PUD AMENDED 6/18/93 SEE RES. 10, SERIES 1993
- Perimeter fencing shall not be located within the ROW and shall be maintained by the Homeowner's Association, except lots 48-62 which shall be maintained by individual home owners per note number 7.
- Side yard to street fencing on lots 1, 16, and 85 shall be installed on the building setback line and shall not extend beyond the rear corner of the house. PUD Amended 6/18/93 SEE RES. 10, SERIES 1993
- Fencing on the rear property lines of lots 62, 63 and a portion of 64 shall be restricted to a 42 inch California Chain Link fence to be installed by the developer. Privacy fences located on those lots shall be located a minimum of fifteen feet from the California Chain Link.
- Home owners are responsible for the construction of perimeter fencing in the rear of lots 48 - 62 in accordance with perimeter fence detail.
- Driveways shall not be located within the immediate access entryways off of McCaslin Avenue or Century Drive. Driveways shall not be placed on to Cherrywood Lane from lots 31, 32, 47, 48, 24, 39, 40 and 55.
- Final landscape plans shall be submitted for approval by the Parks and Recreation Department before installation.
- The City of Louisville will take over maintenance of right-of-way areas upon construction acceptance of landscaping.
- Outlots A and C shall be maintained by the Homeowner's Association.
- Landscaping and fencing shall not obstruct safe traffic sight distance and stopping distance and vision clearance area per City of Louisville criteria.
- Temporary cul de sacs shall be provided at the phase lines on Cherrywood Lane.
- It is anticipated that development of Phase I will begin in the fall of 1991, followed by Phase II in early 1993.

LAND USE STATISTICS

	GROSS	NET
SITE SIZE	19.85 AC	17.73 AC
DENSITY	4.3 DU/AC	4.8 DU/AC
COMMON OPEN SPACE	1.88 AC	1.24 AC

TOTAL LOTS 85
MAXIMUM LOT SIZE 11,200 SF
MINIMUM LOT SIZE 5,500 SF
MEAN LOT SIZE 6,745 SF
MEDIAN LOT SIZE 6,000 SF

SETBACKS
FRONT YARD 18 FT
SIDE YARD 5 FT
REAR YARD 15 FT
STREET SIDE YARD 15 FT

CURRENT ZONING PCZD-C/R
MAXIMUM BUILDING HEIGHT 35 FT

EXISTING ZONING
PCZD-C/R

LEGEND

- Deciduous Shade Tree
- Ornamental Tree

PERIMETER FENCE DETAIL
1/8" = 1'-0"

PERIMETER FENCE DETAIL

1/8" = 1'-0"

Right In / Right Out Only

Typical 30 ft. vision
clearance triangle.

McCaslin Boulevard

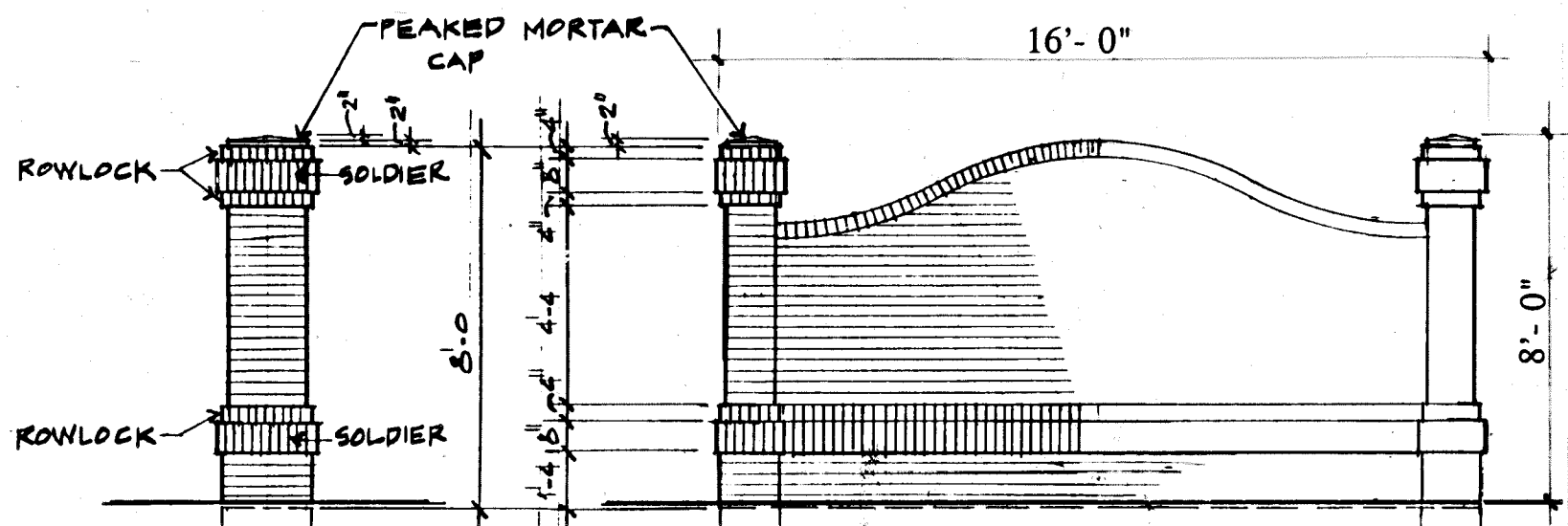
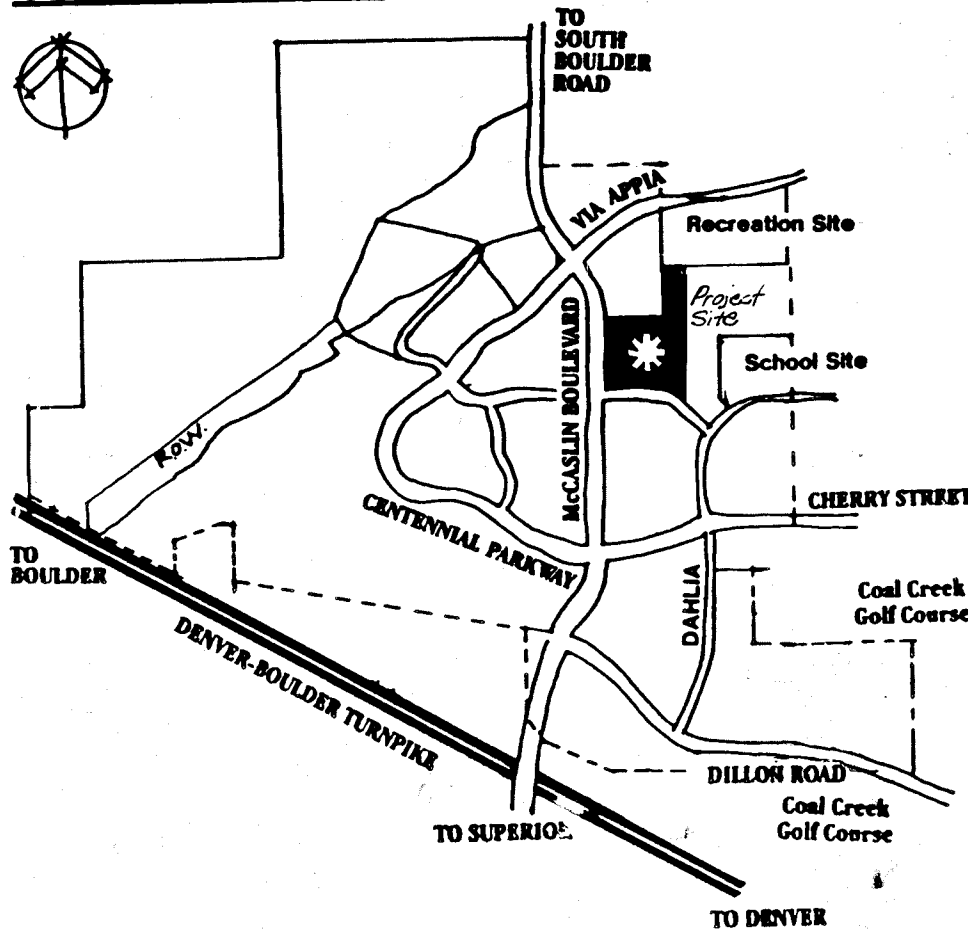
CC
UNDEVELOPED

Utility/Drainage Easement
20'-0"

Shrub Planting
Typ.

OUTLOT E
To Be Maintained by the City

VICINITY MAP



SIGNWALL DETAIL

1/4" = 1'-0"

PLANNING COMMISSION CERTIFICATE

APPROVED THIS 28th DAY OF October, 1991, BY THE
PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO.
RESOLUTION NO. 176 SERIES 1991
Daniel A. Nisella
CHAIRMAN SECRETARY

CITY COUNCIL CERTIFICATE

APPROVED THIS 28th DAY OF October, 1991, BY THE
CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO.
RESOLUTION NO. 176 SERIES 1991
Mayor: [Signature] CITY CLERK: [Signature]

CLERK AND RECORDER CERTIFICATE

COUNTY OF BOULDER
STATE OF COLORADO

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY
OFFICE AT 3:47 O'CLOCK, P.M., THIS 30th DAY OF
October, 1991, AND IS DULY RECORDED IN PLAN FILE
P-26-5-3 #11 FEE \$10.00
FILM NO. 1699 RECEPTION NO. 1139312
Recorder: [Signature] Deputy: [Signature]

CHERRYWOOD II

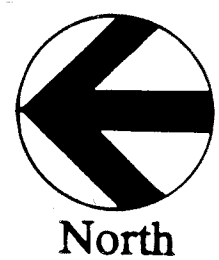
Louisville, Colorado

FINAL PUD SUBMITTAL

SITE PLAN AND CONCEPTUAL LANDSCAPE PLAN

LANDSCAPE ARCHITECTURE / PLANNING
RIPLEY ASSOCIATES
318 East Oak Street
Fort Collins, CO 80524
(303) 224-5828

ENGINEERING
STEWART & ASSOCIATES
214 North Howes Street
P.O. Box 429
Fort Collins, CO 80522



0' 10' 50' 100'
5' 20'
Scale: 1" = 50'-0"

REVISION DATE: October 22, 1991

DATE: September 23, 1991

Sheet 1 of 1

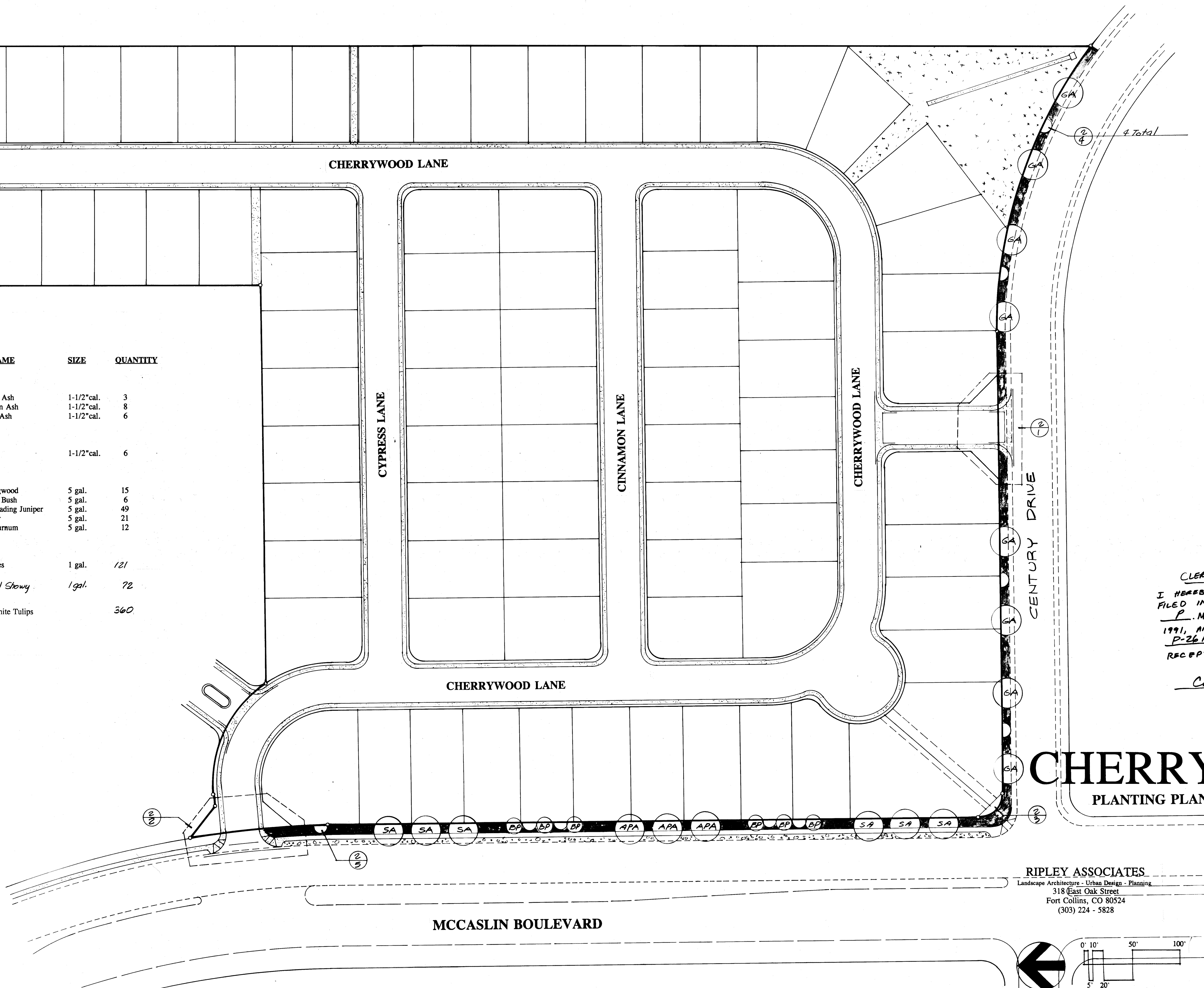
#01139313 10/30/91 02:51 PM REAL ESTATE RECORDS
F1697 CHARLOTTE HOUSTON BOULDER COUNTY CO RECORDER

CHERRYWOOD II
PLANT LIST:

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY
Deciduous Trees:				
APA	Fraxinus americana 'Autumn Purple'	Autumn Purple Ash	1-1/2" cal.	3
GA	Fraxinus pennsylvanica lanceolata 'Marshals'	Marshalls Green Ash	1-1/2" cal.	8
SA	Fraxinus pennsylvanica lanceolata 'Summit'	Summit Green Ash	1-1/2" cal.	6
Ornamental Trees:				
BP	Pyrus calleryana 'Bradford'	Bradford Pear	1-1/2" cal.	6
Shrubs:				
VD	Cornus alba elegantissima	Variegated Dogwood	5 gal.	15
CBB	Euonymus alatus compacta	Dwarf Burning Bush	5 gal.	6
BCJ	Juniperus horizontalis 'Blue Chip'	Blue Chip Spreading Juniper	5 gal.	49
SJ	Juniperus sabina 'Scandia'	Scandia Juniper	5 gal.	21
BV	Viburnum 'Burkwoodi'	Burkwood Viburnum	5 gal.	12
Perennials, Ground Covers:				
HH	Hemerocallis 'Hyperion'	Yellow Daylilies	1 gal.	121
SS	Sedum spectabilis	Variegated Shady Stonetrop	1 gal.	72
Bulbs:				
T	Tulips 'Angelique'	Pink/Cream White Tulips		360

LEGEND

	Sod
	Dryland Seeding
	Cobble Mulch
50%	1-1/2" - 2" diameter
25%	2" - 4" diameter
25%	4" - 6" diameter



CLERK AND RECORDER CERTIFICATE:
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS
FILED IN MY OFFICE AT 03:51 o'clock
P.M., THIS 30th DAY OF October,
1991, AND IS DULY RECORDED IN PLAN FILE
P-26 F-3 #12,13, FEE \$20.00, FILM 1699
RECEPTION NO. 1139313

Charlotte Houston
RECORDER

Ronita J. Sullivan
DEPUTY

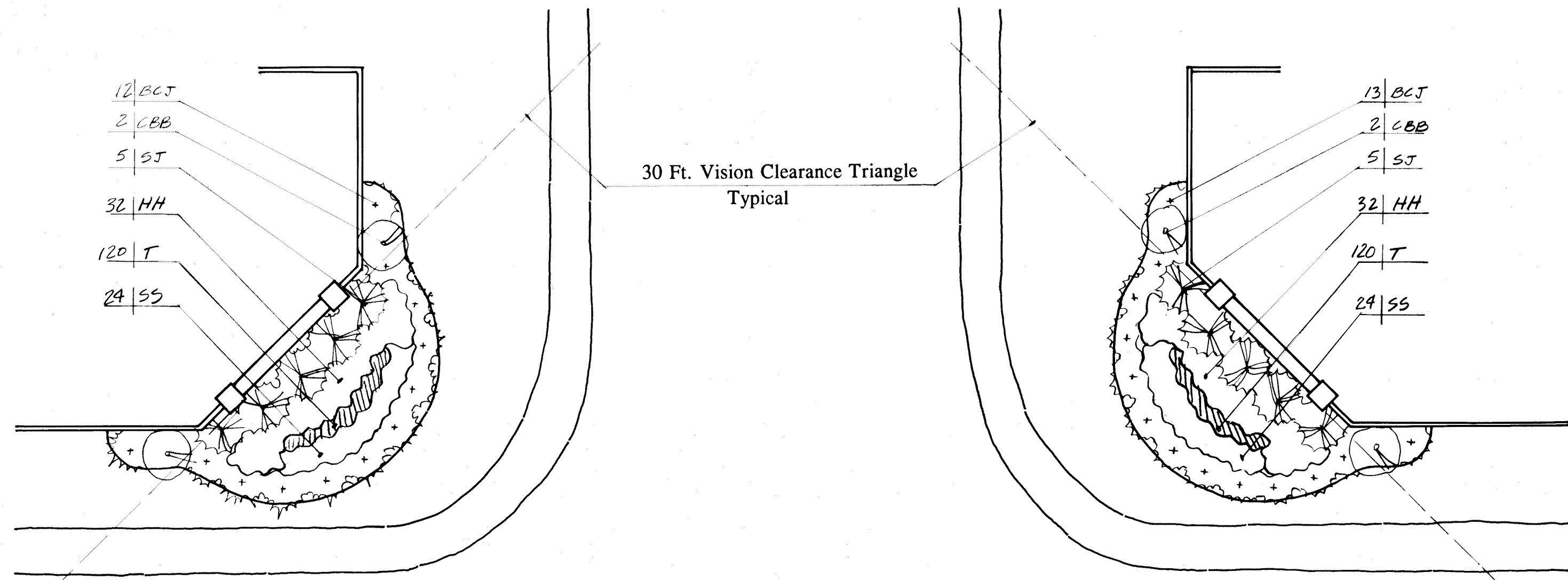
CHERRYWOOD II
PLANTING PLAN

RIPLEY ASSOCIATES
Landscape Architecture - Urban Design - Planning
318 East Oak Street
Fort Collins, CO 80524
(303) 224 - 5828

DATE: 9-23-91

REVISIONS:

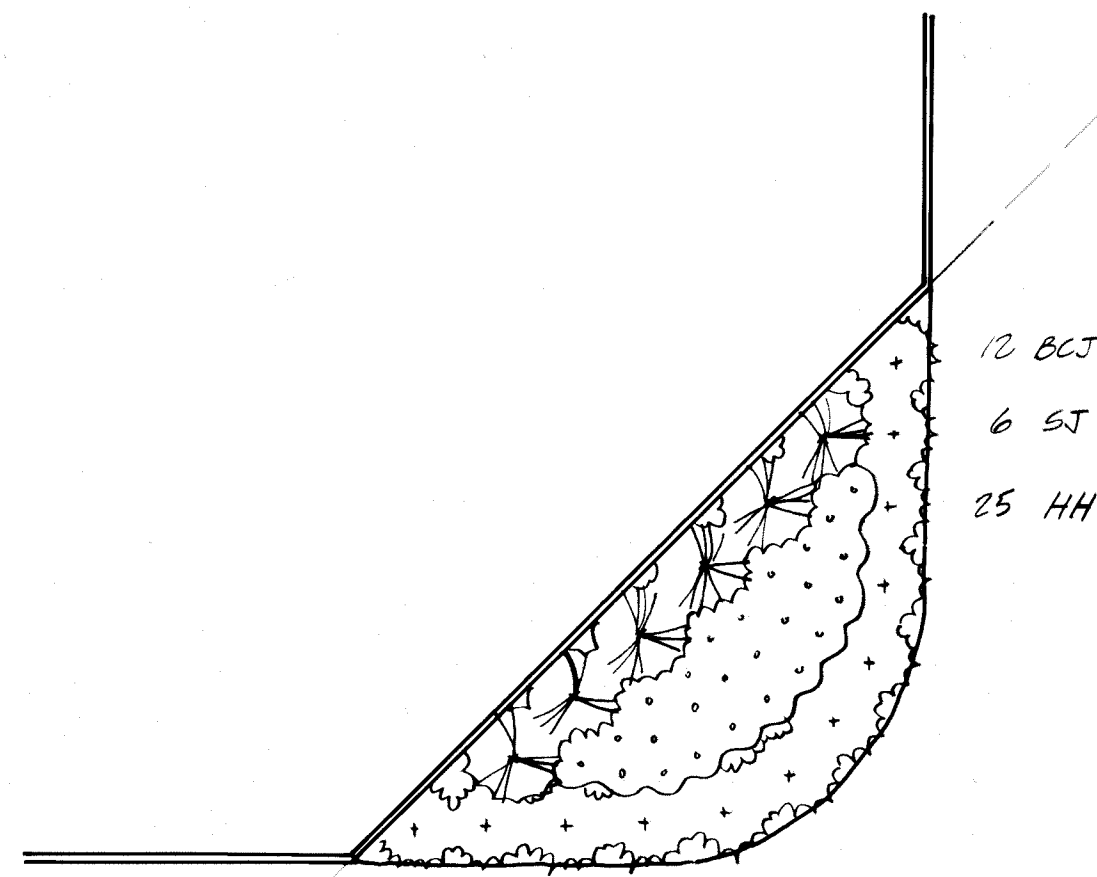
LR 10-17-91



1

PLANTING DETAIL AT
CHERRYWOOD LANE AND CENTURY DRIVE

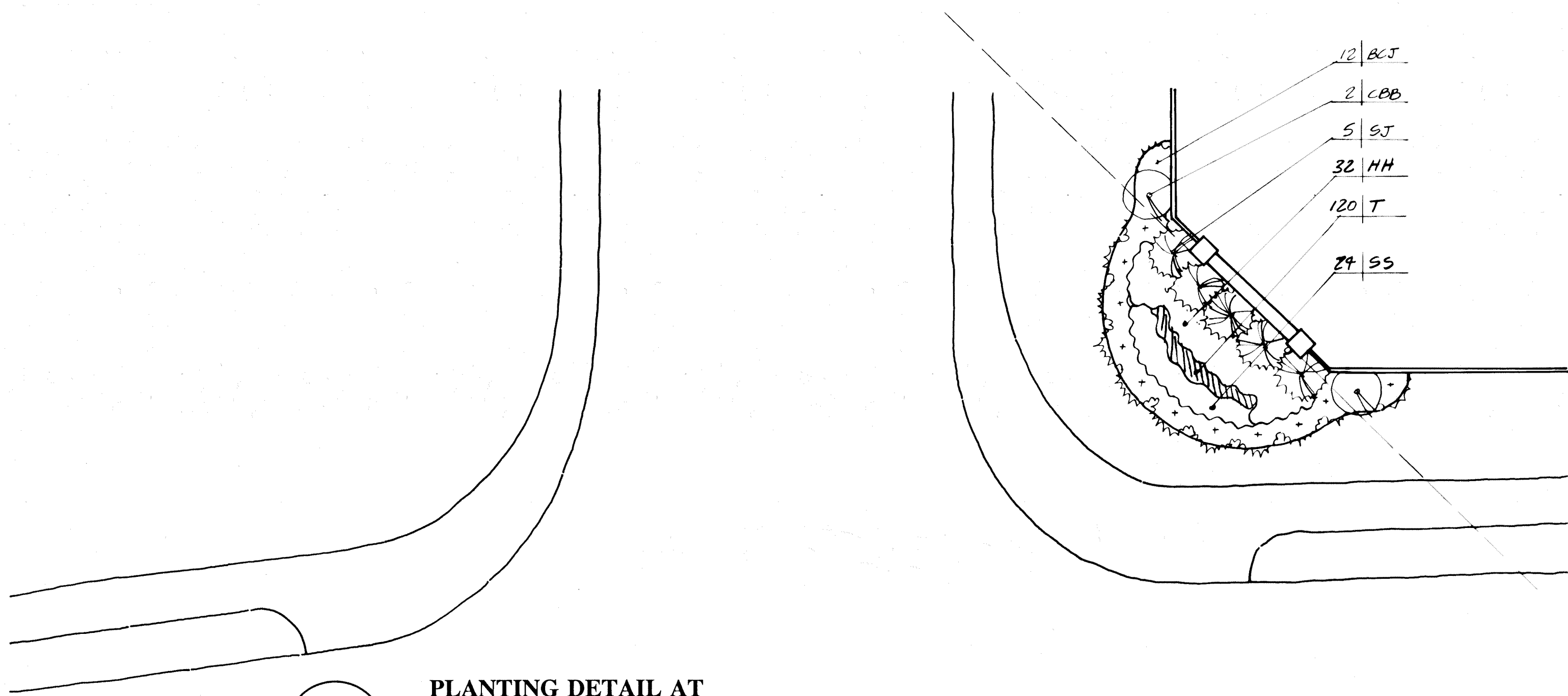
1" = 10'-0"



3

PLANTING DETAIL AT
MCCASLIN BOULEVARD AND CENTURY DRIVE

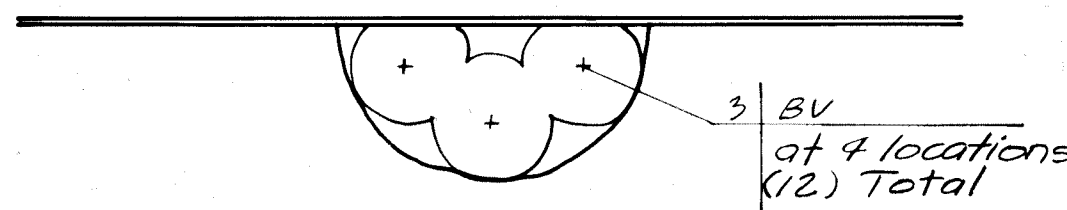
1" = 10'-0"



2

PLANTING DETAIL AT
CHERRYWOOD LANE AND MCCASLIN BOULEVARD

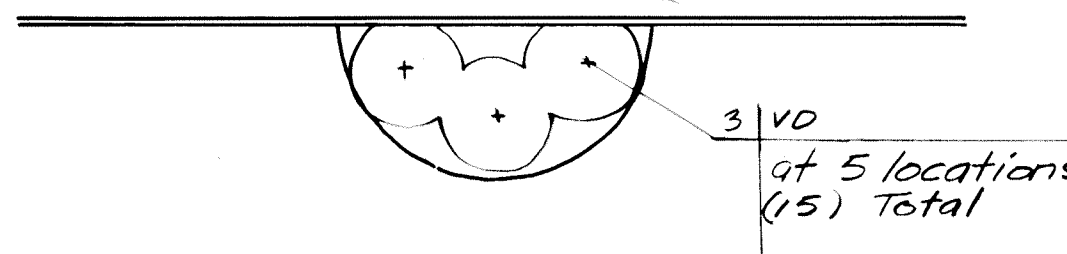
1" = 10'-0"



4

CENTURY DRIVE SHRUB PLANTING

1" = 10'-0"



5

MCCASLIN BOULEVARD PLANTING

1" = 10'-0"

NOTES

- All shrub beds shall be defined with steel edging and mulched with a two-^{four}~~2~~ inch layer of gravel mulch over weed barrier.
- Plantings within vision clearance areas shall be less than 2.5 feet above top of curb.

CHERRYWOOD II

PLANTING DETAILS

RIPLEY ASSOCIATES
Landscape Architecture • Urban Design • Planning
318 East Oak Street
Fort Collins, CO 80524
(303) 224 - 5828

DATE: 9-23-91

REVISIONS:

L.R. 10-17-91