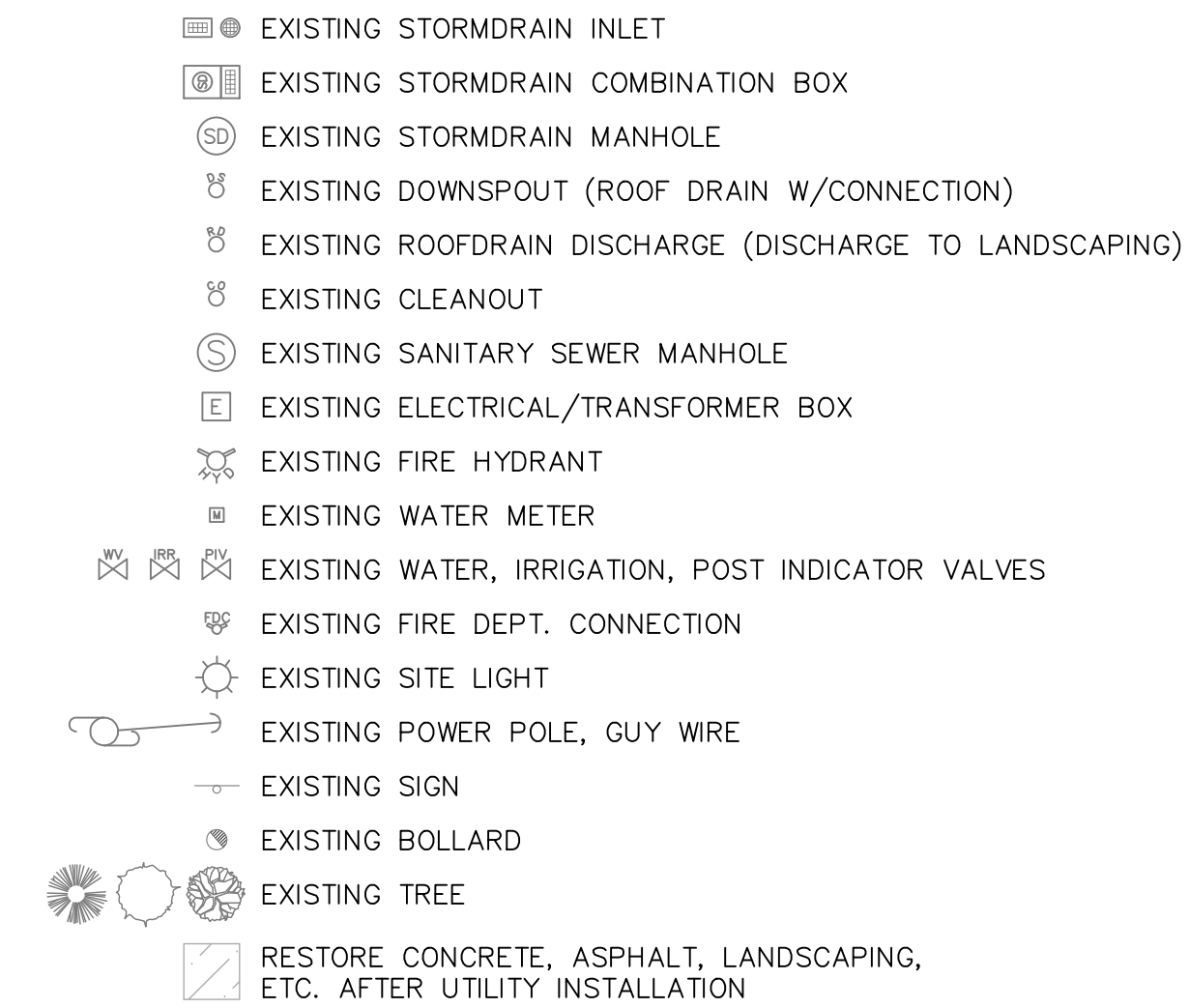


WATER SERVICE		PROPERTY LINE OF INTEREST
---	---	EXISTING PROPERTY LINE
---	---	EXISTING EASEMENT
---	---	EXISTING EASEMENT TO BE ABANDONED
---	---	EXISTING CURB & GUTTER
---	---	EXISTING FENCE
---	---	EXISTING BUILDING
SD	SD	REMOVE EXISTING CONCRETE ASPHALT
SS	SS	EXISTING STORMDRAIN LINE
W	W	EXISTING SANITARY SEWER LINE
OHE	OHE	EXISTING WATER LINE
UGE	UGE	EXISTING OVERHEAD ELECTRIC LINE
COM	COM	EXISTING UNDERGROUND ELECTRIC LINE
---	---	EXISTING COMMUNICATIONS LINE
COND	COND	EXISTING GAS LINE
X	X	EXISTING CONDUIT
---	---	EXISTING FENCE TO BE REMOVED
SD	SD	EXISTING BUILDING TO BE REMOVED
SS	SS	EXISTING STORMDRAIN LINE TO BE REMOVED
W	W	EXISTING SANITARY SEWER LINE TO BE REMOVED
OHE	OHE	EXISTING WATER LINE TO BE REMOVED
---	---	EXISTING OVERHEAD ELECTRIC LINE TO BE REMOVED
G	G	EXISTING UNDERGROUND ELECTRIC LINE TO BE REMOVED
COM	COM	EXISTING COMMUNICATIONS LINE TO BE REMOVED
G	G	EXISTING GAS LINE TO BE REMOVED
COND	COND	EXISTING CONDUIT TO BE REMOVED

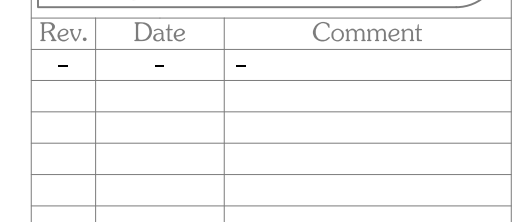


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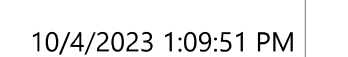
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1. COORDINATE ANY PRIVATE UTILITY WORK WITH PROVIDERS (GAS, POWER, COMMUNICATIONS).
2. COORDINATE ANY PUBLIC UTILITY WORK WITH THE CITY OR UTILITY OWNER (SANITARY SEWER, WATER, STORM DRAIN).
3. SMALL OR MINOR IMPROVEMENTS MAY EXIST THAT ARE TO BE DEMOLISHED THAT ARE NOT SHOWN HERE.
4. INTENT IS TO DEMOLISH SITE TO THE EXTENT REQUIRED FOR NEW CONSTRUCTION. LANDSCAPING, CONTACTORS ARE CAUTIONED & ENCOURAGED TO VERIFY SITE CONDITIONS & EXISTING FEATURES THAT MAY NOT BE SHOWN ON DRAWINGS BUT REQUIRE WORK AND/OR DEMOLITION.

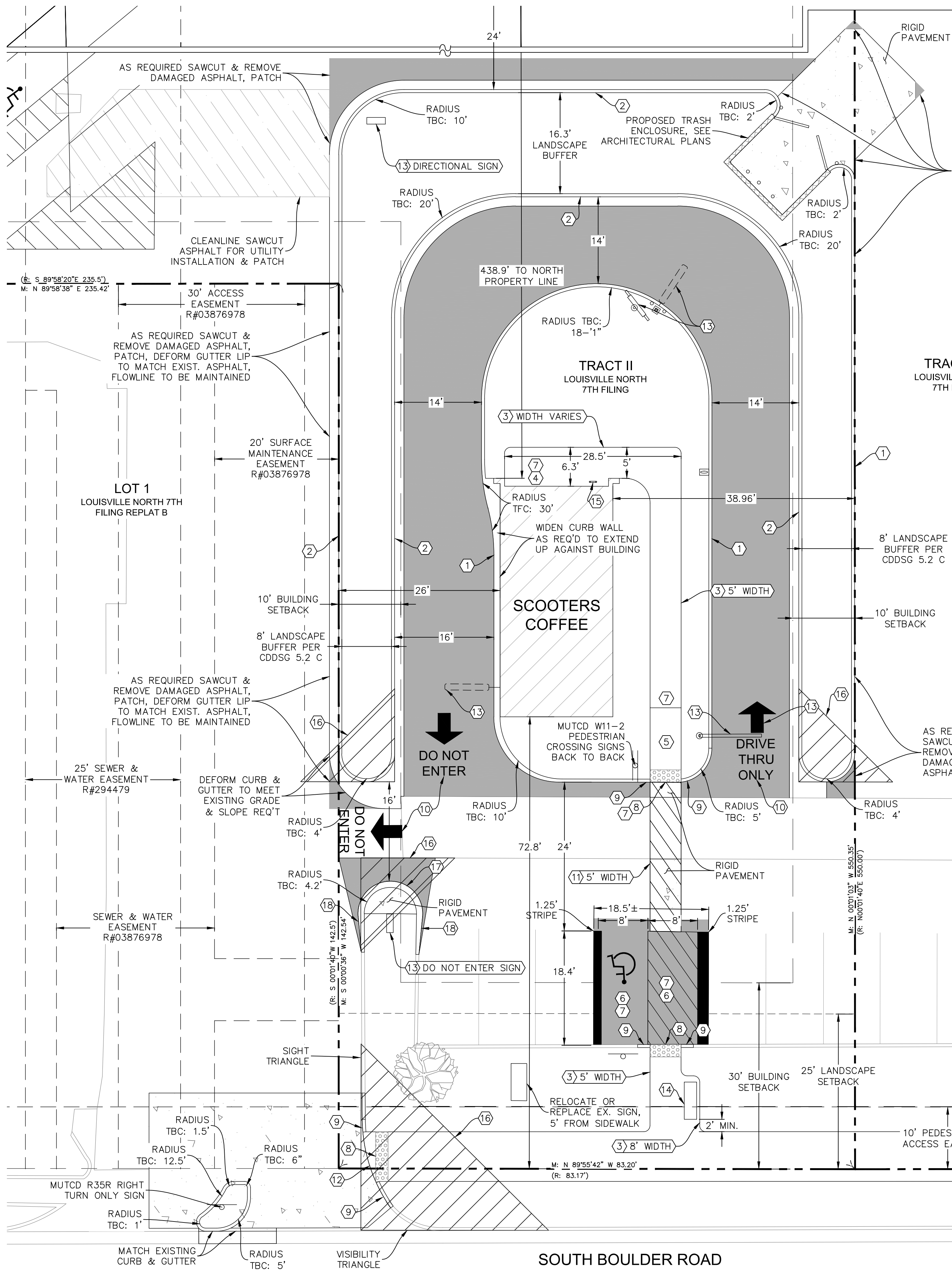


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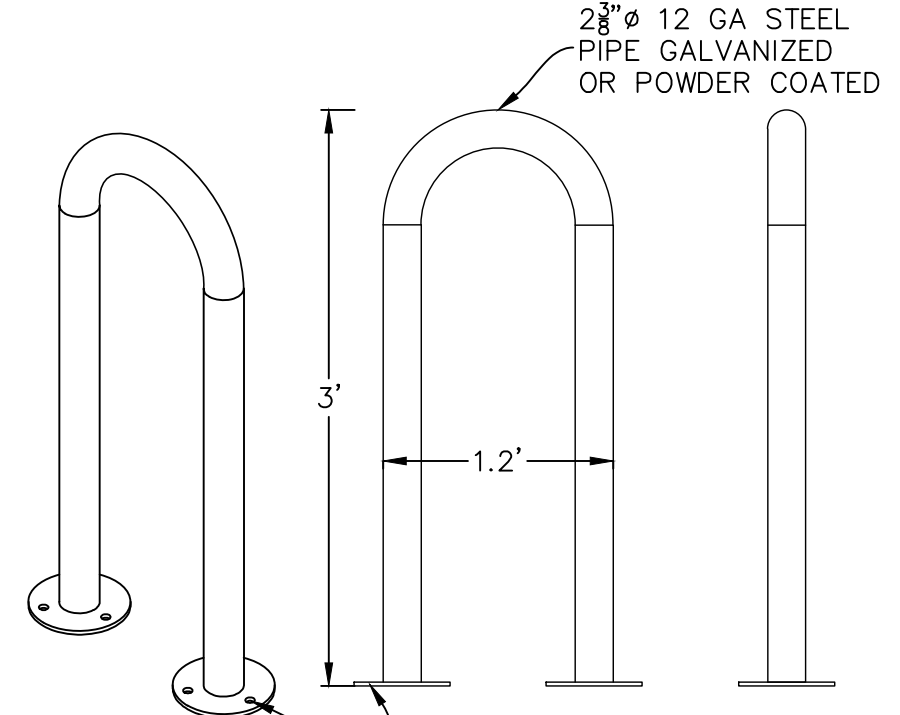


EX. CONDITIONS & DEMOLITION

PUD:
2 OF 30

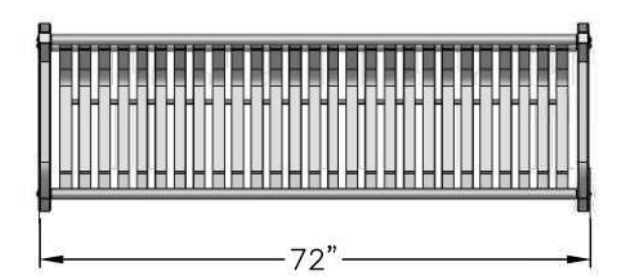


PLANNED UNIT DEVELOPMENT
3RD AMENDMENT
TRACT II & IIA, LOUISVILLE
NORTH 7TH FILING
CASE #: PUD-000453-2023



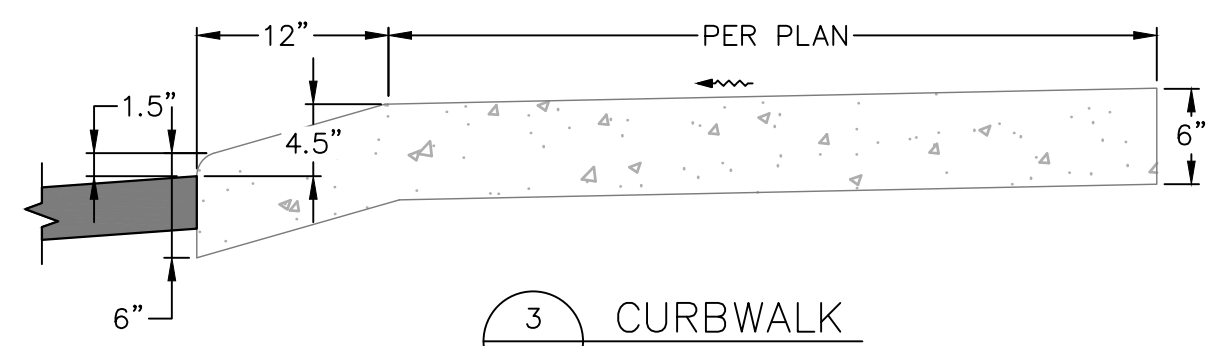
ITEM# 398-8009 BY THEPARKCATALOG.COM
OR APPROVED EQUAL, BLACK

1 BICYCLE RACK
NTS



ITEM# 398-8000 BY THEPARKCATALOG.COM
OR APPROVED EQUAL, BLACK

2 6' PARK BENCH
NTS



3 CURB WALK
NTS

- PROPERTY LINE OF INTEREST
- PARKING SETBACK REQ'T
- BUILDING SETBACK REQ'T
- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING EASEMENT TO BE ABANDONED
- PROPOSED EASEMENT
- EXISTING CURB & GUTTER
- PROPOSED CURB
- PROPOSED FENCE
- EXISTING FENCE
- PROPOSED BUILDING
- EXISTING BUILDING
- PROPOSED SIGNAGE
- EXISTING SIGNAGE
- PROPOSED BOLLARD
- EXISTING BOLLARD
- PROPOSED ADA TRUNCATED DOMES

- FLEXIBLE PAVEMENT
- RIGID PAVEMENT
- RESTORE CONCRETE, ASPHALT, LANDSCAPING, ETC. AFTER UTILITY INSTALLATION
- EXISTING TREE
- SIGHT VISIBILITY TRIANGLE

M: MEASURED BEARING & DISTANCE
(R:)RECORDED BEARING & DISTANCE

- KEY TAGS:
- 1 INSTALL CURB WALL
 - 2 INSTALL CURB & GUTTER
 - 3 INSTALL SIDEWALK, WIDTH PER PLAN, USE THICKENED EDGE ADJACENT TO ASPHALT & CONCRETE PAVING
 - 4 INSTALL CRITICAL SIDEWALK PANEL & ADA LANDING AT BUILDING ACCESS
 - 5 INSTALL ADA RAMP
 - 6 INSTALL ADA STALLS & SIGNAGE
 - 7 ADA LANDING/ZONE; SLOPE < 2% ANY DIRECTION
 - 8 LOW BACK CURB, PROVIDE TRUNCATED DOMES WHEN SHOWN PER PLAN
 - 9 TRANSITION FROM LOWBACK TO HIGHBACK CURB OVER 24", TO NEAREST RADIUS POINT WITHIN 5' OR FOLLOW ADA RAMP SLOPE.
 - 10 STRIPED MESSAGE & ARROW
 - 11 STRIPED CROSSWALK 5' WIDTH
 - 12 INSTALL CURB & GUTTER/SIDEWALK PER CITY OF LOUISVILLE DETAILS
 - 13 DRIVE THRU EQUIPMENT & SIGNAGE, SEE ARCHITECTURAL & SIGN PLANS
 - 14 INSTALL 6' OUTDOOR PLAZA STRAP METAL BENCH WITH BACKREST (ITEM 398-8000 THEPARKCATALOG.COM) OR APPROVED EQUAL, BLACK
 - 15 INSTALL WAVE BICYCLE RACK (ITEM# 398-8009 THEPARKCATALOG.COM) OR APPROVED EQUAL, COLOR BY OWNER
 - 16 VISIBILITY TRIANGLES
 - 17 INSTALL CURB WALK WITH 4.5" RISE OVER 1' CURB DEPTH, CURB THROUGH RADIUS
 - 18 TRANSITION FROM MOUNTABLE CURB TO EXISTING CURB & GUTTER



OWNER:
EXCELLENT ESPRESSO, LLC

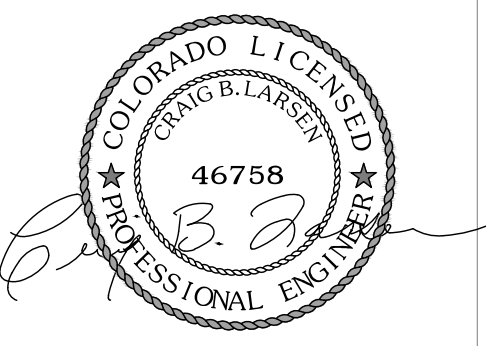
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SOUTH BOULDER RD.
LOUISVILLE, CO 80027

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SITE PLAN

VILLAGE SQUARE SHOPPING CENTER
PLANNED UNIT DEVELOPMENT
3RD AMENDMENT
TRACT II & IIA, LOUISVILLE
NORTH 7TH FILING
CASE #: PUD-000453-2023

LEGEND

---	PROPERTY LINE OF INTEREST
- - - -	PARKING SETBACK REQ'T
- - - -	BUILDING SETBACK REQ'T
- - - -	EXISTING PROPERTY LINE
- - - -	EXISTING EASEMENT
- - - -	EXISTING EASEMENT TO BE ABANDONED
- - - -	PROPOSED EASEMENT
- - - -	EXISTING CURB & GUTTER
- - - -	PROPOSED CURB
- - - -	PROPOSED FENCE
- - - -	EXISTING FENCE
- - - -	PROPOSED BUILDING
- - - -	EXISTING BUILDING
- - - -	PROPOSED SIGNAGE
- - - -	EXISTING SIGNAGE
- - - -	PROPOSED BOLLARD
- - - -	EXISTING BOLLARD
- - - -	PROPOSED ADA TRUNCATED DOMES
- - - -	ELECTRIC VEHICLE CHARGER

- KEY TAGS:
- 1. INSTALL ELECTRIC VEHICLE CAPABLE SPACE, 1"Ø WALL MOUNTED CONDUIT FROM ADJACENT WALL MOUNTED ELECTRICAL PANEL, TERMINATE IN JUNCTION BOX & LABEL "FOR FUTURE ELECTRIC VEHICLE CHARGING"
 - 2. INSTALL CYBER CHARGER CSE1 LEVEL-2 DUAL EV CHARGING STATION (2 CHARGING PORTS) OR EQUAL: WALL MOUNT CONDUIT AS REQUIRED FROM ADJACENT WALL MOUNTED ELECTRICAL PANEL 48A CAPACITY PER PORT SEPARATE BREAKERS PER PORT 200-240VAC
 - 3. DUMPSTER, LOADING & DELIVERY AREAS

PATHS:

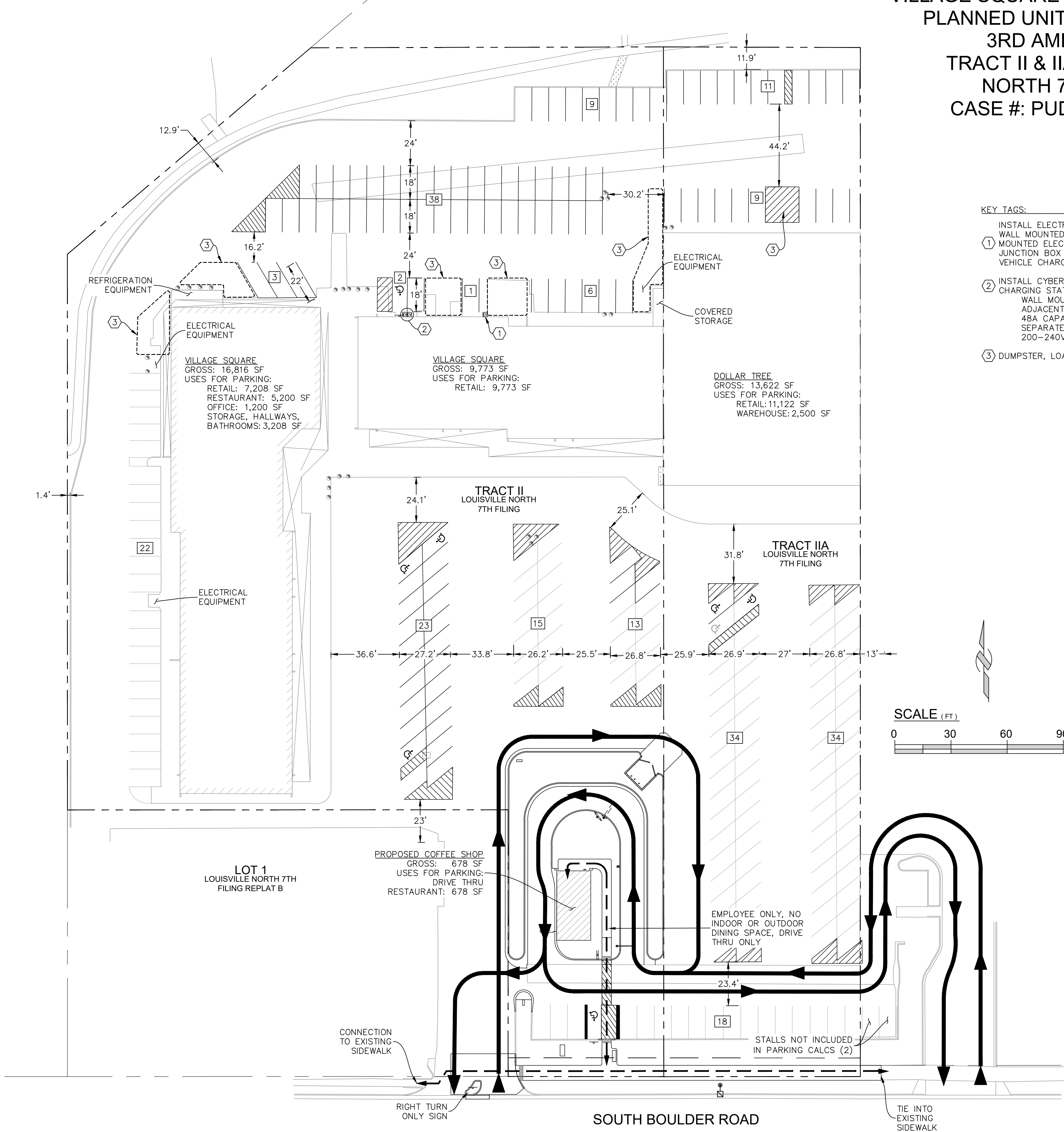
TRAFFIC CIRCULATION

PEDESTRIAN/BICYCLE CIRCULATION

STRIPING NOTES:

1. STRIPING SHOWN HERE IS INTENDED TO SHOW THE POTENTIAL PARKING CAPACITY & IS A COMBINATION OF EXISTING, NEW & RE-STRIPING.
2. FINAL STRIPING CONFIGURATION & ADJUSTMENTS TO BE CONSTRUCTED SHALL BE DETERMINED BY THE PUD PROCESS & IMPLEMENTED IN CONSTRUCTION DOCUMENTS.

PARKING TABLE			
OVERALL	RATIO	# OF REQ'D SPACES	# OF PROVIDED SPACES
OVERALL SHARED PARKING	5.82 SPACES PER 1000 SF	220 SPACES (37,681 SF)	238 SPACES
EXISTING COMMERCIAL	RATIO	# OF REQ'D SPACES	# OF PROVIDED SPACES
USE #1 - RETAIL	4.5 SPACES PER 1000 SF	126.5 SPACES (28,103 SF)	137 SPACES
USE #2 - RESTAURANT	15 SPACES PER 1000 SF	78.0 SPACES (5,200 SF**)	80 SPACES
USE #3 - WAREHOUSE	1 SPACES PER 1000 SF	2.5 SPACES (2,500 SF)	5 SPACES
USE #4 - OFFICE	4 SPACES PER 1000 SF	4.8 SPACES (1,200 SF)	5 SPACES
PROPOSED COMMERCIAL	RATIO	# OF REQ'D SPACES	# OF PROVIDED SPACES
USE #1 - RESTAURANT	15 SPACES PER 1000 SF	11 SPACES (678 SF)	11 SPACES
EV INSTALLED	5% OF SPACES	1 SPACE	2 SPACES
EV READY	10% OF SPACES	1 SPACE	0 SPACE
EV CAPABLE	10% OF SPACES	1 SPACE	1 SPACE
	TOTAL GROSS	223 REQ'D SPACES	
# OF SHARED (REDUCTION)			46 SPACES REMOVED
		TOTAL NET	238 SPACES



OWNER:
EXCELLENT ESPRESSO, LLC

SCOOTER'S
COFFEE

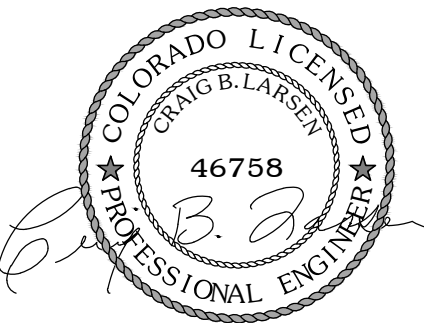
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CIRCULATION &
STRIPING PLAN

PUD:
4 OF 30

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- 15974 N. 77th ST., STE 100
SCOTTSDALE AZ 85260



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DATE:
8.10.2023

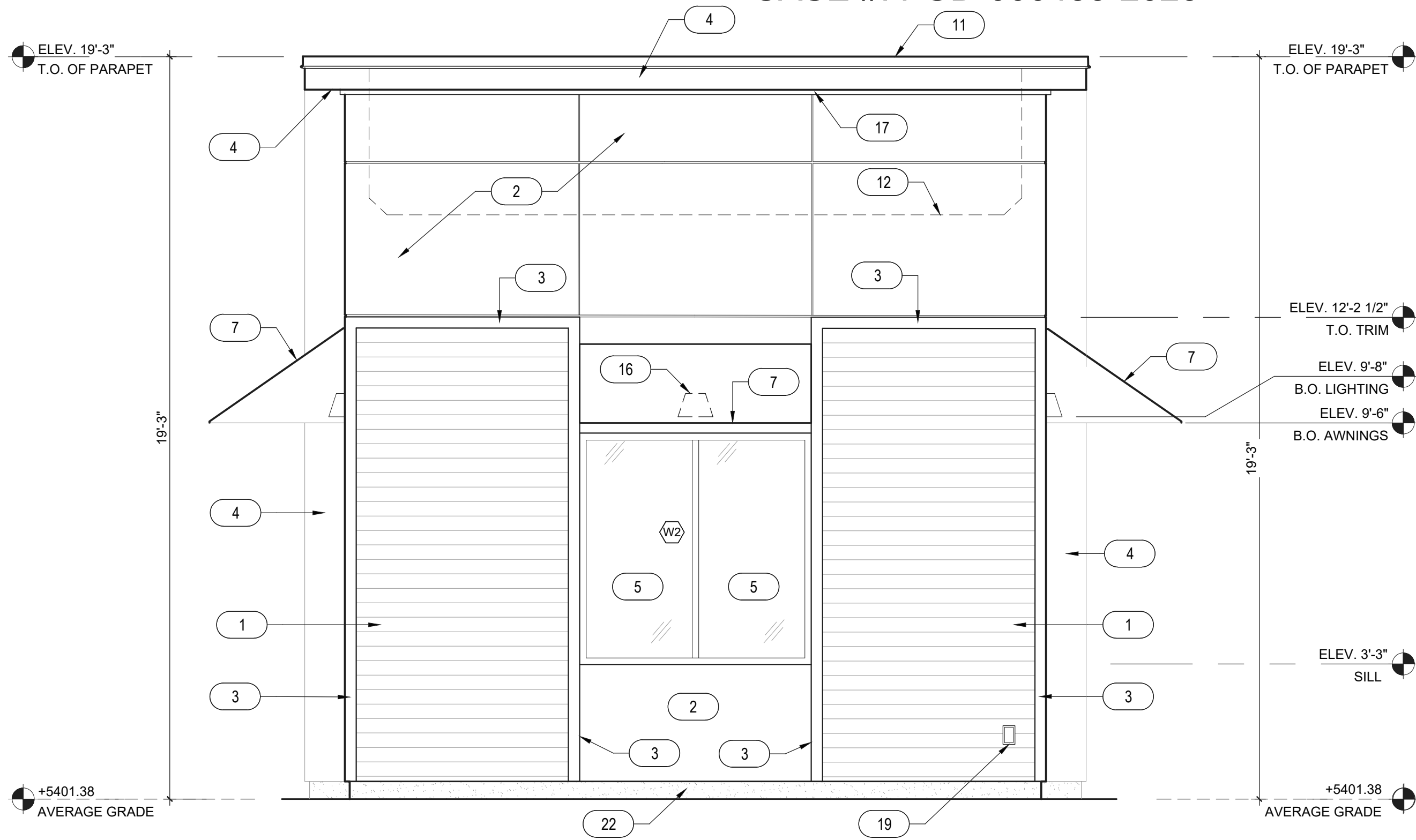
PROJECT NO.
22-329

SHEET NO.

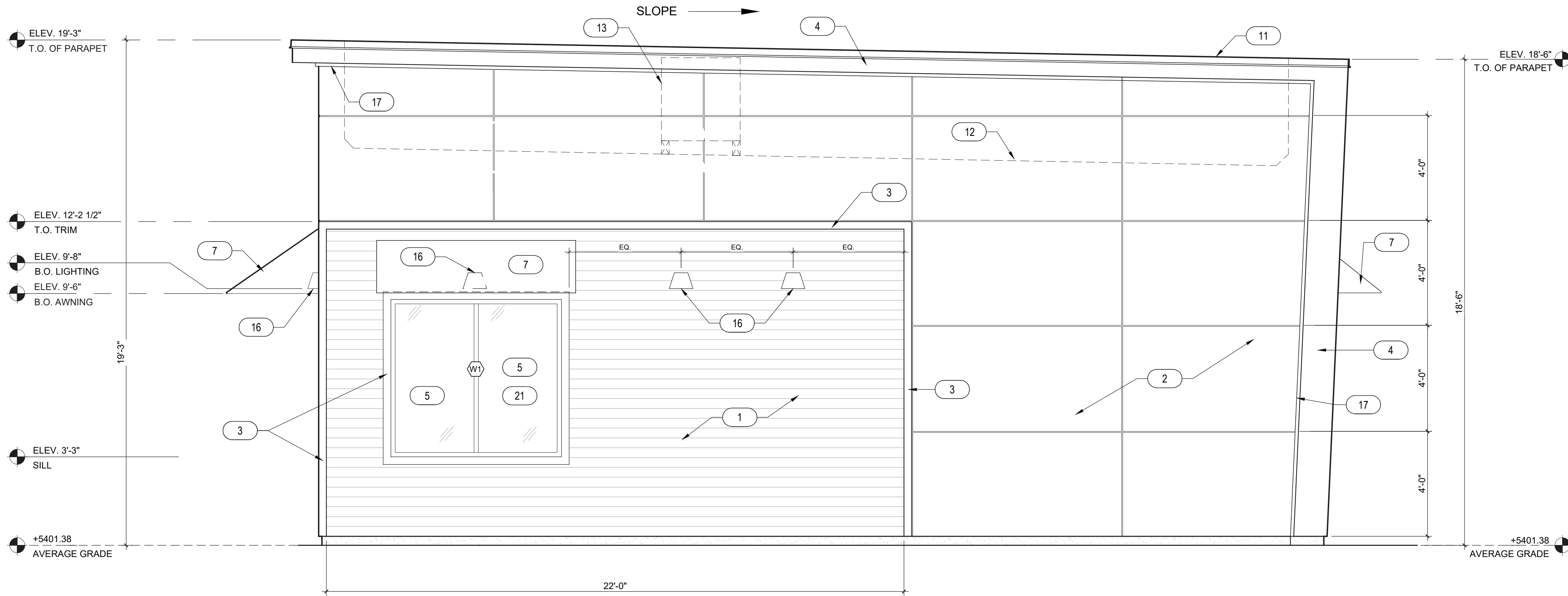
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VILLAGE SQUARE SHOPPING CENTER
PLANNED UNIT DEVELOPMENT
3RD AMENDMENT
TRACT II & IIA, LOUISVILLE
NORTH 7TH FILING
CASE #: PUD-000453-2023



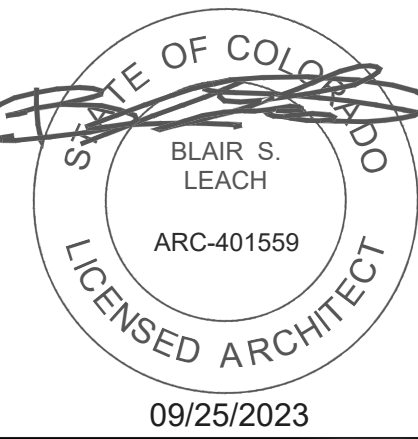
2 SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



1 EAST ELEVATION
SCALE: 3/8" = 1'-0"

KEYNOTES

1. HARDIE PLANK HZ5 LAP SIDING CEDARMILL 6-1/4". COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
2. HARDIE REVEAL PANEL SYSTEM HZ5 - SMOOTH FINISH. COLOR: SW 1015 SKYLINE STEEL
3. 3 1/2" HARDIE TRIM. COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
4. 20 GAUGE METAL ACCENTS AND SOFFITS - COLOR: BLACK
5. INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS
6. QUICKSERVE 48X48 WINDOW - COLOR: DARK BRONZE
7. AWNING: MATERIAL 100% SUNBRELLA ACRYLIC - COLOR: JOCKEY RED
8. INSULATED HOLLOW METAL DOOR AND FRAME - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
9. PEEP HOLE, BY DOOR MANUFACTURER
10. DOOR BELL
11. 20 GAUGE METAL PARAPET CAP
12. LINE OF ROOF BEYOND
13. ROOF TOP UNIT BEYOND
14. ROOF SCUPPER AND DOWNSPOUT
15. MAILBOX BY OWNER
16. WALL MOUNTED LIGHT FIXTURE
17. LED LIGHT BAND
18. SES PANEL
19. ELECTRICAL OUTLET
20. HOSE BIBB
21. SPANDREL GLASS BEHIND REACH-IN COOLER
22. NUDO GROUNDBREAKER FRP BARRIER



PROJECT ADDRESS:
645 E. SOUTH
BOULDER ROAD
LOUISVILLE, CO 80027

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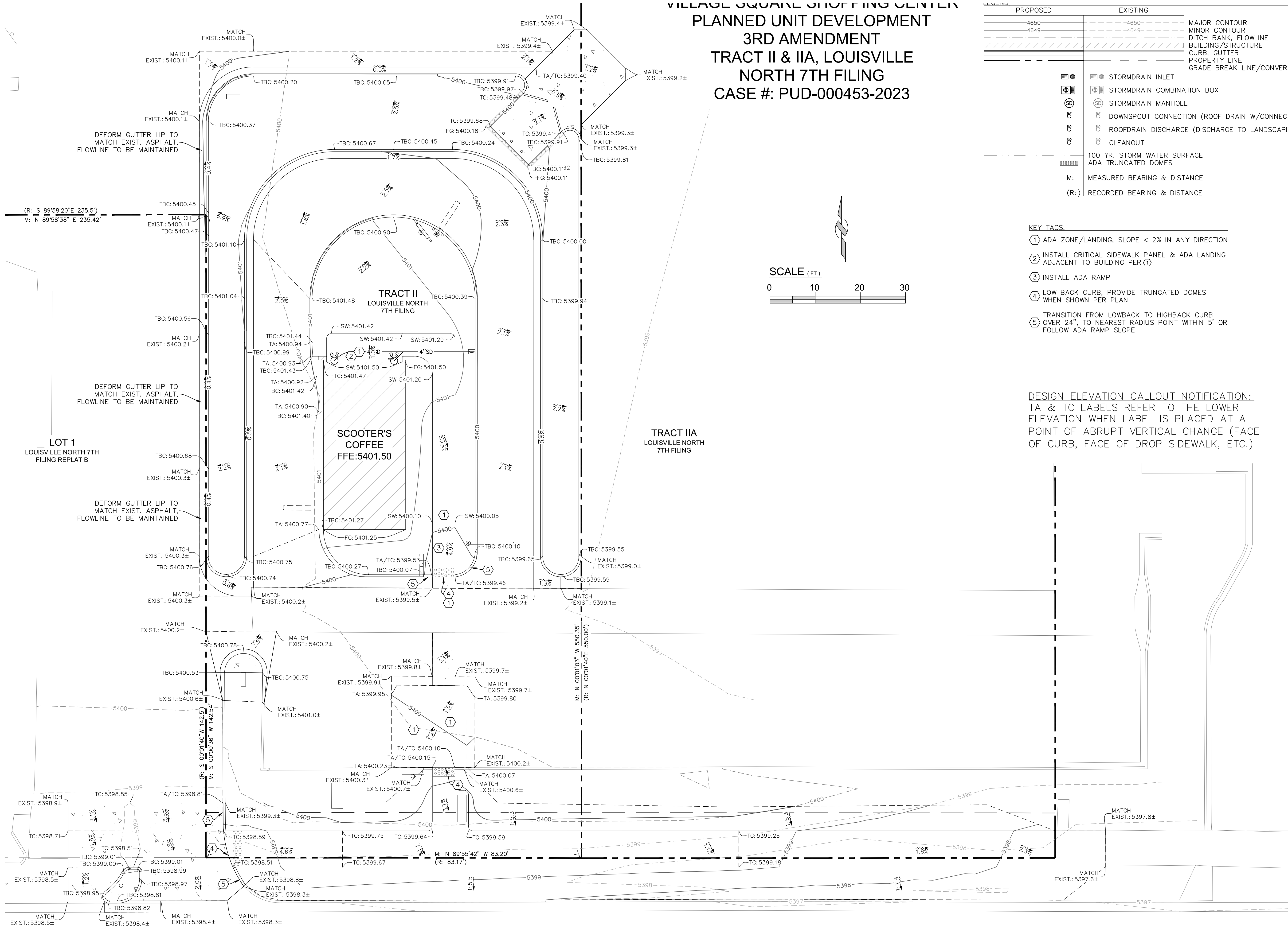
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EXTERIOR
ELEVATIONS

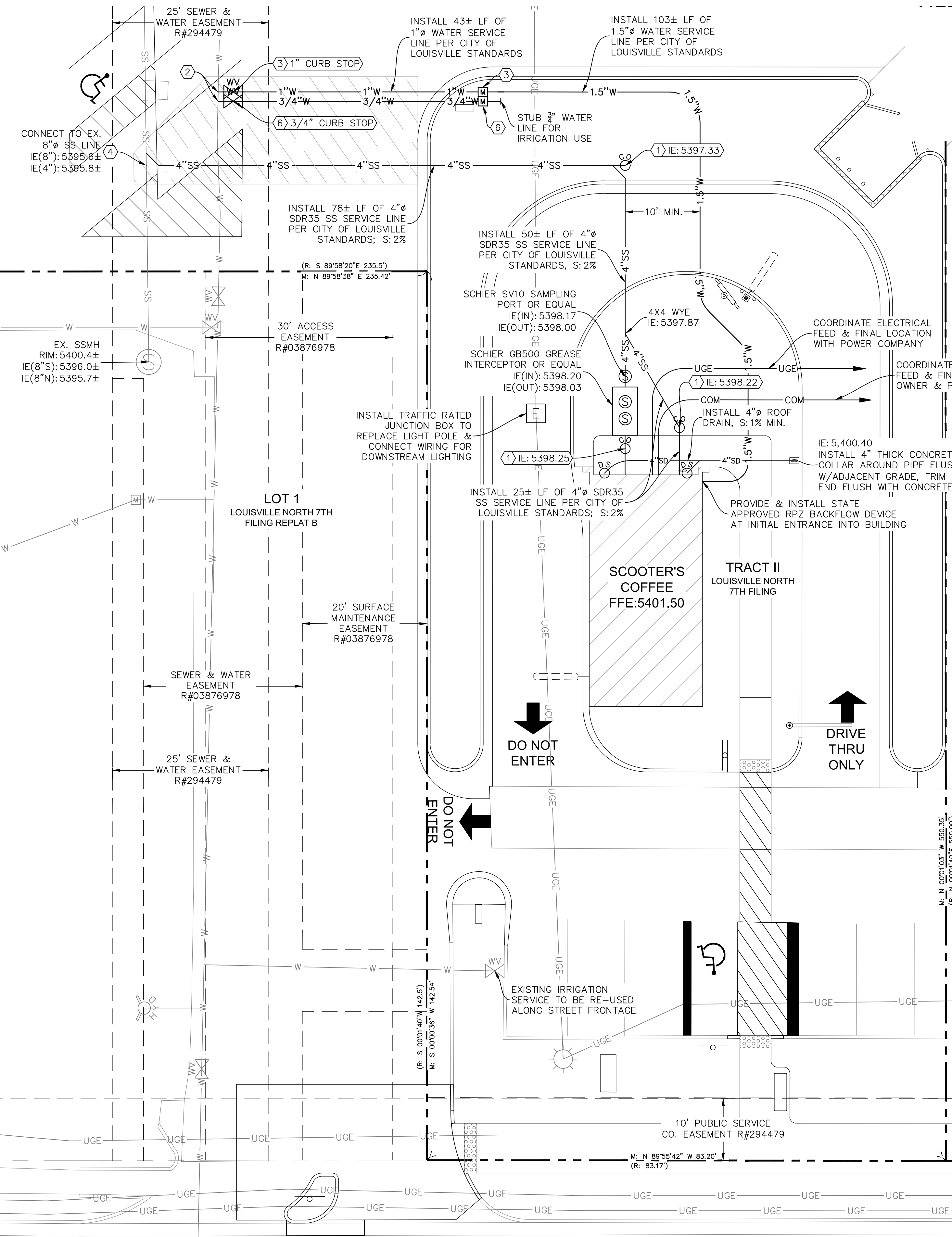
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PROJECT NO.
22-329

SHEET NO.

PUD: 6 OF 30





PLANNED UNIT DEVELOPMENT
3RD AMENDMENT
TRACT II & IIA, LOUISVILLE
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CASE #: PUD-000453-2023

KEY TAGS:

① INSTALL SS CLEANOUT

CONNECT TO EXISTING WATER LINE PER CITY OF LOUISVILLE DETAILS, FIELD
② VERIFY LOCATION & SIZE. CONTACT ENGINEER & NOTIFY OF LOCATION, ELEVATION, & CONDITION.

③ COORDINATE & INSTALL 1" WATER METER PER CITY OF LOUISVILLE

CONNECT TO EXISTING SEWER LINE PER CITY OF LOUISVILLE DETAILS, FIELD
④ VERIFY LOCATION & SIZE. CONTACT ENGINEER & NOTIFY OF LOCATION, ELEVATION, IF DIFFERENT THAN SHOWN.

⑤ COORDINATE DESIGN & INSTALLATION WITH XCEL ENERGY FOR STREETLIGHT

⑥ COORDINATE & INSTALL 3/4" WATER METER PER CITY OF LOUISVILLE

SCALE (FT.)



GENERAL UTILITY NOTES:

- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT BLUE STAKES FOR UTILITY MARKING. DIAL 811.
- CONTRACTOR SHALL FOLLOW GUIDELINES & RECOMMENDATIONS OF PROJECT GEOTECHNICAL INVESTIGATION & ALL ADDENDUMS.
- ALL UTILITY INSTALLATIONS SHALL BE DONE PER LOCAL JURISDICTION AND AGENCY REQUIREMENTS & SPECIFICATIONS.

PROPOSED	EXISTING	
SD	SD	STORMDRAIN LINE
SS	SS	SANITARY SEWER LINE
W	W	WATER LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
UGE	UGE	UNDERGROUND ELECTRIC LINE
COM	COM	COMMUNICATIONS LINE
G	G	GAS LINE
COND	COND	CONDUIT
		PROPERTY LINE EASEMENT
		STORMDRAIN INLET
		STORMDRAIN COMBINATION BOX
		STORMDRAIN MANHOLE
		DOWNSPOUT CONNECTION (ROOF DRAIN W/CONNECTION)
		ROOFDRAIN DISCHARGE (DISCHARGE TO LANDSCAPING)
		CLEANOUT
		SANITARY SEWER MANHOLE
		ELECTRICAL/TRANSFORMER BOX
		FIRE HYDRANT
		WATER METER & DIAMETER IF KNOWN
		WATER, IRRIGATION, POST INDICATOR VALVES
		FIRE DEPT. CONNECTION
		SITE LIGHT
		POWER POLE & GUY WIRE
		BOLLARD
		RESTORE CONCRETE, ASPHALT, LANDSCAPING, ETC. AFTER UTILITY INSTALLATION
M:		MEASURED BEARING & DISTANCE
(R:)		RECORDED BEARING & DISTANCE



OWNER:
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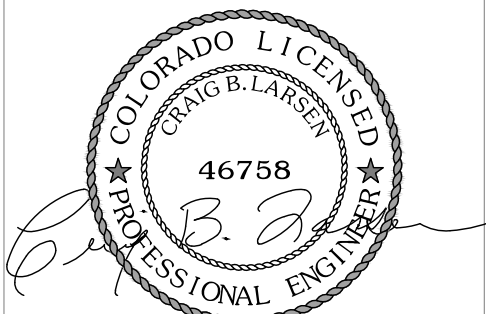
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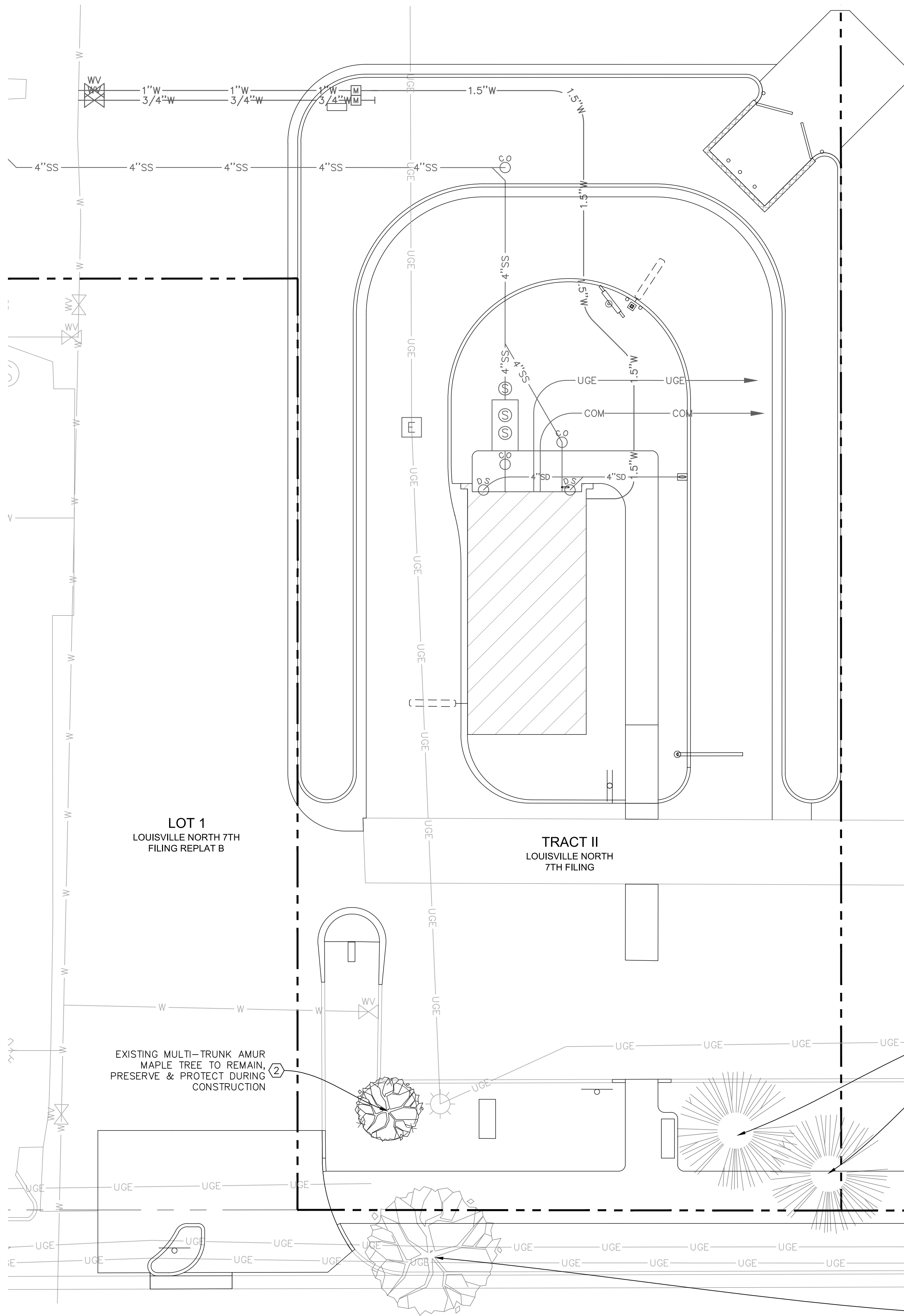
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UTILITY PLAN

PUD:
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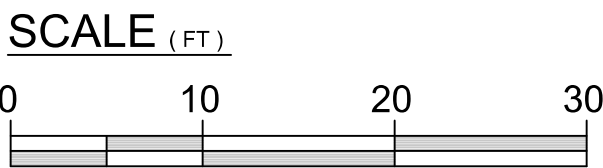
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3RD AMENDMENT
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- EXISTING TREES TO BE REMOVED:
- 1. 6 TREES & STUMPS TO BE REMOVED
 - 3 ASH STREET TREES - 18"-24" DIA. TREES PLANTED TOO CLOSE TO CURB & GUTTER IN LESS THEN 4' WIDE PLANTER
 - 3 SCOTCH PINE - 12"-18" DIA. TREES PLANTED IN CONFLICT WITH PROPOSED 6' WIDE SIDEWALK AND SUBSEQUENT GRADING

- EXISTING TREES TO BE PRESERVED:
- 2 TREES TO BE PRESERVED
 - 1 ASH STREET TREE - 18"-24" DIA.
 - 1 MULTI-TRUNK AMUR MAPLE
 - TO BE PRESERVED - USE CARE DURING EXCAVATION AROUND CRITICAL ROOT ZONE

- TREE PROTECTION NOTES:
- TREE PROTECTION FENCING MUST BE IN PLACE AROUND ALL PRESERVED TREES BEFORE ANY CONSTRUCTION, STAGING, STORAGE OF MATERIALS OR VEHICLES OR EQUIPMENT, LAND CLEARING OR TREE REMOVAL OCCURS ON SITE.
 - TREE PROTECTION FENCING WILL BE LOCATED AT 1-FT RADIUS FROM EVERY PRESERVED TREE FOR EVERY TRUNK DIAMETER INCH OR AT THE EDGE OF ANY PAVED SURFACE WITHIN THAT AREA. ONLY THE PROJECT LANDSCAPE ARCHITECT MAY APPROVE MODIFICATIONS TO THIS STANDARD.
 - TREE PROTECTION FENCE SPECIFICATIONS WILL BE CHAIN LINK WITH METAL POSTS SECURED FIRMLY.
 - NO CONSTRUCTION ACTIVITY, EXCAVATION, VEHICLE ACCESS OR ANY STORAGE OF SPOIL, MATERIALS OR EQUIPMENT WILL OCCUR WITHIN THE TREE PROTECTION FENCE UNLESS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
 - ANY ROOTS OVER 1-INCH DIAMETER FROM ANY PROTECTED TREE THAT ARE EXPOSED OR DAMAGED MUST BE APPROVED FOR REMOVAL BY THE PROJECT LANDSCAPE ARCHITECT.
 - ALL TREE PRUNING TO ALLOW CONSTRUCTION WILL BE COMPLETED BY A CURRENTLY QUALIFIED ISA CERTIFIED ARBORIST AFTER CONSULTATION WITH THE PROJECT LANDSCAPE ARCHITECT.
 - THE PLAN WILL PROTECT ALL ADJACENT TREES EXISTING ON THE PROPERTY AND ADJACENT PRIVATE PROPERTY.
 - TREE PROTECTION FENCING MUST BE MAINTAINED IN PLACE AT THE COMPLETION OF THE PROJECT UNTIL APPROVED BY THE CITY OF LOUISVILLE OR THE PROJECT LANDSCAPE ARCHITECT.

PROPOSED	EXISTING	
SD	SD	STORMDRAIN LINE
SS	SS	SANITARY SEWER LINE
W	W	WATER LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
UGE	UGE	UNDERGROUND ELECTRIC LINE
COM	COM	COMMUNICATIONS LINE
G	G	GAS LINE
COND	COND	CONDUIT
		PROPERTY LINE
		PROPOSED WORK AREA
		STORMDRAIN INLET
		STORMDRAIN COMBINATION BOX
		STORMDRAIN MANHOLE
		DOWNSPOUT (ROOF DRAIN W/CONNECTION)
		ROOFDRAIN (OUTLET TO LANDSCAPING)
		CLEANOUT
		SANITARY SEWER MANHOLE
		ELECTRICAL/TRANSFORMER BOX
		FIRE HYDRANT
		WATER METER & DIAMETER IF KNOWN
		WATER, IRRIGATION, POST INDICATOR VALVES
		SITE LIGHT
		POWER POLE & GUY WIRE



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TREE
INVENTORY

PUD:
9 OF 30

-

4 INSTALL: 3-INCH TO 4-INCH DEPTH OF DECORATIVE ROCK MULCH (BUFF COLOR TO MATCH ADJACENT ROCK MULCH TO THE EAST) OR APPROVED EQUAL OVER DEWALT PRO-5 WEED BARRIER BENEATH (3,394± SF).
-

5 INSTALL: 4-INCH DEPTH SHREDDED BARK MULCH OR APPROVED EQUAL OVER DEWALT PRO-5 WEED BARRIER BENEATH (4,114± SF).
- STEEL OR PLASTIC EDGING:
-

6 INSTALL LANDSCAPE EDGING BETWEEN ALL CHANGES IN MULCH. STEEL EDGING OR BROWN PLASTIC EDGING PER OWNER'S DIRECTION.
-

7 VISION TRIANGLE: TREES AND SHRUBS IN VISION TRIANGLE TO BE PRUNED TO MAINTAIN VISION CLEARANCE.

SCALE (FT.)

0 10 20 30



PLANNED UNIT DEVELOPMENT
3RD AMENDMENT
TRACT II & IIA, LOUISVILLE
NORTH 7TH FILING
CASE #: PUD-000453-2023

DECIDUOUS SHADE TREES							
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	WATER NEEDS	TYP. MATURE SIZE	
						HEIGHT	SPREAD
GLE INE	4	GLEDITISIA TRICANTHOS INERMIS 'SKYCOLE'	SKYLINE HONEY LOCUST	2" CAL.	M	35'-45'	25'-35'
QUE KEJ	5	QUERCUS ROBUR X ALBA 'JFS-KW1QX'	STREETSPIRE OAK	2" CAL.	M	40'-50'	12'-15'

DECIDUOUS ORNAMENTAL TREES							
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	WATER NEEDS	TYP. MATURE SIZE	
						HEIGHT	SPREAD
CER HEA	4	CERCIS CANADENSIS 'HEARTS OF GOLD'	HEARTS OF GOLD EASTERN REDBUD	2" CAL.	L-M	20'-25'	18'-0"
MAL SPR	4	MALUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2" CAL.	L-M	20'-25'	15'-20'

DECIDUOUS SHRUBS							
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	WATER NEEDS	TYP. MATURE SIZE	
						HEIGHT	SPREAD
BER CNC	3	BERBERIS THUNBERGII 'CONCORDE'	CONCORDE JAPANESE BARBERRY	5 GAL.	L-M	18"-24"	18"-24"
BUD BHR	8	BUDDLEJA DAVIDII 'TOBUD1202'	BUZZ HOT RASPBERRY BUTTERFLY BUSH	5 GAL.	L-M	3'-5'	3'-0"
EVO ODO	15	EUONYMUS ALATUS 'ODOM'	LITTLE MOSES DWARF BURNING BUSH	5 GAL.	M	30"-36"	30"-36"
FOR NBS	15	FORSYTHIA X INTERMEDIA 'NIMBUS'	SHOW OFF SUGAR BABY DWARF FORSYTHIA	5 GAL.	L-M	18"-30"	24"-36"
KOL AMA	3	KOLKWITZIA AMABILIS 'SMNKADTF' JOLENE JOLENE	JOLENE JOLENE BEAUTYBUSH	5 GAL.	L-M	3'-6'	4'-6'
LON CGB	24	LONICERA NITIDA 'GOLDEN GLOW'	THUNDERBOLT HONEYSUCKLE	5 GAL.	L-M	3'-4'	3'-4'
PHI MI4	6	PHILADELPHUS X VIRGINALIS 'MINIATURE SNOWFLAKE'	MINIATURE SNOWFLAKE MOCKORANGE	5 GAL.	L-M	2'-4'	2'-3'
PHY TI6	22	PHYSOCARPUS OPULIFOLIUS 'SMPOTW'	TINY WINE NINEBARK	5 GAL.	L-M	3'-4'	3'-4'
SPI MAG	12	SPIRAEA JAPONICA 'WALBUMA'	MAGIC CARPET JAPANESE SPIREA	5 GAL.	L-M	12"-24"	24"-36"
SYM CXD	4	SYMPHORICARPOS X DOORENBOSII 'KOLCAN'	FIRST EDITIONS CANDY CORALBERRY	5 GAL.	M	24"-30"	30"-36"
SYR BLD	4	SYRINGA X 'SMSJBP7'	BLOOMERANG DARK PURPLE LILAC	5 GAL.	L-M	4'-6'	4'-6'

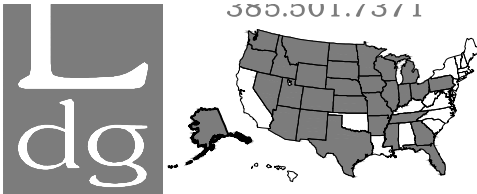
EVERGREEN SHRUBS							
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	WATER NEEDS	TYP. MATURE SIZE	
						HEIGHT	SPREAD
JUN AMI	47	JUNIPERUS COMMUNIS DEPRESSA 'AMIDAK'	BLUEBERRY DELIGHT JUNIPER	5 GAL.	L	8"-12"	4'-5'
JUN B15	12	JUNIPERUS SCOPULORUM 'BLUE ARROW'	BLUE ARROW JUNIPER	5 GAL.	L	16"-20'	2'-4'
PIC WA9	5	PICEA PUNGENS 'WALDBRUNN'	WALDBRUNN DWARF COLORADO SPRUCE	5 GAL.	L	24"-30"	24"-30"
PIN SLO	29	PINUS MUGO 'SLOWMOUND'	SLOWMOUND MUGO PINE	5 GAL.	L-M	3'-4'	5'-6'

ORNAMENTAL GRASSES							
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	WATER NEEDS	TYP. MATURE SIZE	
						HEIGHT	SPREAD
PEN BUN	11	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	1 GAL.	L-M	16"-20"	20"-24"
SCH "S	19	SCHIZACHYRIUM SCOPARIUM 'SMOKE SIGNAL'	SMOKE SIGNAL BLUESTEM	1 GAL.	L-M	3'-4'	1'-2'

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE QUANTITIES TO BE USED.
- PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. IF SUBSTITUTIONS ARE WARRANTED, PROPOSED LANDSCAPE CHANGES MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANTING. ALL PLANT LOCATIONS ARE APPROXIMATE. IF NECESSARY ADJUST PLANTING LOCATIONS TO ACCOMMODATE UTILITIES AND OTHER UNFORESEEN OBSTACLES. FIELD VERIFY ALL BASE & EXISTING ELEMENTS PRIOR TO CONSTRUCTION & PROVIDE NECESSARY ADJUSTMENTS.
- PRIOR TO PLANTING THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND ALL PLANTING AREAS SHALL BE MOISTENED PRIOR TO PLANTING.
- SANDY LOAM TOPSOIL TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 4" TOPSOIL IN ALL NEW TURF GRASS AREAS AND 6" TOPSOIL IN PLANTER BEDS. PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ACCOMMODATE NEW TOPSOIL AND/OR PLANTER BED MULCH TO REACH FINISHED GRADE. TOPSOIL MIX FOR ALL AREAS TO MEET THE FOLLOWING CRITERIA:

pH 5.5-8.0
MINIMUM 1% ORGANIC MATTER
TEXTURE (PARTICLE SIZE PER USDA SOIL CLASSIFICATION); SAND <70% CLAY <30%
SILT: = BALANCE
STONE FRAGMENTS (GRAVELS OR ANY SOIL PARTICLE GREATER THAN 2 MM IN SIZE): <5% (BY VOLUME)
- CONCRETE MOWCURB, STEEL EDGING, OR 6" PROFESSIONAL BLACK PLASTIC EDGING TO BE INSTALLED BETWEEN PLANTER AREAS AND TURF SOD.
- MULCH PER LANDSCAPE PLAN TO BE IMPLEMENTED AT A DEPTH OF 3" TO 4" IN ALL TREE, SHRUB, AND PERENNIAL PLANTER AREAS. PULL MULCH MIN. 3" AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6" AWAY FROM ALL TREES. MULCH TO BE PLACED OVER DEWITT PRO 5 WEED BARRIER FABRIC. PRIOR TO PLACEMENT OF WEED FABRIC, TREAT AREAS WITH PRE-EMERGENT HERBICIDE, APPLY PER MANUFACTURERS RECOMMENDATIONS.
- INSTALLATION SHALL COMPLY WITH ALL NATIONAL, STATE AND LOCAL LAWS AND ORDINANCES.
- ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF THE QUALITY AND PERFORMANCE SPECIFIED, AND SHALL MEET THE REQUIREMENTS OF THIS SYSTEM. USE MATERIALS AS SPECIFIED, NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN PERMISSION OF THE OWNER OR LANDSCAPE ARCHITECT.
- PLANT MATERIAL SHALL NOT BE ROOT BOUND. WATER PLANTS THOROUGHLY THE SAME DAY AS PLANTING TO SETTLE BACKFILL, FINISH BACKFILLING FORM A WATER BASIN AROUND EACH PLANT TO ENSURE PROPER WATER COLLECTION, AND WATER AGAIN.
- CONTRACTOR TO FERTILIZE TREES, SHRUBS, PERENNIALS, AND GRASSES WITH MILLERS A TO Z MIX ACCORDING TO MANUFACTURERS RECOMMENDATIONS.
- THE OWNER OR OWNERS REPRESENTATIVE SHALL HAVE THE AUTHORITY TO REQUIRE THAT TREES ARE STAKED OR TO REJECT STAKING AS AN ALTERNATIVE WAY TO STABILIZE THE TREE. TREES THAT REQUIRE ROOT BALL MODIFICATIONS PRIOR TO PLANTING ARE HIGHLY RECOMMENDED FOR STAKING TO TEMPORARILY SUPPORT THE TREE. PLANTS SHALL STAND PLUMB AFTER STAKING. REMOVE TREE STAKING AFTER ONE FULL GROWING SEASON UNLESS DIRECTED BY OWNER.
- MONITOR ALL PLANTS TO ENSURE LONGEVITY AND THAT NO SETTLING OCCURS. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS UNTIL PROJECT COMPLETION AS DETERMINED BY THE OWNERS. TURF SHALL BE CONSIDERED FULLY ESTABLISHED WHEN GRASS STANDS ARE UNIFORM AND THICK, WITH NO BARE OR THIN SPOTS, AND ROOTS HAVE BEGUN TO SPREAD AND KNIT TOGETHER. NO WEEDS SHALL BE ALLOWED IN THE GRASS. THE MAINTENANCE WORK REQUIRED SHALL INCLUDE BUT NOT BE LIMITED TO: DAILY WATERING AS NEEDED; WEEDING AND REMOVAL OF ALL WEEDS FROM PLANTING AREAS; REPLACEMENT OF ANY DEAD, DYING, OR DAMAGED TREES, SHRUBS, OR PERENNIALS; FILLING AND REPLANTING OF ANY LOW AREAS WHICH MAY CAUSE STANDING WATER; ADJUSTING SPRINKLER HEAD HEIGHTS AND WATERING PATTERNS; FILLING AND RE-COMPACTION OF ERODED AREAS ALONG WITH ANY RE-PLANTING; GRASS SHALL BE MOWED WHEN BLADES REACH 3" TALL, NO MORE THAN $\frac{1}{3}$ OF THE BLADE SHALL BE REMOVED PER CUTTING, CUTTING FREQUENCY SHALL BE ONCE EVERY 5 TO 7 DAYS; AND WEEKLY REMOVAL OF TRASH, LITTER, CLIPPINGS, AND ALL FOREIGN DEBRIS.
- THE LANDSCAPE CONTRACTOR SHALL LEAVE THE SITE IN A CLEAN CONDITION, REMOVING ALL UNUSED MATERIAL, TRASH, AND TOOLS.
- AT SUBSTANTIAL COMPLETION OF ALL WORK OUTLINED IN THESE PLANS, THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNER AND ARRANGE FOR A WALK THROUGH.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE FOR 30 DAYS PAST THE FINAL INSPECTION. THE MAINTENANCE IS TO INCLUDE WEEDING PLANTER BEDS, SPRAYING THE TURF AREAS FOR WEEDS AND FERTILIZATION (1 APPLICATION AFTER INITIAL APPLICATION), MOWING, TRIMMING, AND IRRIGATION REPAIRS.
- ALL TREES, SHRUBS, AND PERENNIALS SHALL BE GUARANTEED BY THE CONTRACTOR TO GROW AND BE IN GOOD HEALTH FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION OF THE MAINTENANCE PERIOD.
- THE ONLY CONDITIONS WHICH RELIEVE THE CONTRACTOR FROM THE GUARANTEE OF PLANT MATERIALS AS DESCRIBED ABOVE ARE THOSE WHICH CAN BE SHOWN ARE A DIRECT RESULT OF IMPROPER CARE OR WATERING BY THE OWNER OR AN OFFICIAL NATURAL DISASTER.
- THE CONTRACTOR, WITHIN 15 DAYS OF RECEIVING NOTIFICATION, SHALL REMOVE AND REPLACE GUARANTEED PLANT MATERIAL WHICH FAIL TO MEET THE REQUIREMENTS OF THE GUARANTEE. PLANT MATERIAL REPLACEMENT SHALL BE MADE WITH THE SAME TYPE AND SIZE AS SPECIFIED ON THE PLANTING PLAN.



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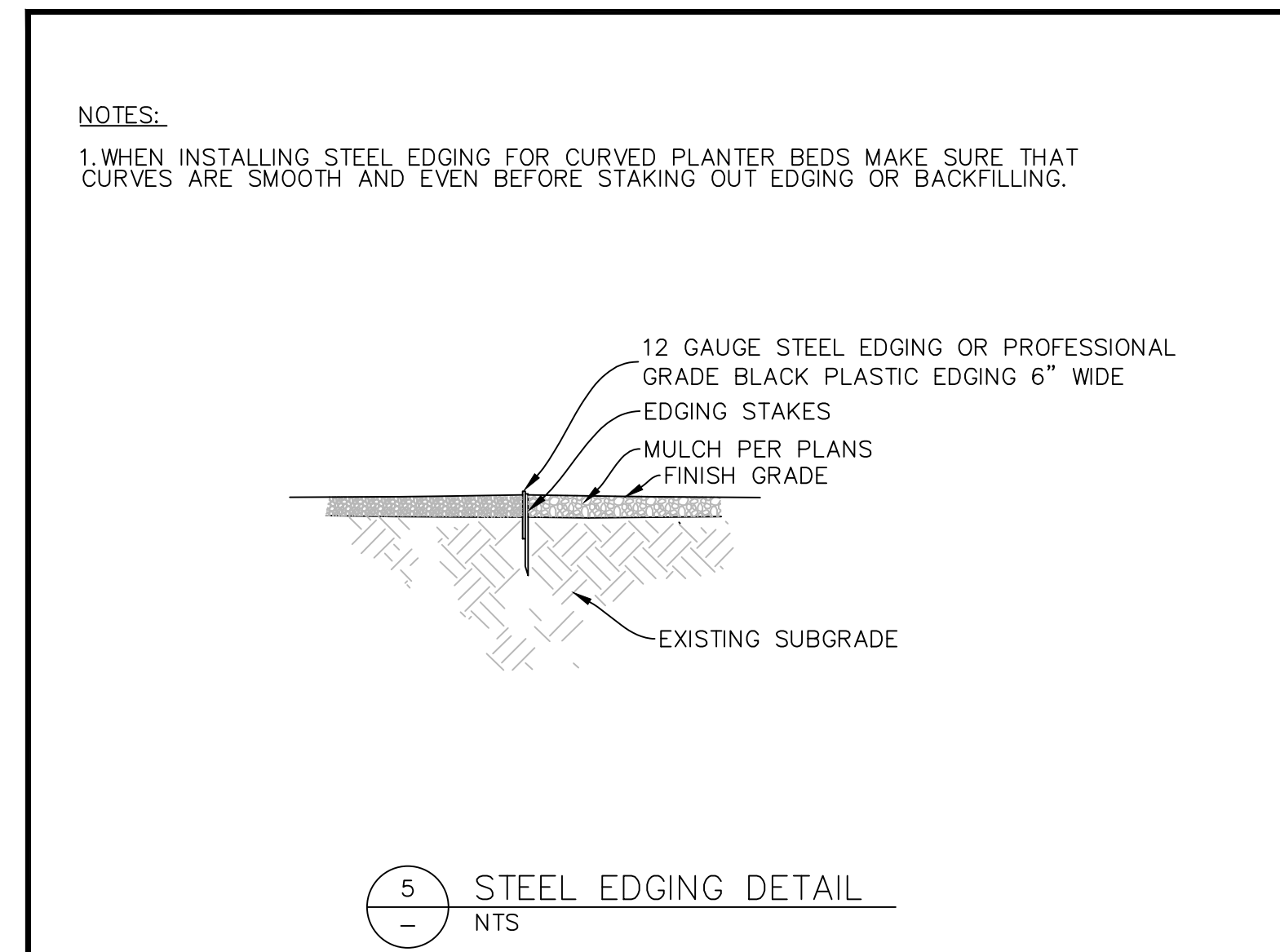
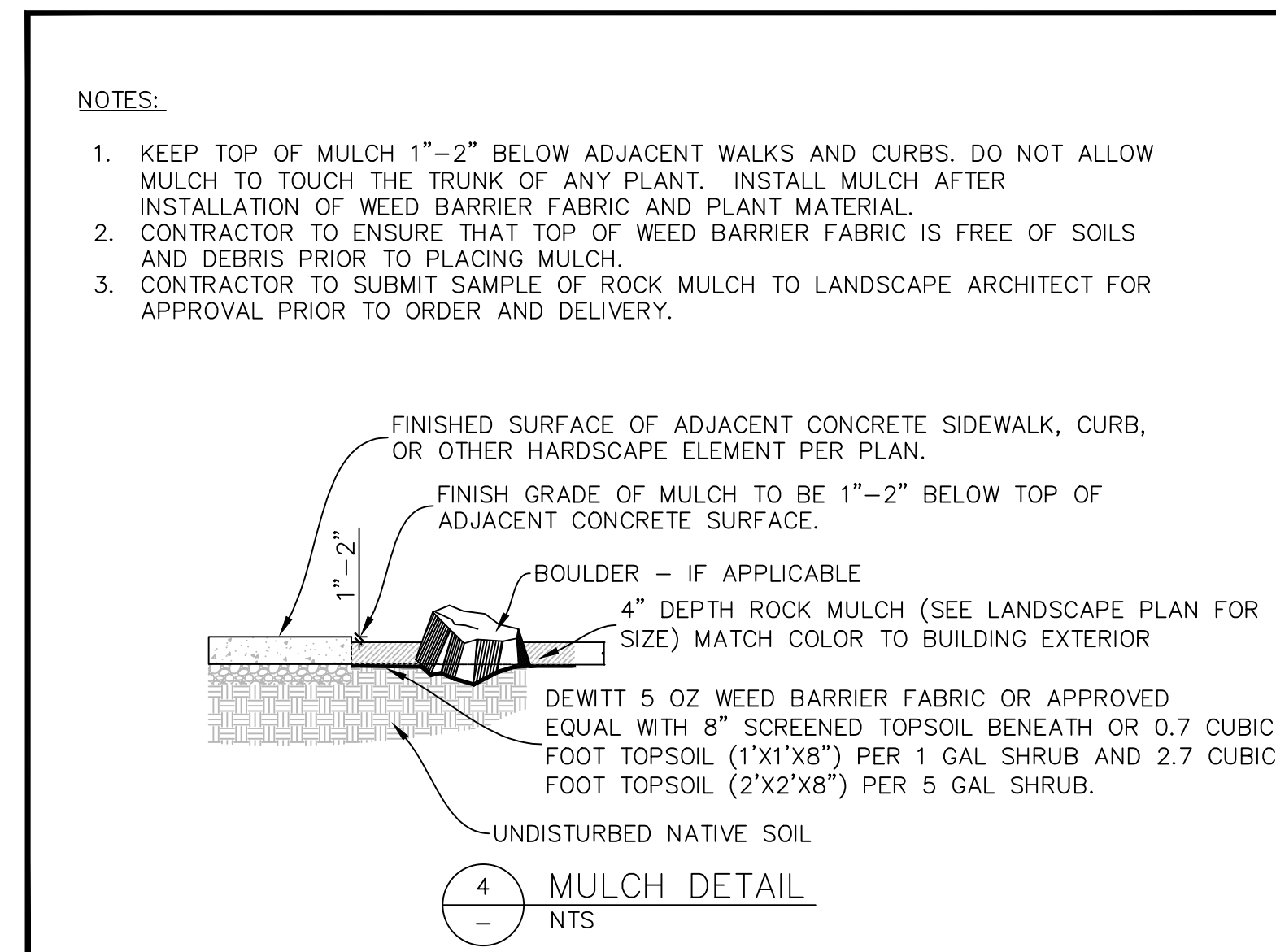
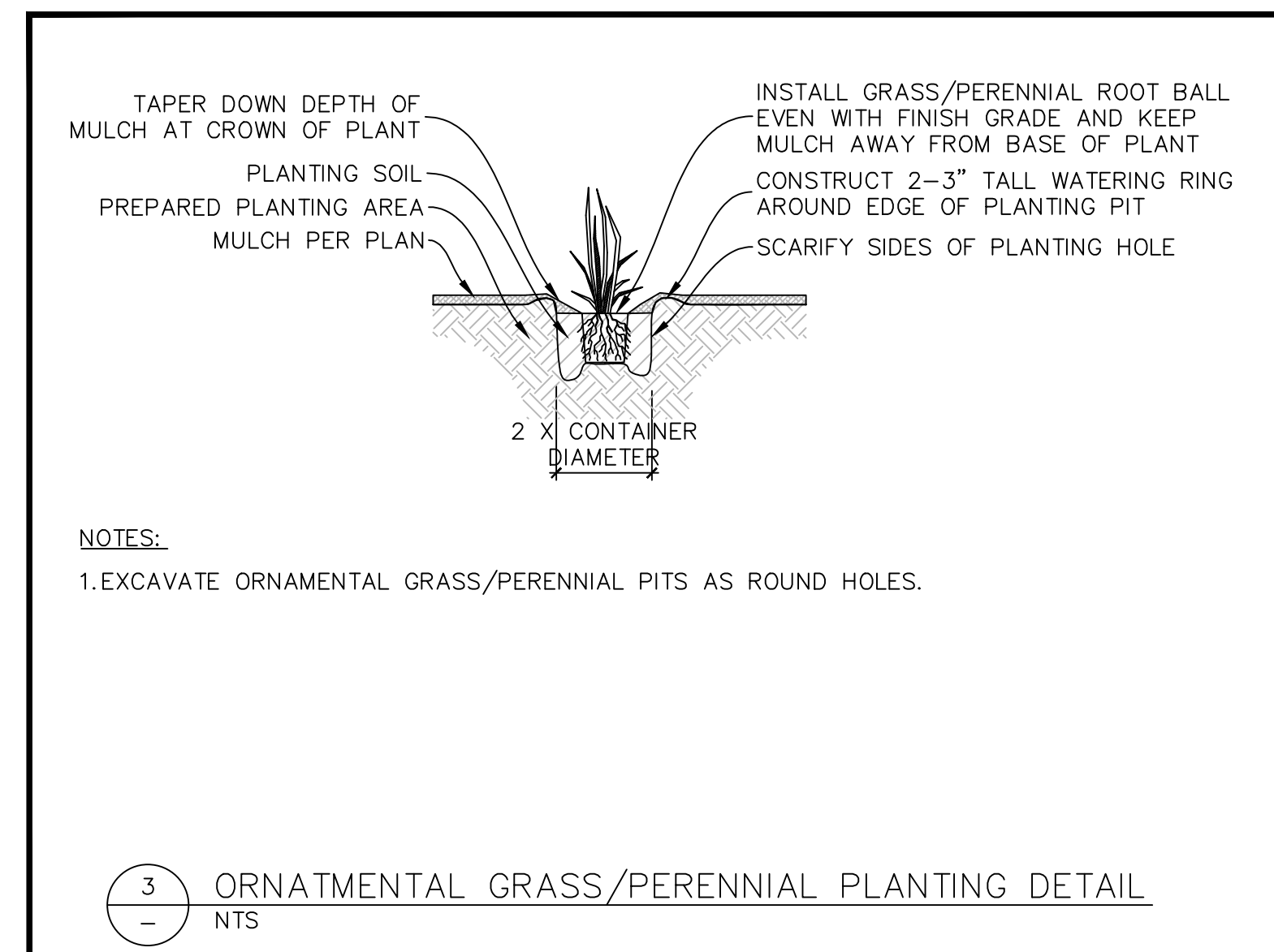
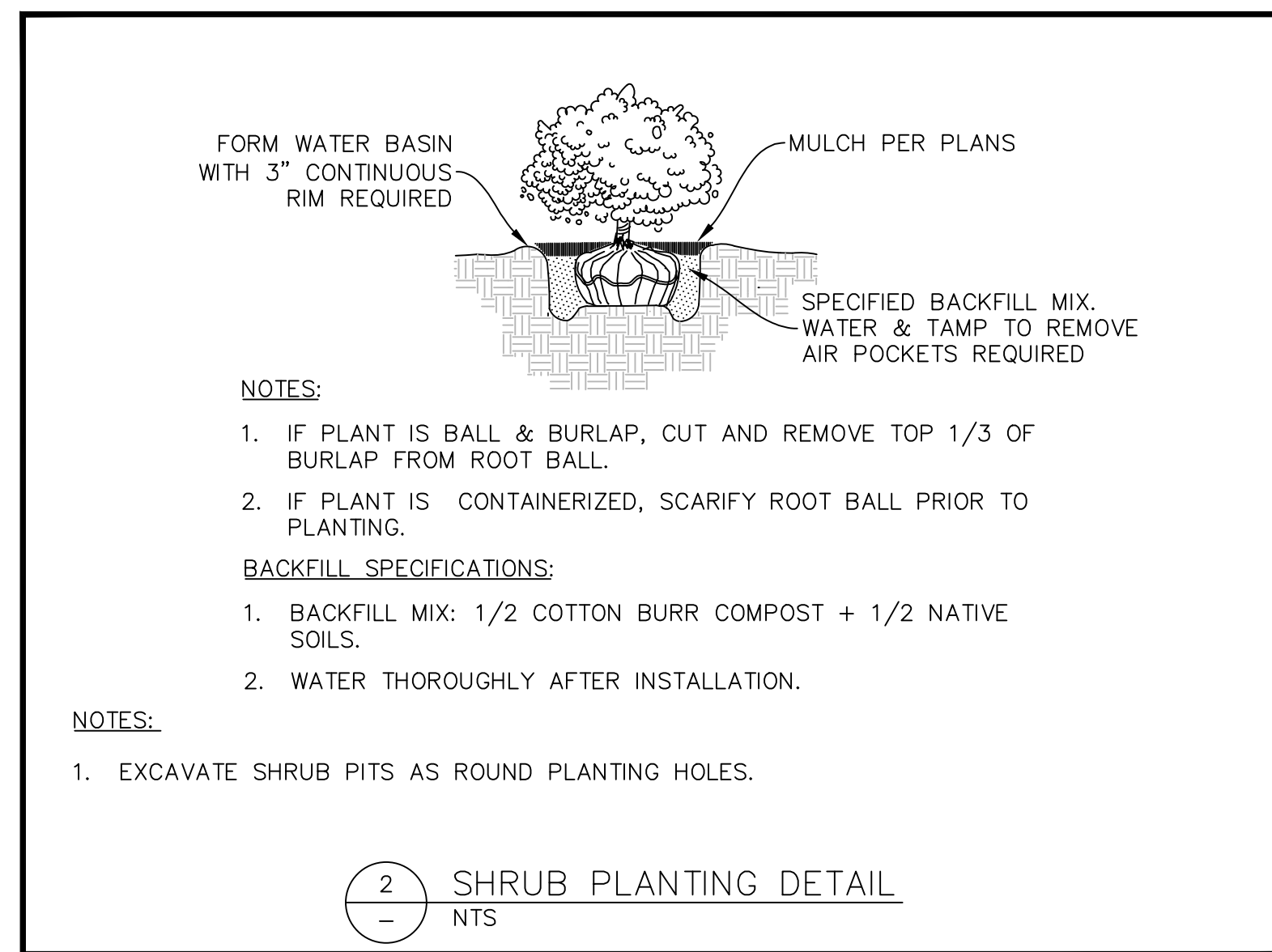
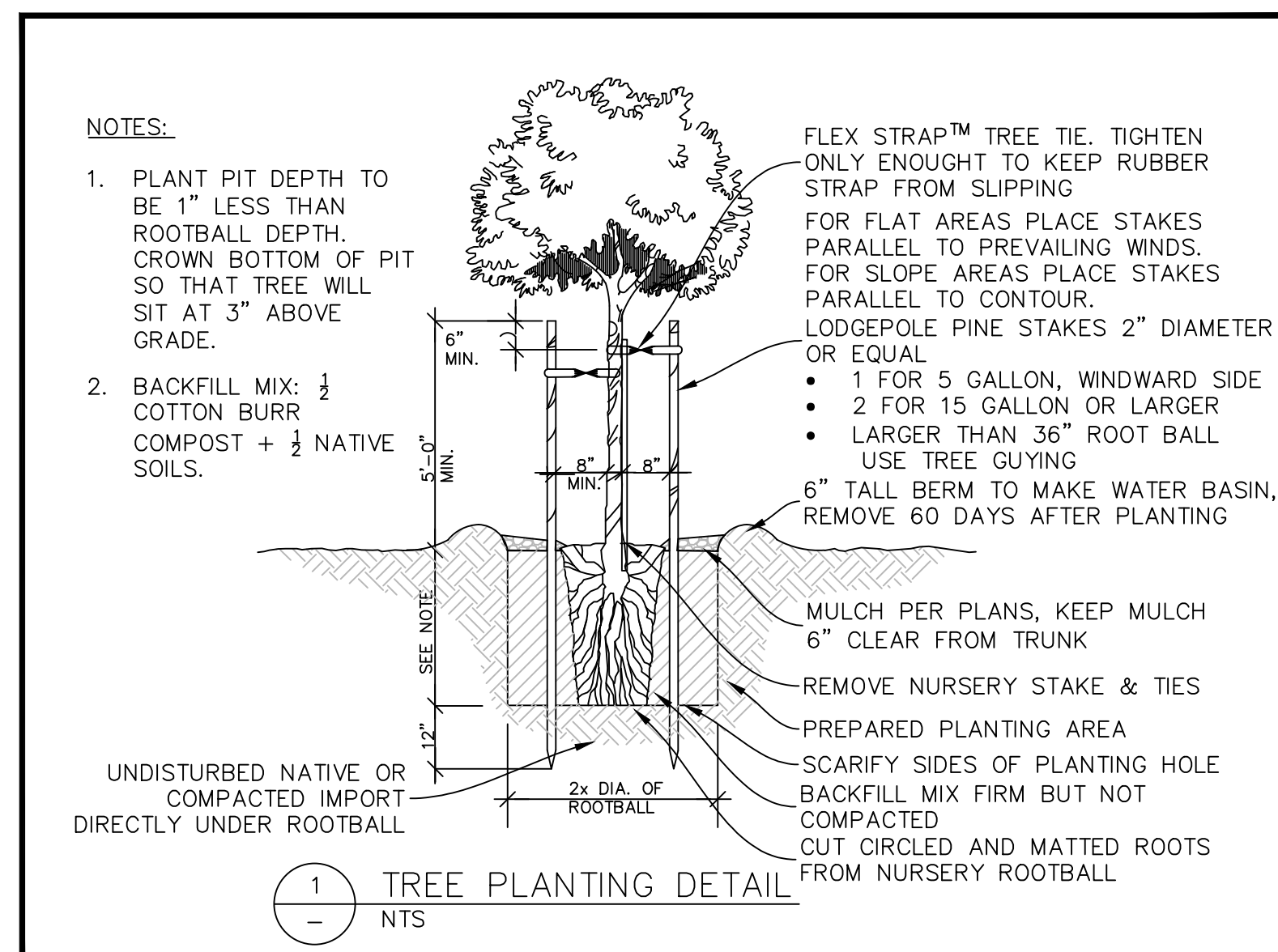


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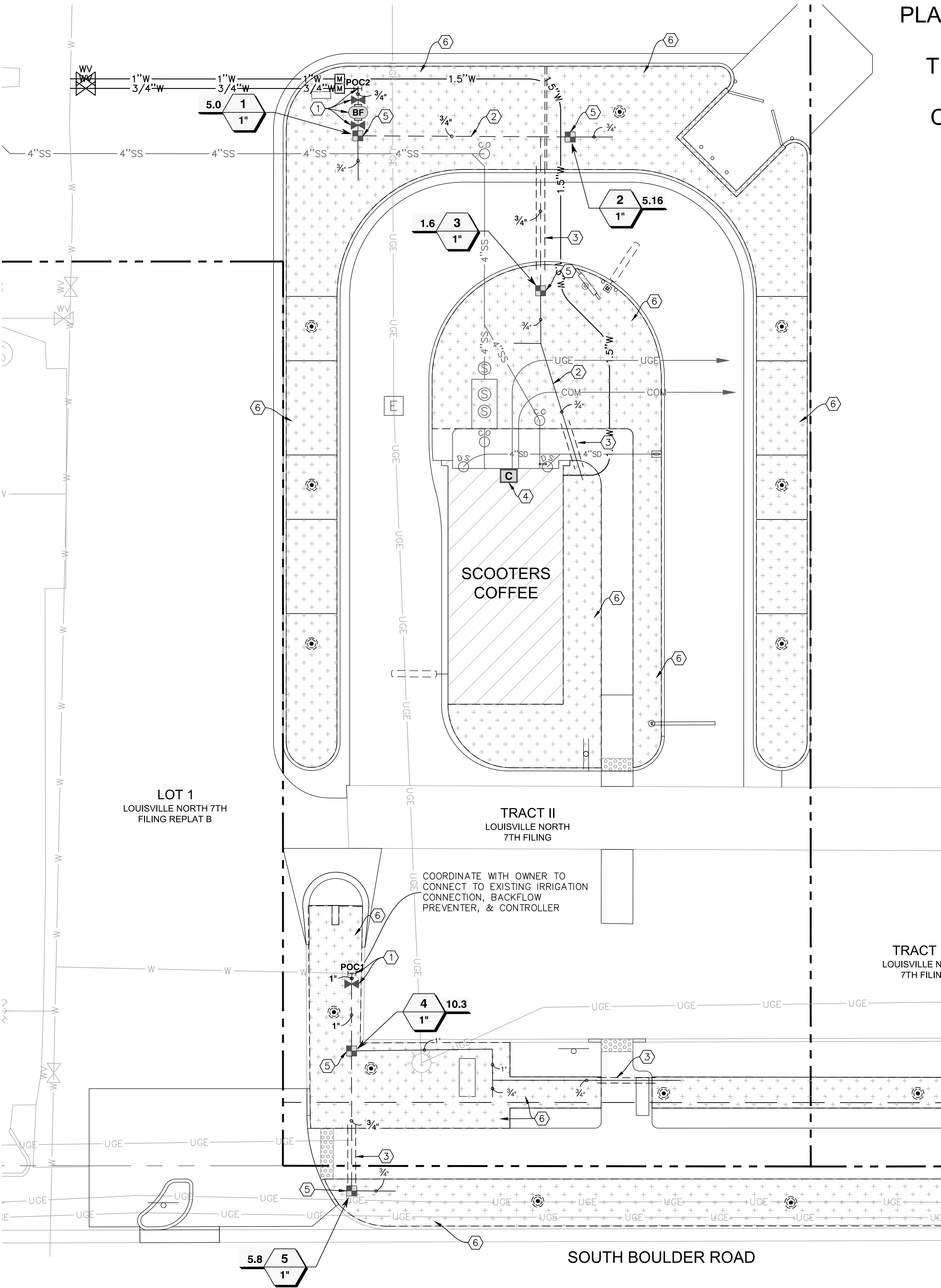
LANDSCAPE
NOTES

PUD:
11 OF 30

PLANNED UNIT DEVELOPMENT
3RD AMENDMENT
TRACT II & IIA, LOUISVILLE
NORTH 7TH FILING
CASE #: PUD-000453-2023



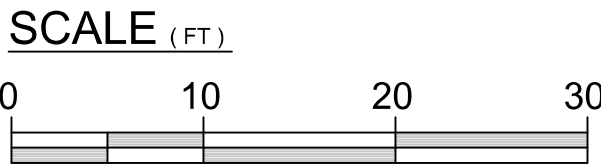
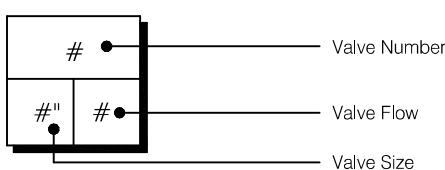
	REQUIRED	EXISTING TOTAL	PROPOSED TOTAL	PROPOSED WORK AREA
TOTAL SITE AREA		192,269 SF	192,269 SF	16,886 SF
TOTAL LANDSCAPE AREA	30% OF TOTAL AREA	18.3% (35,122 SF)	20.9% (40,160 SF)	49.5% (8,367 SF)
PERIMETER LANDSCAPING				
SOUTH BOULDER ROAD STREET FRONTAGE	# / LF			
IN ROW (TREE LAWN)	1 PER 40 LF (188 LF/4.7 TREES)	1 PER 61 LF (3 TREES)	1 PER 40 LF (4 TREES)	1 PER 40 LF (4 TREES)
ON PRIVATE PROPERTY	1 PER 40 LF (188 LF/4.7 TREES)	1 PER 46 LF (4 TREES)	1 PER 40 LF (5 TREES)	1 PER 40 LF (5 TREES)
LANDSCAPE BUFFER TREE REQUIREMENT	1 PER 40 LF (290 LF/8 TREES)			1 PER 40 LF (8 TREES)
EVERGREEN TREES		3 TREES	0 TREES	0 TREES
DECIDUOUS TREES		3 TREES	9 TREES	9 TREES
ORNAMENTAL TREES		1 TREE	1 TREE	9 TREES
	TOTAL	7 TREES	10 TREES	18 TREES
SHRUB BEDS	% OF TOTAL STREETScape AREA	89.4% OF 5265 SF	82.4% OF 5265 SF	82.4% OF 5265 SF
SHRUBS IN ROW	1 SHRUB PER 5 LF (188 LF/38 SHRUBS)	0 SHRUBS	38 SHRUBS	38 SHRUBS
SHRUBS ON PRIVATE PROPERTY	1 SHRUB PER 5 LF (188 LF/38 SHRUBS)	20± SHRUBS	58 SHRUBS	58 SHRUBS
SHRUBS IN LANDSCAPE BUFFER	1 PER 5 LF (290 LF/58 SHRUBS)			58 SHRUBS
	TOTAL	20± SHRUBS	95 SHRUBS	154 SHRUBS
BUILDING SITE LANDSCAPING				
PLANTING BED	25% OF BLDG. PERIMETER (112 LF)			50% OF BLDG. PERIMETER (56 LF)
EVERGREEN TREES				0 TREES
DECIDUOUS TREES				0 TREES
ORNAMENTAL TREES				0 TREES
	TOTAL			0 TREES
SHRUBS/VINES/GRASSES				43 SHRUBS/GRASSES
	TOTAL			43 SHRUBS/GRASSES
MEDIAN LANDSCAPING				
SHRUBS/VINES/GRASSES	1 PER 5 LF (53 LF/11 SHRUBS)			11 SHRUBS
	TOTAL			11 SHRUBS



PLANNED UNIT DEVELOPMENT
3RD AMENDMENT
TRACT II & IIA, LOUISVILLE
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CASE #: PUD-000453-2023

IRRIGATION SCHEDULE (ALL IRRIGATION AREAS ARE MEDIUM WATER ZONES)

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XCZ-100-PRB-COM 1" Wide Flow Drip Control Kit for Commercial Applications. 1" Ball Valve with 1" PESB Valve and 1" Pressure Regulating 40psi Quick-Check Basket Filter. 0.3gpm to 20gpm.	5
	Drip Emitter 9 GPH @ 12" O.C. APPROX. 20 L.F. OF TUBING PER TREE RAINBIRD XFD BROWN DRIPLINE TUBING WITH IN-LINE EMITTER 18" AND 36" FROM TREE BASE, SEE DETAIL	17
	Area to Receive Drip Emitters Rain Bird XB-PC - Medium Water Zone Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph=blue, 1.0gph=black, and 2.0gph=red. Comes with a self-piercing barb inlet x barb outlet. Emitter Notes: 2.0 GPH emitters (2 assigned to each 1 gal. plant) 2.0 GPH emitters (3 assigned to each 5 gal. plant) 2.0 GPH emitters (6 assigned to each 2" Cal. plant)	6,894 s.f.
	Isolation Valve (size to match line size)	3
	Zurn Wilkins 375 1" Reduced Pressure Backflow preventer, install per WaterPro requirements	1
	Rain Bird ESP8LXMEF 8 Station Commercial Controller, Plastic Wall mount. Flow sensing	1
	Point of Connection 1"	1
	Point of Connection 1"	1
	Irrigation Lateral Line: PVC Schedule 40 3/4"	88.0 L.f.
	Irrigation Lateral Line: PVC Schedule 40 1"	27.1 L.f.
	Irrigation Mainline: PVC Schedule 40 3/4"	87.2 L.f.
	Irrigation Mainline: PVC Schedule 40 1"	12.2 L.f.
	Pipe Sleeve: PVC Class 200 SDR 21	42.2 L.f.



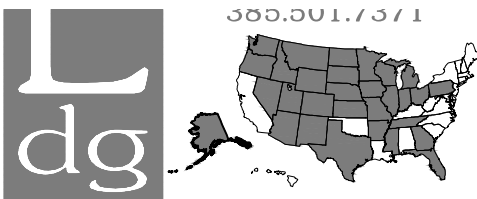
PROPOSED	EXISTING	
SD	SD	STORMDRAIN LINE
SS	SS	SANITARY SEWER LINE
W	W	WATER LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
UGE	UGE	UNDERGROUND ELECTRIC LINE
COM	COM	COMMUNICATIONS LINE
G	G	GAS LINE
COND	COND	CONDUIT
		PROPERTY LINE
		PROPOSED WORK AREA
		STORMDRAIN INLET
		STORMDRAIN COMBINATION BOX
		STORMDRAIN MANHOLE
		DOWNSPOUT (ROOF DRAIN W/CONNECTION)
		ROOFDRAIN (OUTLET TO LANDSCAPING)
		CLEANOUT
		SANITARY SEWER MANHOLE
		ELECTRICAL/TRANSFORMER BOX
		FIRE HYDRANT
		WATER METER & DIAMETER IF KNOWN
		WATER, IRRIGATION, POST INDICATOR VALVES
		SITE LIGHT
		POWER POLE & GUY WIRE

LANDSCAPE NOTES:

- CONTRACTOR MAY ADJUST OR MODIFY LANDSCAPING PLAN AND PLANT SPECIES INDICATED HERE, SO LONG AS ALL CITY REQUIREMENTS ARE MET AND OWNER APPROVES ALL CHANGES.
- CITY OF LOUISVILLE IS NOT RESPONSIBLE FOR THE MAINTENANCE OF LANDSCAPE IMPROVEMENTS WITHIN RIGHT OF WAY OR ON SITE.

KEY TAGS:

- POINT OF CONNECTION: CONNECT ONTO 3/4" IRRIGATION LINE STUB (SEE SHEET C200) PER ALL APPLICABLE CODES AND ORDINANCES. INSTALL BACKFLOW PREVENTER & ISOLATION VALVE(S) IF NOTED (SIZE TO MATCH MAINLINE).
- PIPE TRENCHING: TYPICAL TRENCHING FOR LATERAL AND MAINLINE PIPES
- SLEEVING: TYPICAL SLEEVING UNDER CONCRETE AND ASPHALT SURFACES
- CONTROLLER: COMMERCIAL WALL MOUNT CONTROLLER. COORDINATE ACTUAL LOCATION WITH OWNER
- DRIP CONTROL ZONE VALVE: TYPICAL DRIP CONTROL ZONE VALVE
- DRIP EMITTER AREA: TYPICAL DRIP IRRIGATION EMITTER AREA



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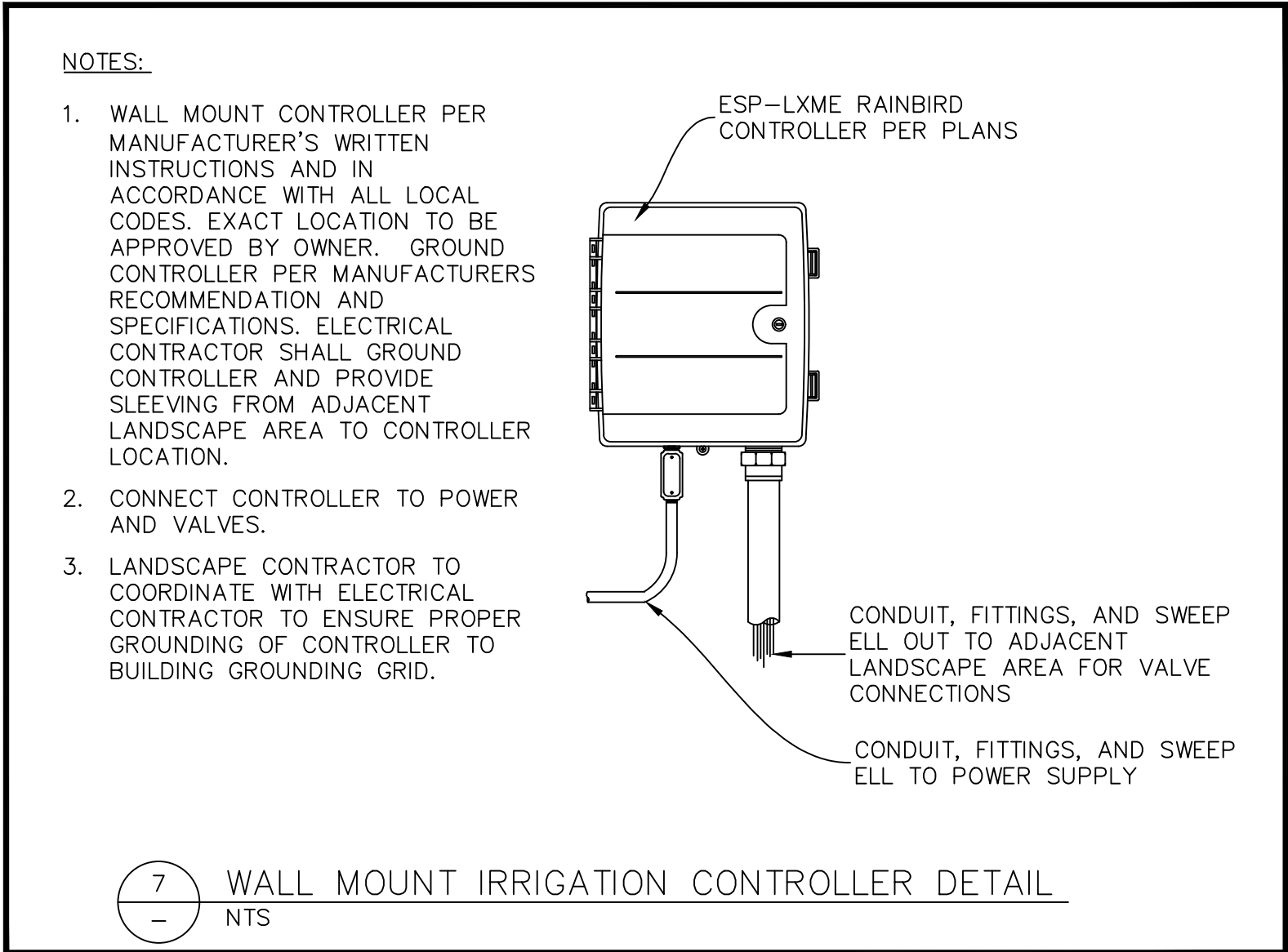
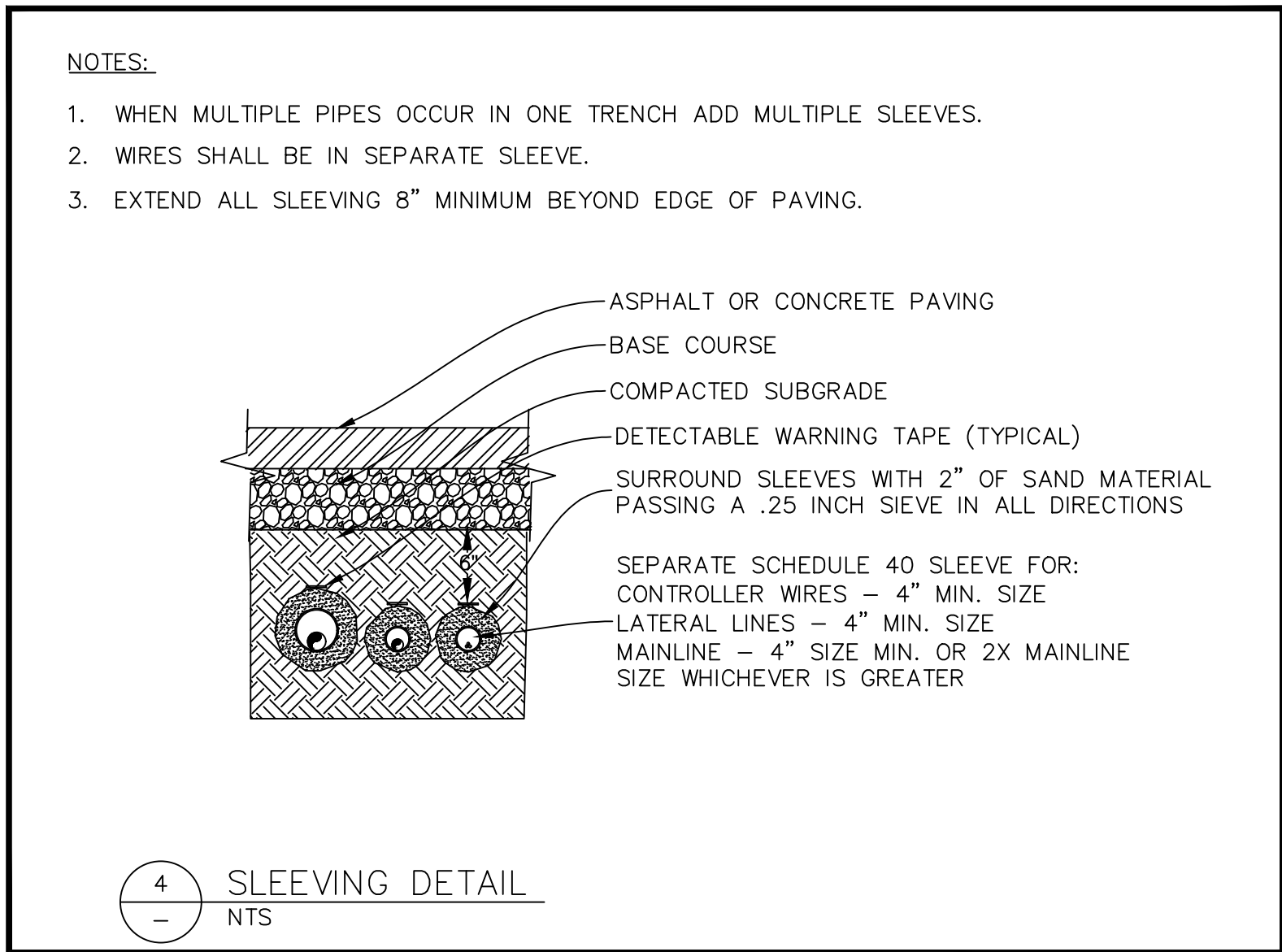
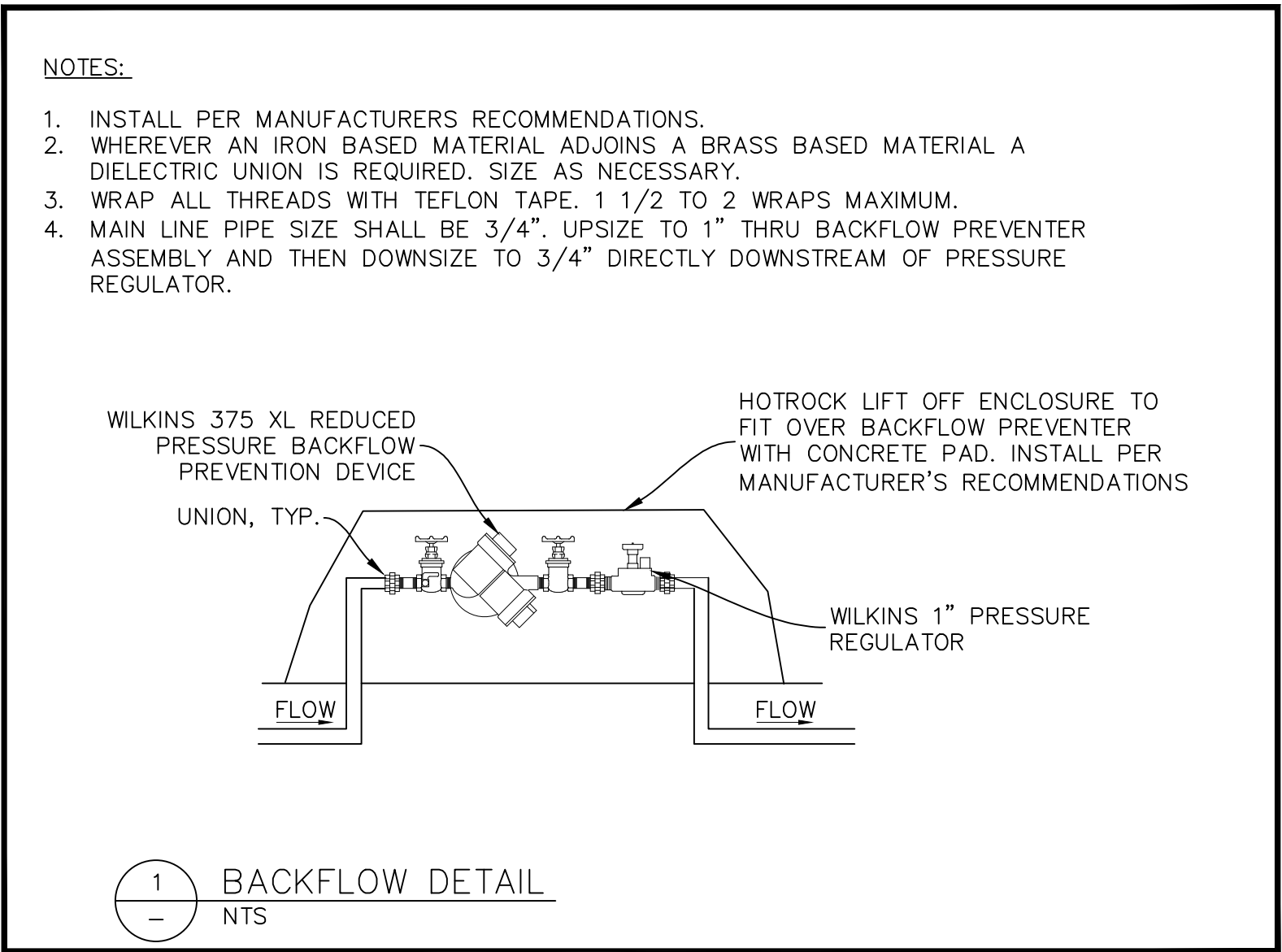
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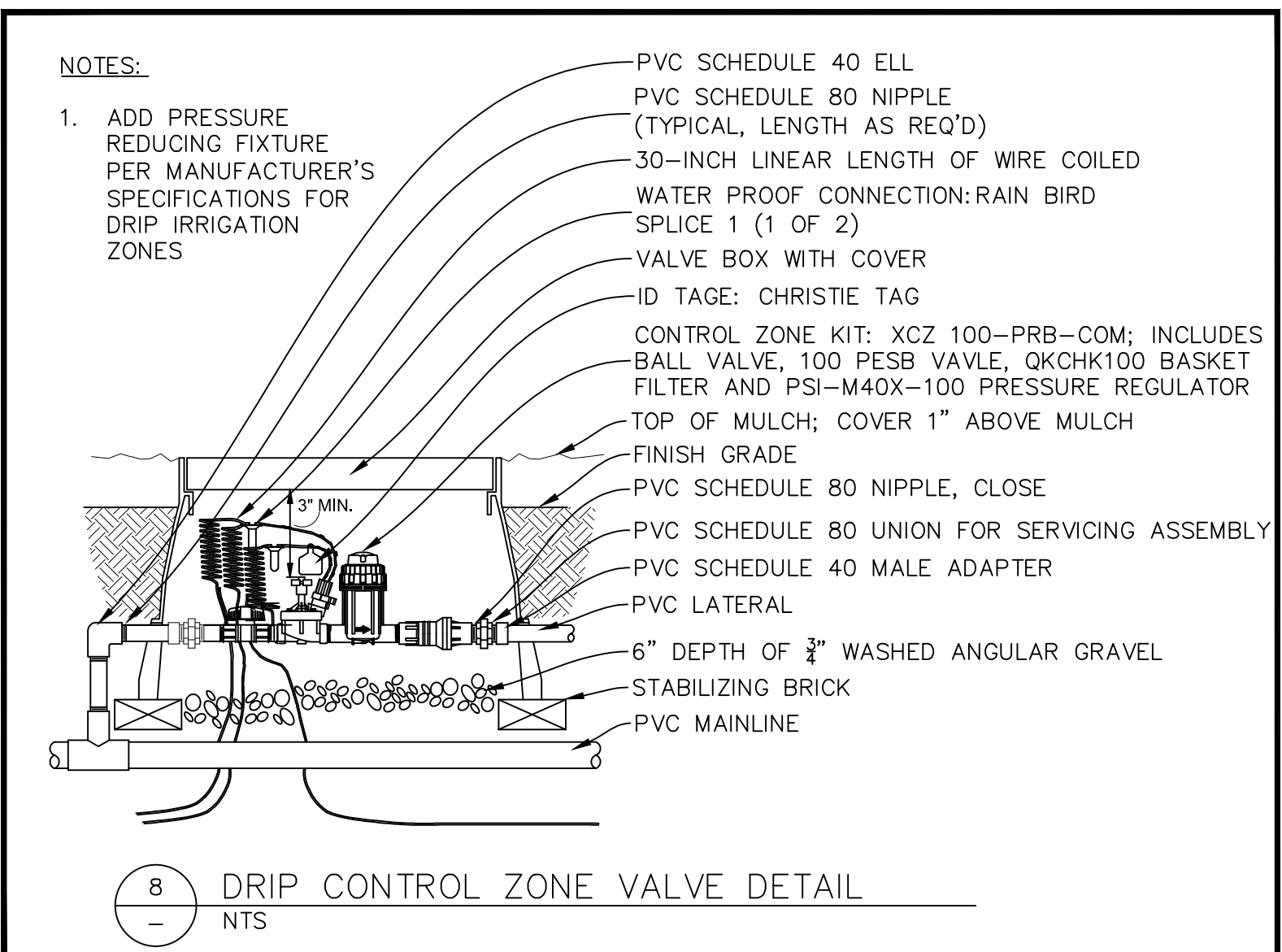
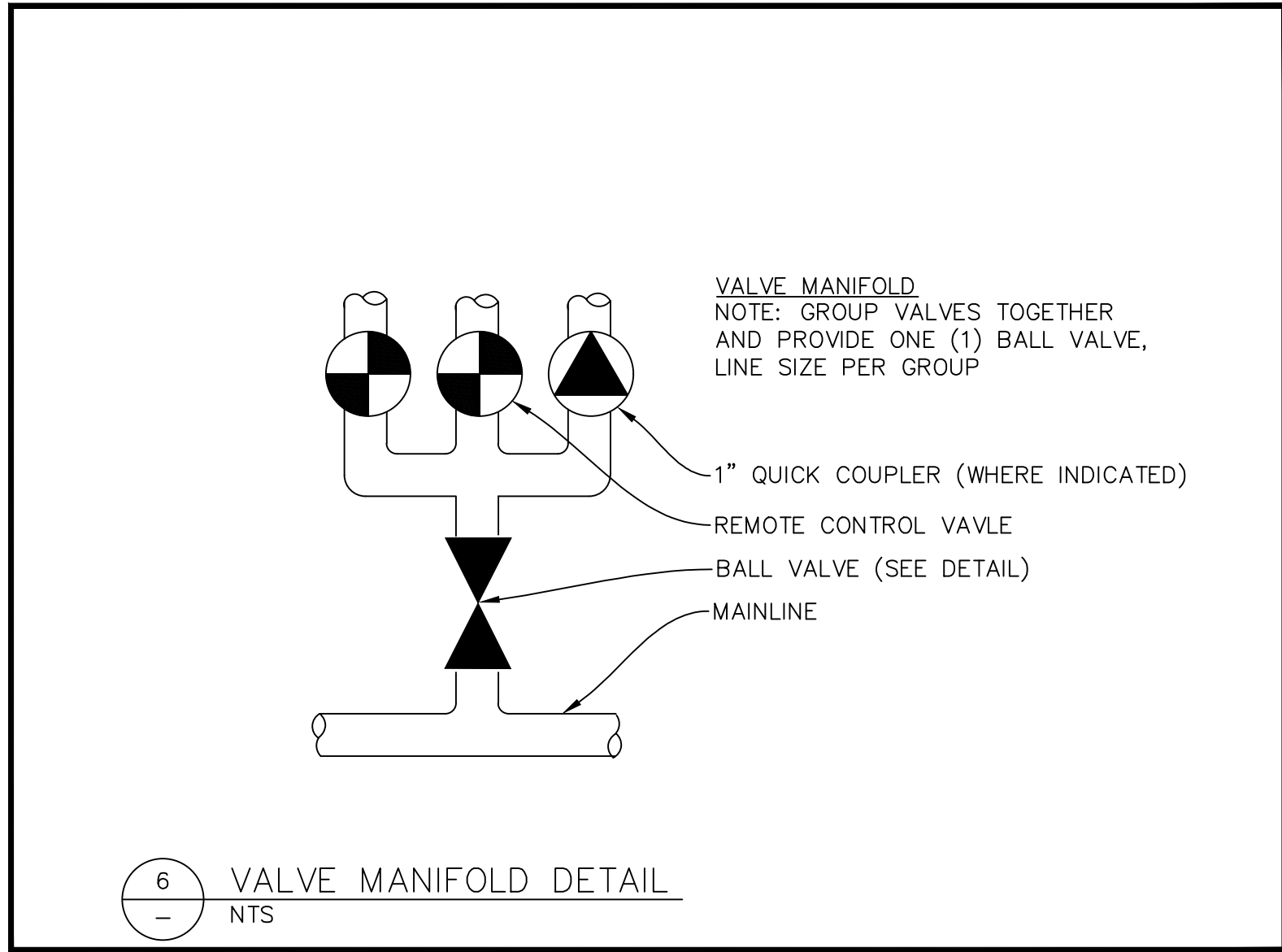
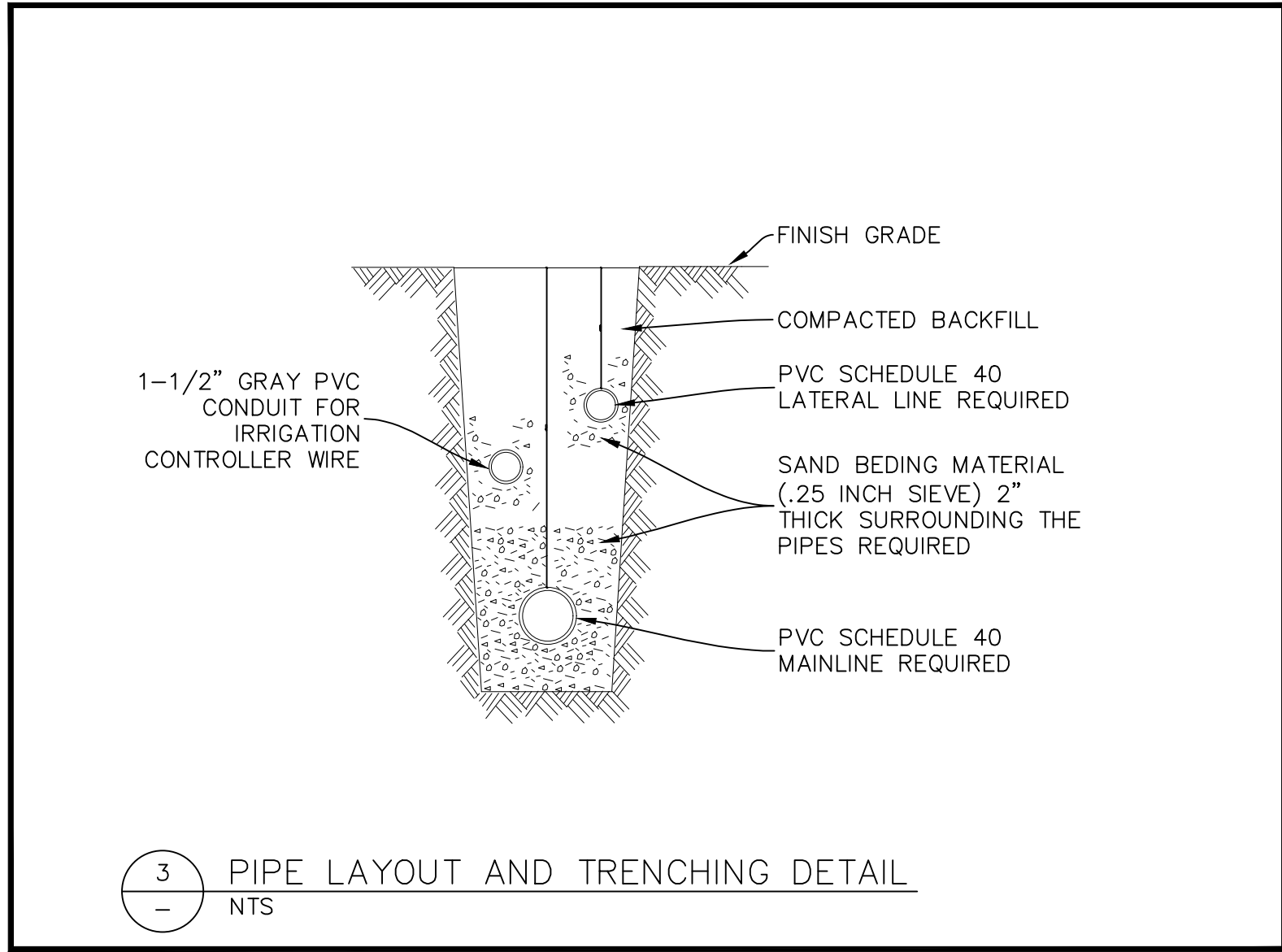
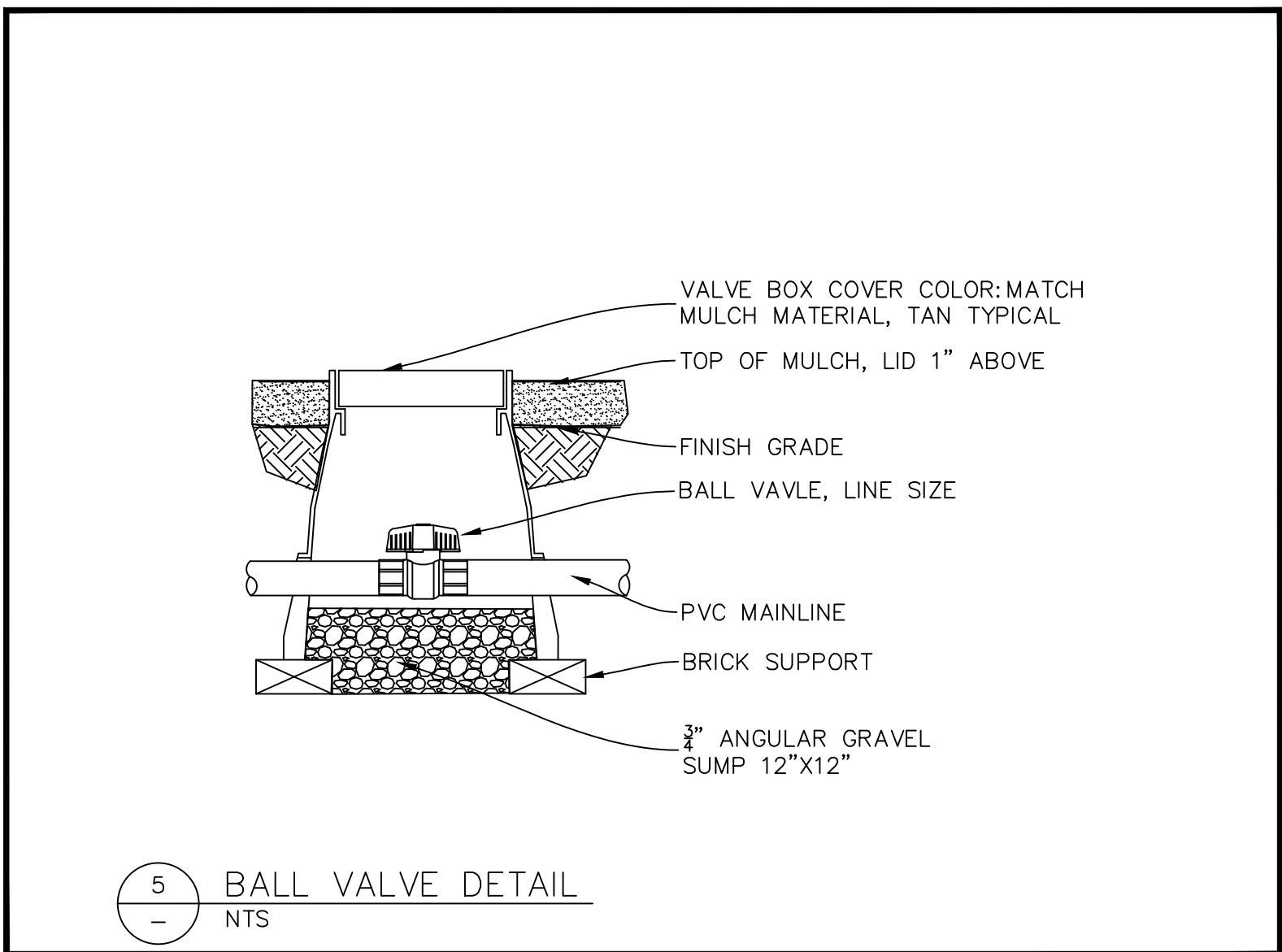
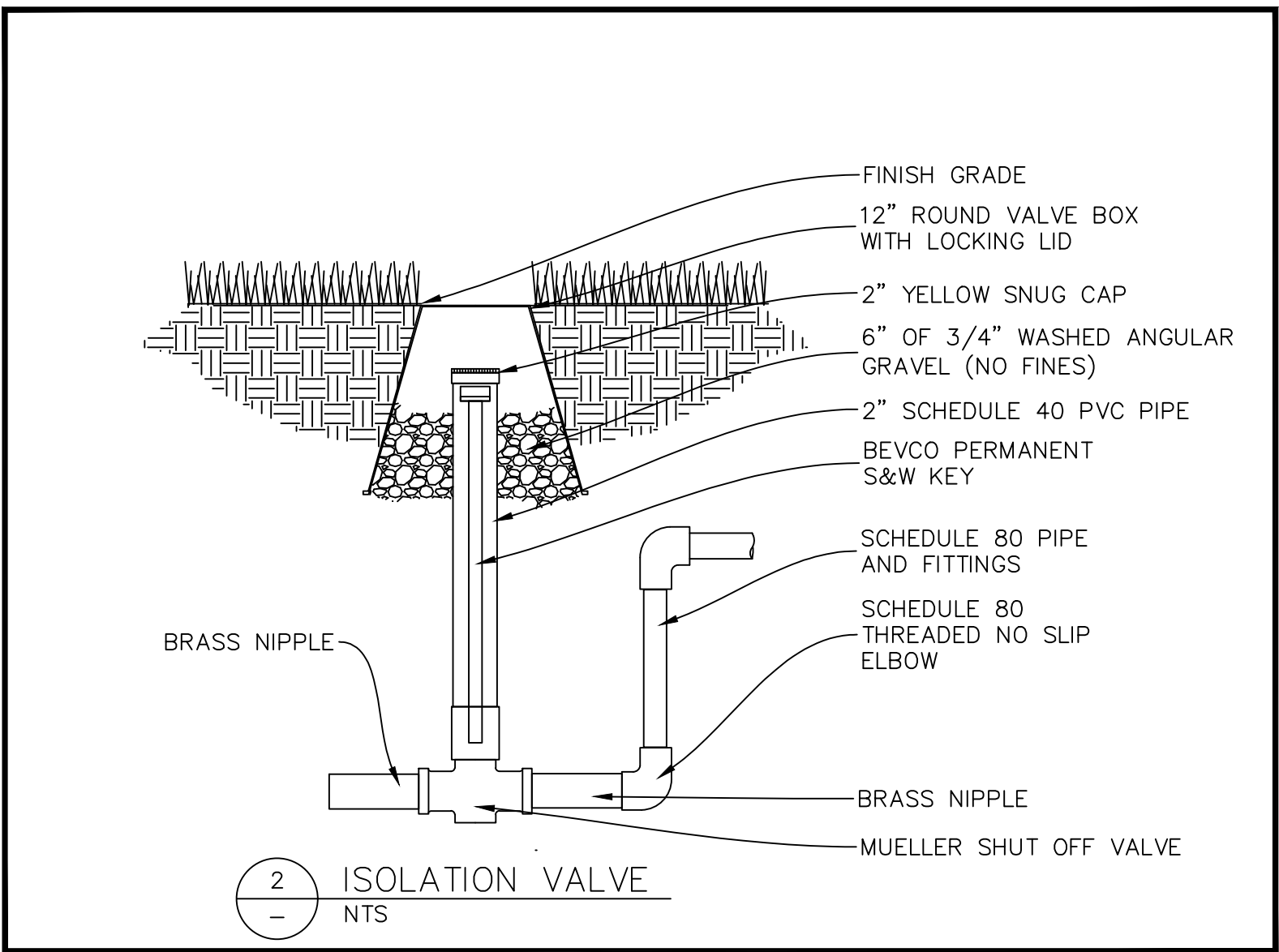
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IRRIGATION
PLAN

PUD:
13 OF 30



VILLAGE SQUARE SHOPPING CENTER
PLANNED UNIT DEVELOPMENT
3RD AMENDMENT
TRACT II & IIA, LOUISVILLE
NORTH 7TH FILING
CASE #: PUD-000453-2023



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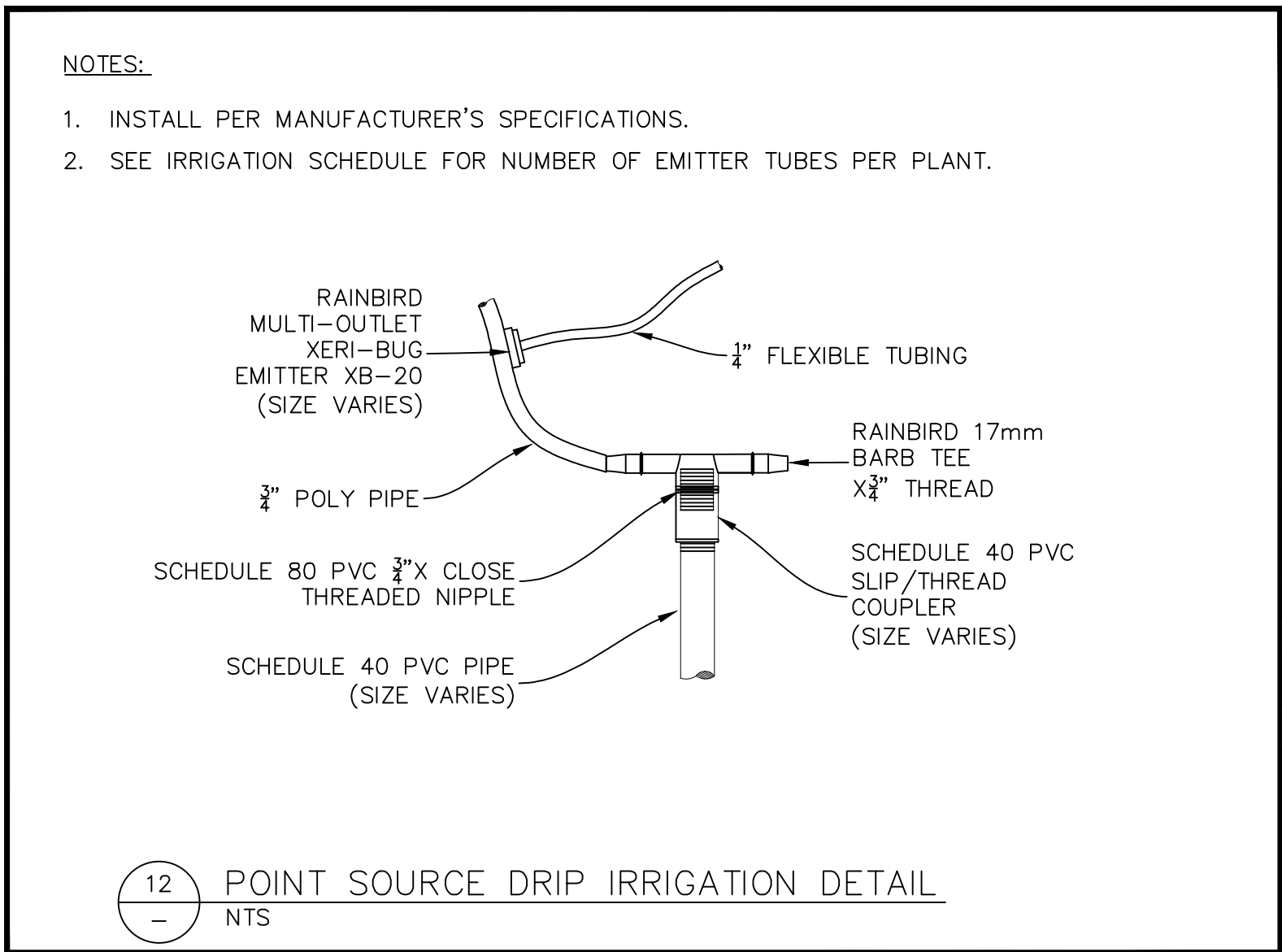
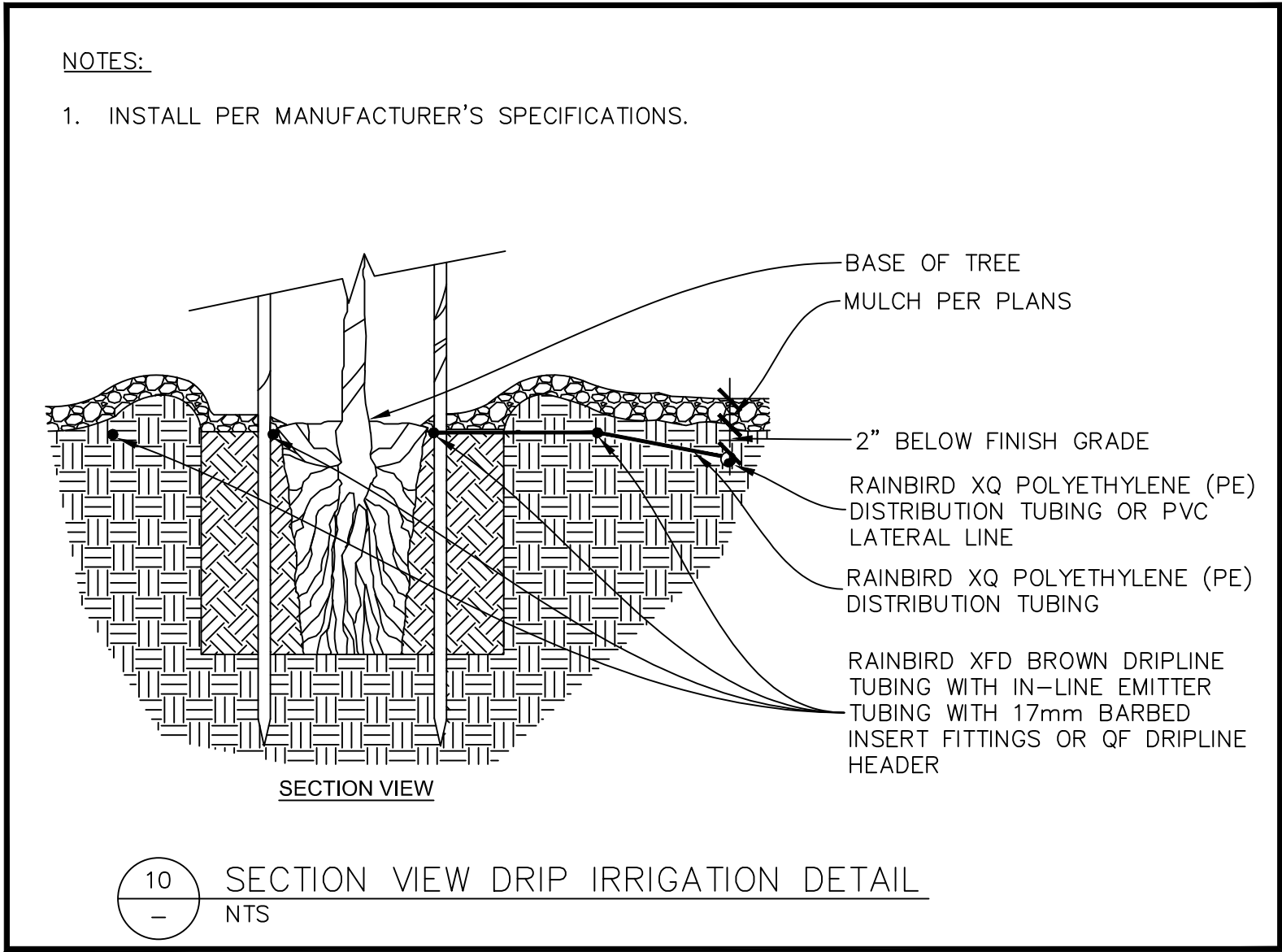
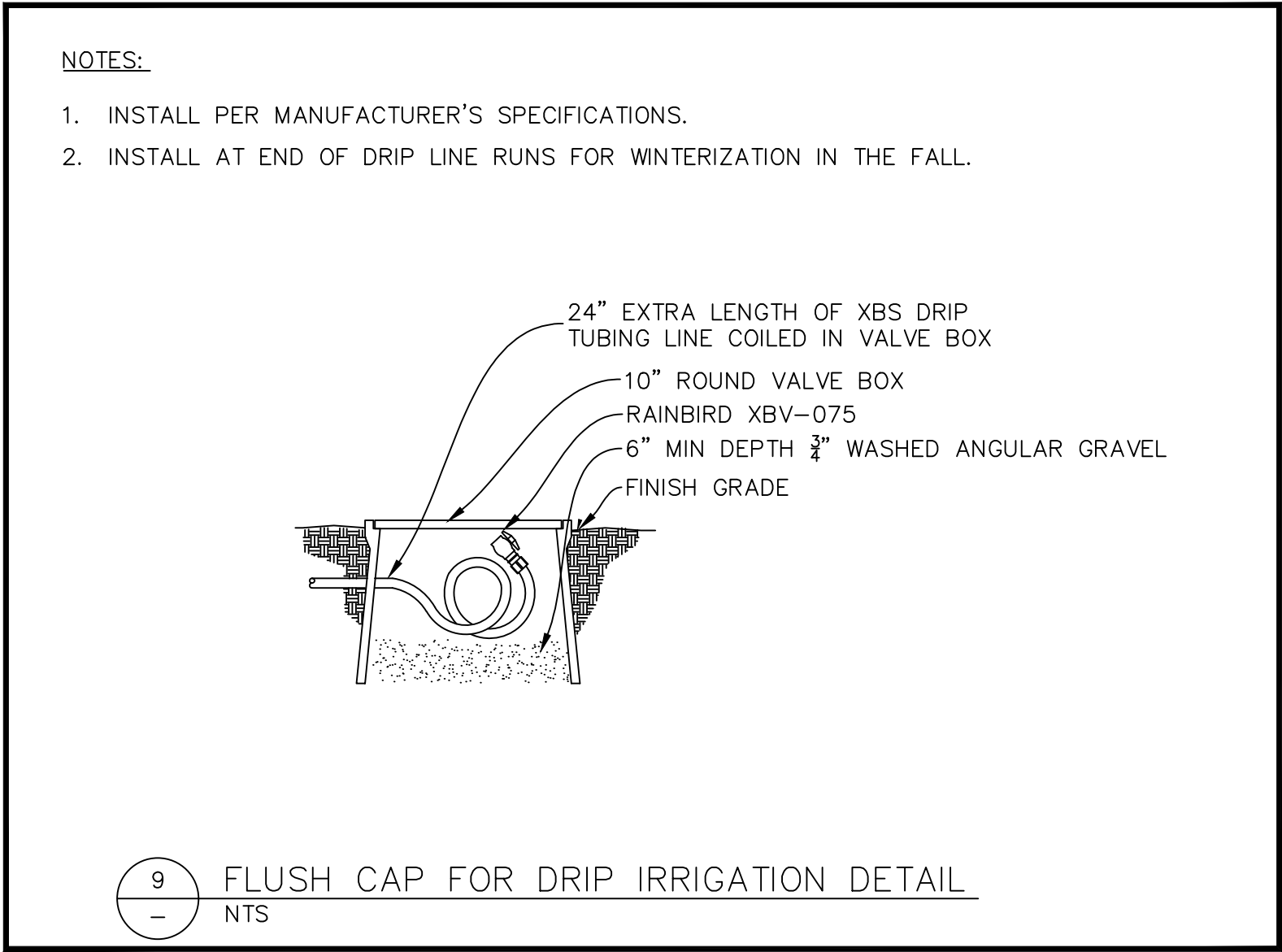
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06/22/2023
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LANDSCAPE ARCHITECT

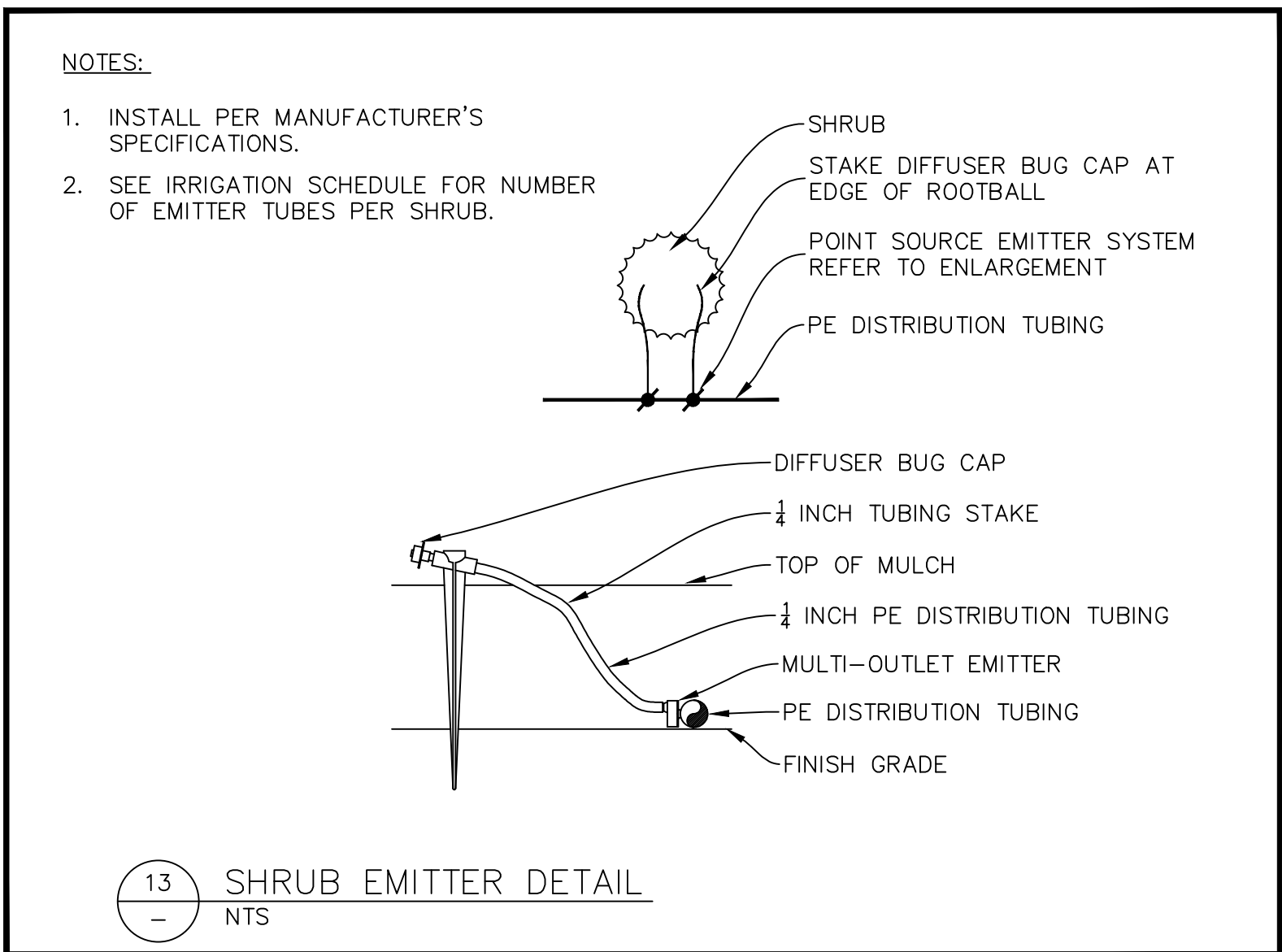
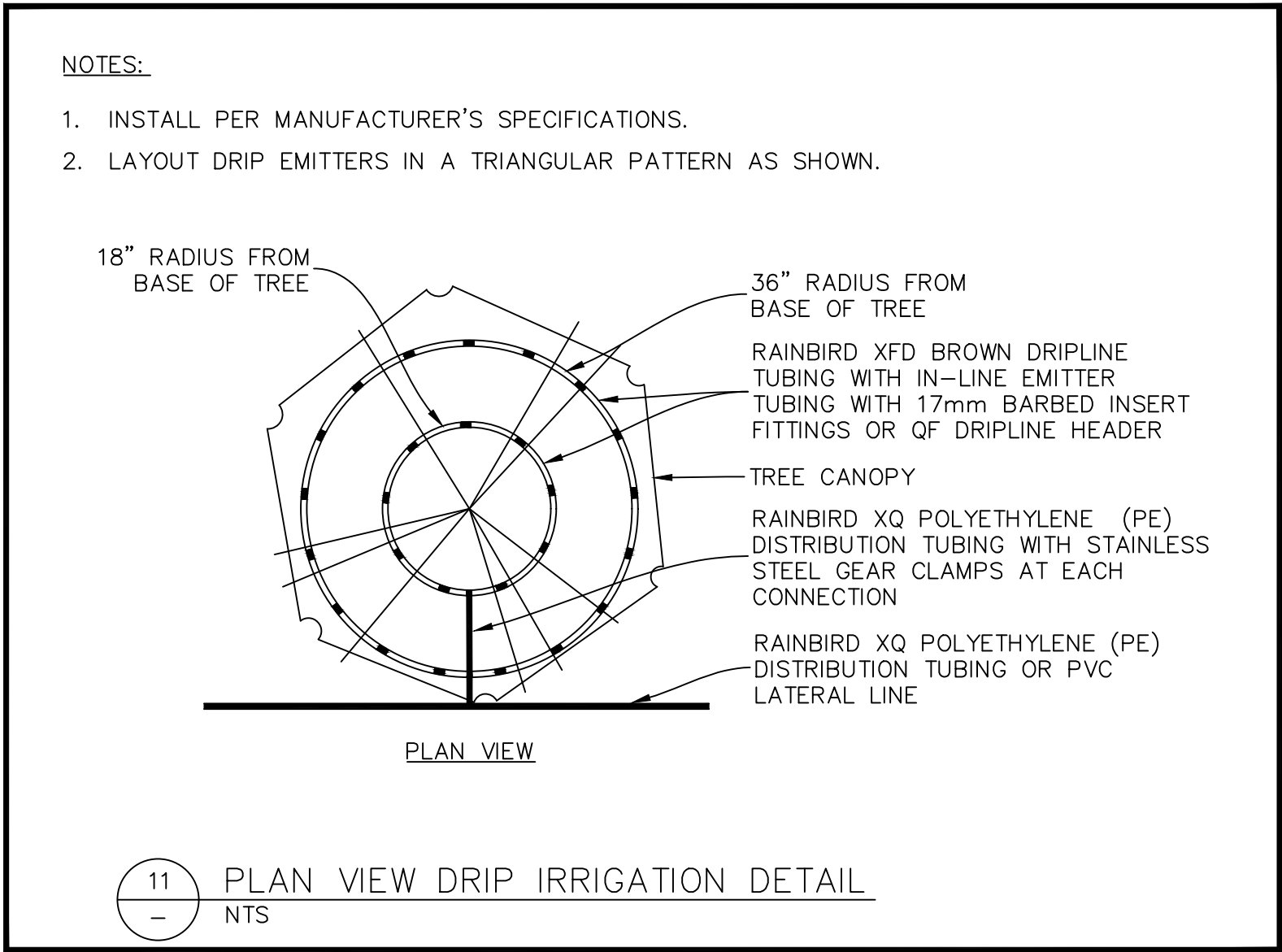
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IRRIGATION DETAILS

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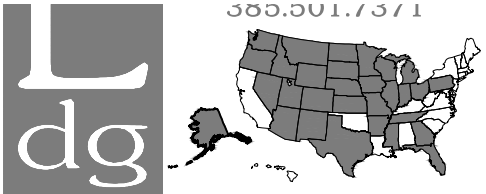
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PLANNED UNIT DEVELOPMENT
3RD AMENDMENT
TRACT II & IIA, LOUISVILLE
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CASE #: PUD-000453-2023



IRRIGATION NOTES

1. IRRIGATION PLAN IS DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT SHALL BE LOCATED IN PLANTING AREAS ONLY AND ON THE PROPERTY OF THE OWNER, UNLESS NOTED OTHERWISE. REFER TO THE IRRIGATION LEGEND AND DETAILS FOR EQUIPMENT AND INSTALLATION. THE CONTRACTOR IS RESPONSIBLE TO MAKE ADJUSTMENTS AS NEEDED TO ENSURE PROPER COVERAGE OF ALL LANDSCAPED AREAS.
2. LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF POINT OF CONNECTION AND THE STATIC WATER PRESSURE AT THAT LOCATION PRIOR TO BEGINNING ANY IRRIGATION WORK. IF THE LOCATION OR WATER PRESSURE IS DIFFERENT THAN EXPRESSED BY THE DRAWINGS OR IF THE PRESSURE APPEARS TO BE UNUSUALLY HIGH OR LOW, THE CONTRACTOR SHALL CONTACT THE OWNERS REP IMMEDIATELY.
3. CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS, AND RUBBISH INCIDENTAL TO WORK ON THE LANDSCAPE AND IRRIGATION.
4. BACKFLOW PREVENTION DEVICES SHALL BE AS INDICATED ON THE PLANS AND SCHEDULE AND BE INSTALLED AS TO MANUFACTURERS RECOMMENDATIONS.
5. ALL MAINLINE AND LATERAL PIPE TO BE SCHEDULE 40 PVC PIPE. NO POLY PIPE SHALL BE INCLUDED. FITTINGS UP TO 1.1/2" MUST BE SCHEDULE 40 OR BETTER. FITTINGS LARGER THAN 1.1/2" MUST BE SCHEDULE 80 OR BETTER. MANUAL DRAIN VALVES SHALL BE PLACED ON THE MAINLINE IN LOW SPOTS. ALL MANUAL DRAINS SHALL BE PLACED IN SEPARATE VALVE BOXES.
6. CONTRACTOR SHALL HAVE ALL UTILITIES BLUE STAKED PRIOR TO DIGGING. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER.
7. MODIFY LOCATION OF IRRIGATION COMPONENTS TO AVOID PLACING TREES, SHRUBS AND OTHER SITE ELEMENTS DIRECTLY OVER PIPE. PER PLANS. PLANT MATERIAL TO BE PLANTED 12" AWAY FROM IRRIGATION BOXES OR SPRAY HEADS. DO NOT LOCATE VALVE BOXES IN LAWN AREAS UNLESS CLEARLY STATED ON PLANS.
8. CONTRACTOR SHALL INSTALL A 1" THREADED TEE WITH 1" THREADED PLUG AT POINT OF CONNECTION IN ORDER TO BLOW OUT THE SYSTEM WITH AN AIR COMPRESSOR EACH FALL. INSTALL FLUSH CAP AT THE END OF ALL DRIP IRRIGATION LINES TO FACILITATE BLOW-OUT AND MAINTENANCE (SEE DETAIL 11, SHEET L202).
9. LATERAL LINES SHALL BE NO SMALLER THAN 3/4". LANDSCAPE CONTRACTOR TO ENSURE THE FOLLOWING PIPE SIZES DO NOT EXCEED THE SUGGESTED GPM LISTED BELOW:

3/4"	8 GPM
1"	12 GPM
1-1/2"	30 GPM
2"	53 GPM
2-1/2"	75 GPM
3"	110 GPM
10. INSTALL DRIP IRRIGATION PER PLANS AND DETAILS. INSTALL DRIP RINGS AT ALL TREES. CONTRACTOR SHALL MAKE ADJUSTMENTS AS NECESSARY.
11. CONTRACTOR SHALL PROVIDE AND INSTALL SLEEVES FOR ALL PIPES AND WIRES UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE INSIDE. ALL WIRE SHALL BE IN SEPARATE SLEEVES (NOT SHOWN). ALL CONTROL WIRE SHALL BE INSTALLED IN CLASS 200 PIPE. PLACE JUNCTION BOXES WHERE NECESSARY TO MINIMIZE LONG RUNS OR AT DIRECTIONAL CHANGES.
12. WATER LINES AND ELECTRICAL LINES MUST NOT SHARE CONDUITS. ALL WIRE CONNECTIONS MUST BE CONTAINED IN VALVE BOX WITH 3' OF EXTRA WIRE. WIRE TO BE CONNECTED TO MAIN LINE PIPE WHERE POSSIBLE WITH TAPE AT 25' INTERVALS. SLACK IN CONTROL WIRES REQUIRED AT EVERY CHANGE OF DIRECTION. WIRES MUST HAVE SEPARATE COLORS FOR COMMON, CONTROL AND SPARE. MINIMUM 1 SPARE WIRE FOR EVERY 5 VALVES. ALL CONTROL WIRES TO BE INSULATED 14 GAUGE COPPER. ALL SPARE WIRES MUST "HOME RUN" TO CONTROLLER AND SPARE WIRES AVAILABLE AT ALL VALVE MANIFOLDS AND CLUSTERS.
13. ALL SLEEVES INSTALLED SHALL BE DUCT TAPED TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
14. IRRIGATION SYSTEM MUST CONTAIN CHECK VALVES TO PREVENT LOW POINT DRAINAGE.
15. SPACE ALL SPRAY HEADS 2" AWAY FROM ANY HARDSCAPE.
16. CONTRACTOR SHALL MATCH PRECIPITATION RATES AS MUCH AS POSSIBLE FOR ALL LANDSCAPED AREAS. OVERHEAD IRRIGATION MUST HAVE A MINIMUM DU (DISTRIBUTION UNIFORMITY) OF 60%.
17. IRRIGATION CONTRACTOR SHALL PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING.
18. MAIN LINES SHALL BE 24" DEEP MIN. AND LATERAL LINES 12" DEEP MIN. NO ROCK GREATER THAN 1/2" DIAMETER SHALL BE ALLOWED IN TRENCHES. TRENCHING BACKFILL MATERIAL SHALL BE COMPACTED TO PROPER FINISHED GRADE.
19. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND/OR COUNTY CODES. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS.
20. IRRIGATION INSTALLATION TO COMPLY WITH APPLICABLE CITY SPECIFICATIONS AND DRAWINGS.
21. CONTRACTOR SHALL INSTALL IRRIGATION SYSTEM WITH HEAD TO HEAD COVERAGE IN ALL TURF AREAS. USE VAN AND/OR U-SERIES NOZZLES AS NECESSARY TO PROVIDE PROPER COVERAGE AND TO KEEP WATER OFF OF BUILDINGS AND HARDSCAPES.
22. POWER TO CONTROLLER TO BE PROVIDED BY OWNER. OWNER TO SPECIFY EXACT LOCATION OF CONTROLLER. INSTALL PER MANUFACTURERS INSTRUCTIONS. IRRIGATION CONTRACTOR SHALL PROVIDE AN AS-BUILT IRRIGATION PLAN UPON COMPLETION OF INSTALLATION AND PRIOR TO FINAL PAYMENT.
23. INSTALL A FLUSH CAP AT THE END OF EACH DRIP LINE PER DETAILS FOR MAINTENANCE.
24. THE PURPOSE OF THE IRRIGATION SYSTEM IS TO PROVIDE SUFFICIENT WATER TO MAINTAIN PLANTS IN OPTIMAL CONDITION DURING DRIER WEATHER CONDITIONS. TIME CLOCKS SHALL BE ADJUSTED CONTINUOUSLY THROUGHOUT THE YEAR TO PROVIDE WATER ONLY WHEN THE SOIL IS DRY AT A DEPTH OF FOUR (4) INCHES THE FIRST INITIAL GROWING SEASON AND SIX (6) INCHES THE FOLLOWING YEARS.
25. IF ANY SUBSURFACE DRAINAGE OR RUN-OFF IS VISIBLE AT LOW AREAS, ACROSS SIDEWALKS, OR AT LOWER PORTIONS OF SLOPES, IMMEDIATELY SHUT THE VALVES OFF TO ALLOW THE AREA TO COMPLETELY DRY OUT. IF THIS CONDITION CONTINUES AFTER SUBSEQUENT WATERINGS THE CONTRACTOR SHALL NOTIFY THE OWNERS REP.
26. INSPECTIONS OF IRRIGATION SYSTEM SHALL BE MADE ON A DAILY BASIS TO OBSERVE AND PROVIDE REPAIRS OR REMEDIES TO THE FOLLOWING UNACCEPTABLE PROBLEMS: OVER-SPRAY ON SIDEWALKS, STREETS, PAVED AREAS, PARKING AREAS, FENCES, WALLS, SIGNS, BUILDINGS, OR STRUCTURES; DRAINAGE OR RUN-OFF ACROSS SIDEWALKS, PAVING, OR STREETS; DAMAGED OR IMPROPERLY OPERATING HEADS, PIPING, VALVES, CONTROLLER, OR OTHER IRRIGATION EQUIPMENT.
27. CONTRACTOR TO PROVIDE 2 HOURS OF TRAINING TO OWNER AT THE END OF THE PROJECT REGARDING OPERATION FOR IRRIGATION SYSTEM. CONTRACTOR WILL SHOW OWNER HOW TO OPERATE THE SHUT OFF VALVE, BACKFLOW VALVE, CONTROLLER, AND REMOTE CONTROL VALVES.
28. AT THE TIME OF SUBSTANTIAL COMPLETION (DEFINED AS COMPLETE INSTALLATION AND PROPER FUNCTIONING OF IRRIGATION SYSTEM AND MOWCURB, INSTALLATION OF ALL PLANT MATERIALS INCLUDING STAKING OF TREES, AND PLACEMENT OF SOIL PREP AND MULCH) THE CONTRACTOR SHALL SCHEDULE A WALK THROUGH WITH THE OWNER TO REVIEW COMPLETED WORK AND GENERATE A PUNCH LIST. AT THIS TIME THE WARRANTY PERIOD OF ONE (1) YEAR BEGINS. THE CONTRACTOR HAS THIRTY (30) DAYS TO SATISFY THE ITEMS ON THE PUNCH LIST.
29. IRRIGATION CONTRACTOR SHALL GUARANTEE THE ENTIRE IRRIGATION SYSTEM TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE BY OWNER.



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info@legacydesigngroup.net

OWNER:
EXCELLENT ESPRESSO, LLC

SCOOTER'S
COFFEE

SOUTH BOULDER RD.
LOUISVILLE, CO 80027

LEGAL DESC.:
TRACT II & IIA, LOUISVILLE
NORTH 7TH FILING



Rev.	Date	Comment
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

DRAWN BY: DRS
DESIGN BY: DRS
ISSUE DATE: AUG. 10, 2023

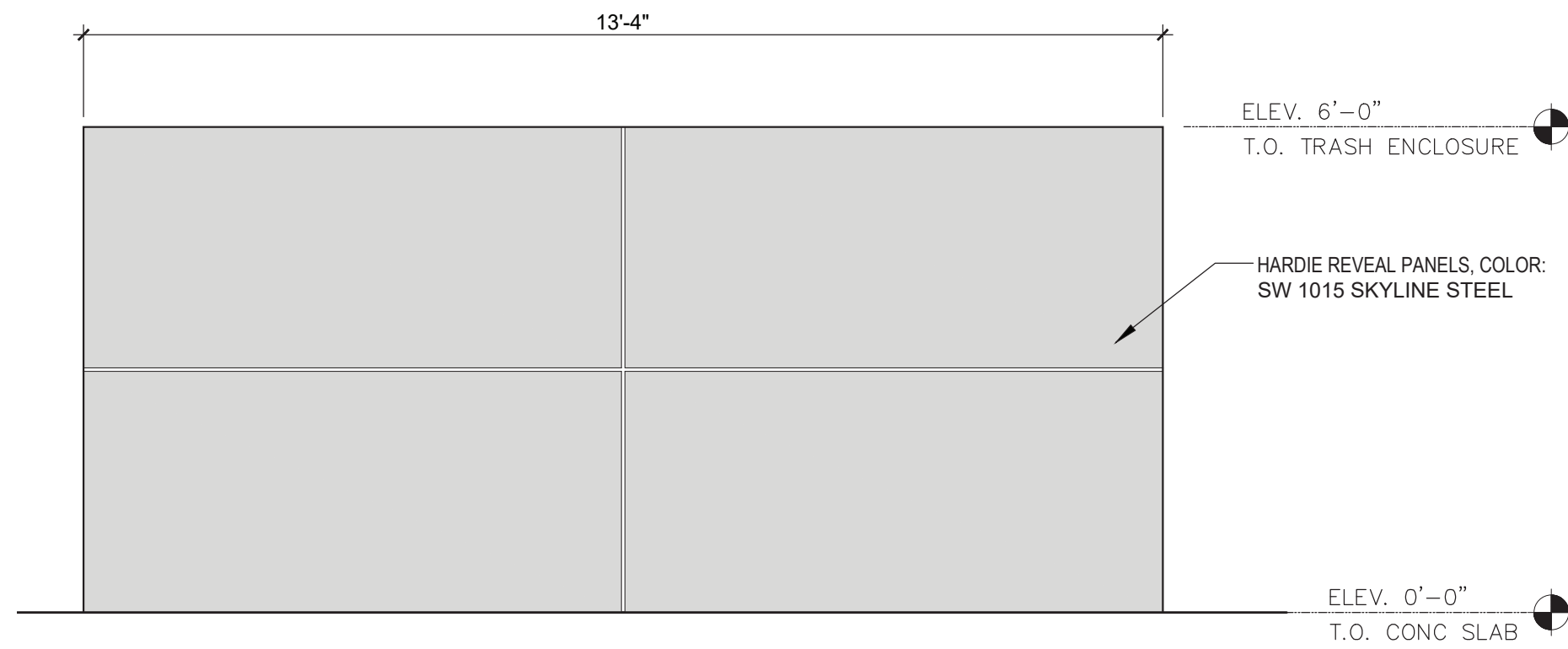


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IRRIGATION
DETAILS

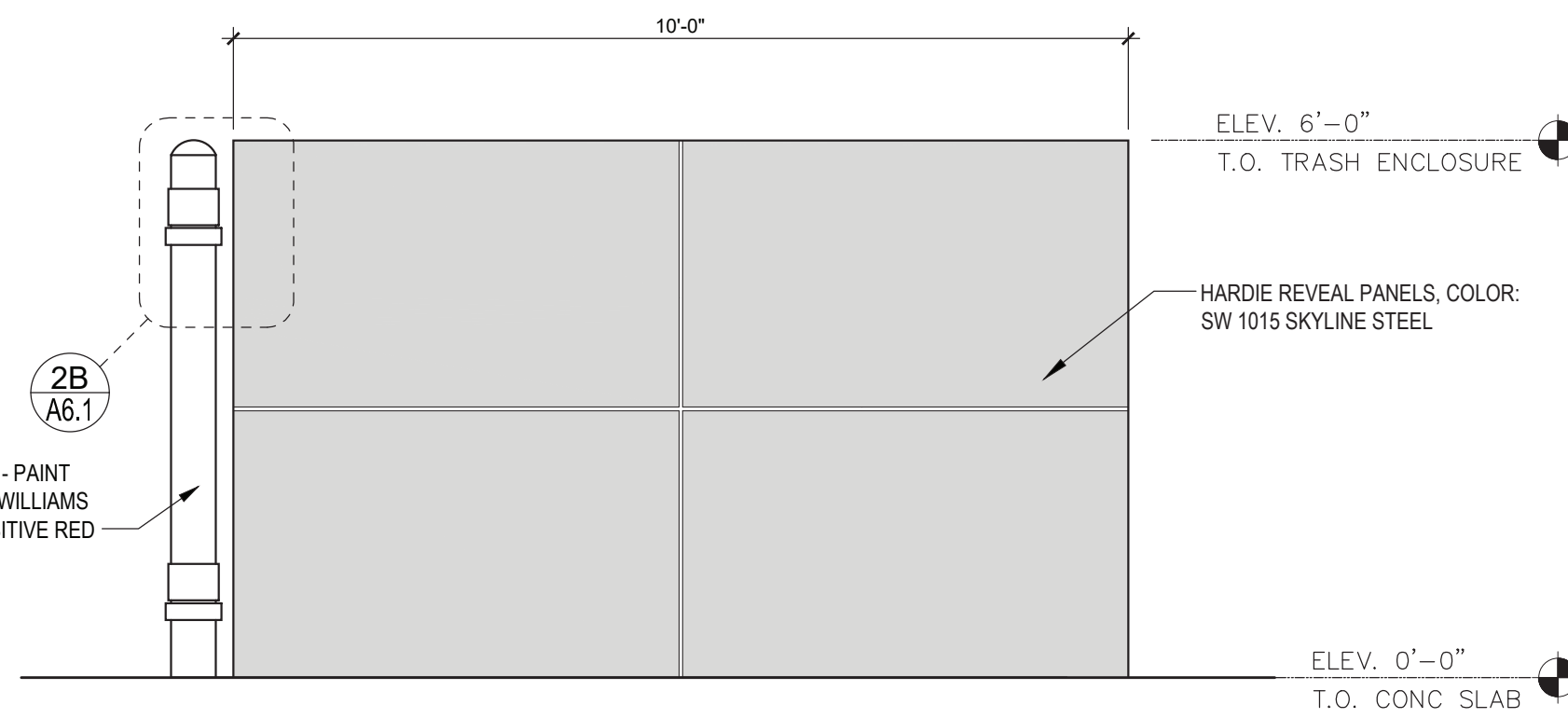
PUD:
15 OF 30

VILLAGE SQUARE SHOPPING CENTER
PLANNED UNIT DEVELOPMENT
3RD AMENDMENT
TRACT II & IIA, LOUISVILLE
NORTH 7TH FILING
CASE #: PUD-000453-2023



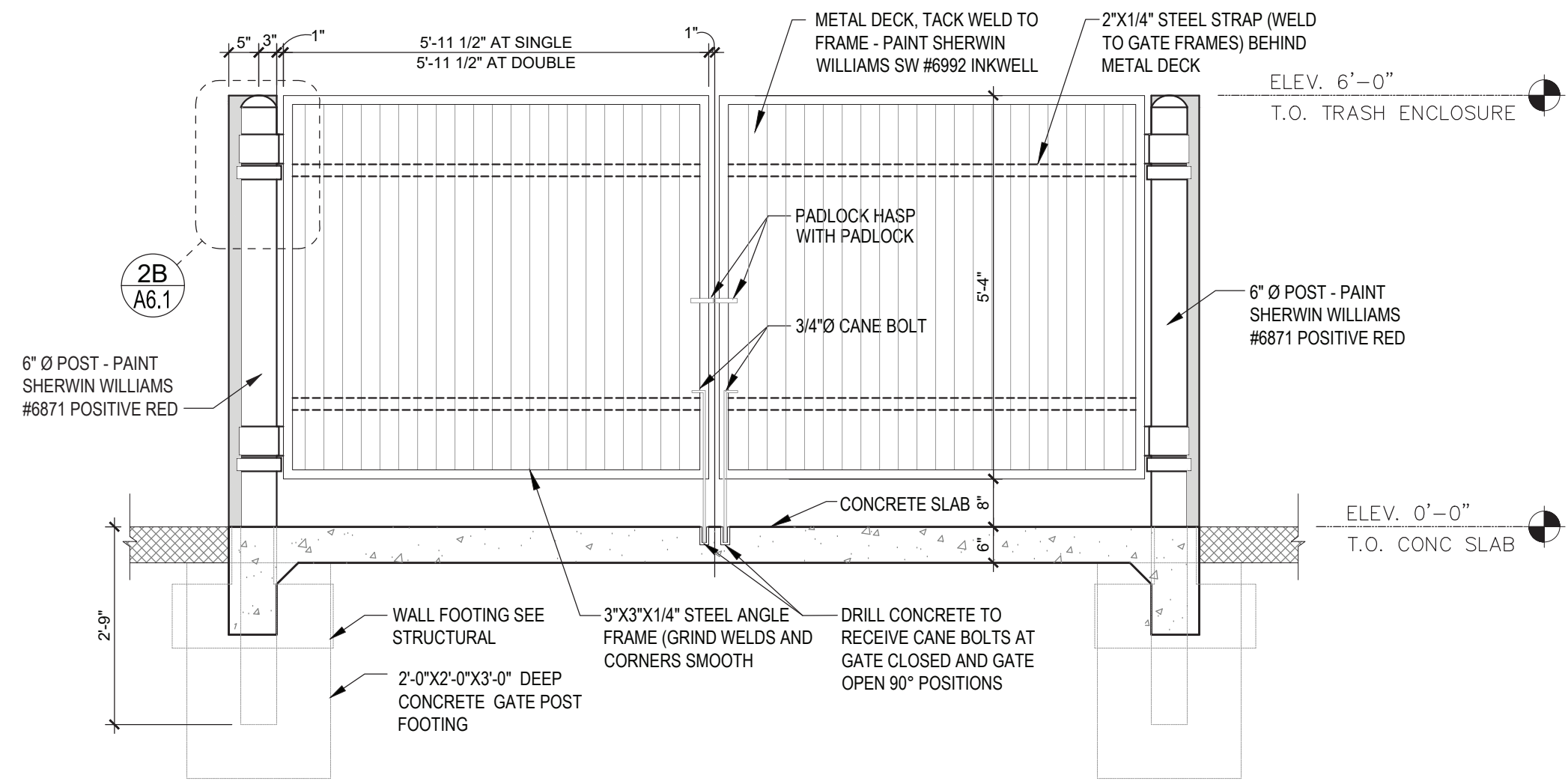
7 TRASH ENCLOSURE - BACK ELEVATION

SCALE: 1/2" = 1'-0"



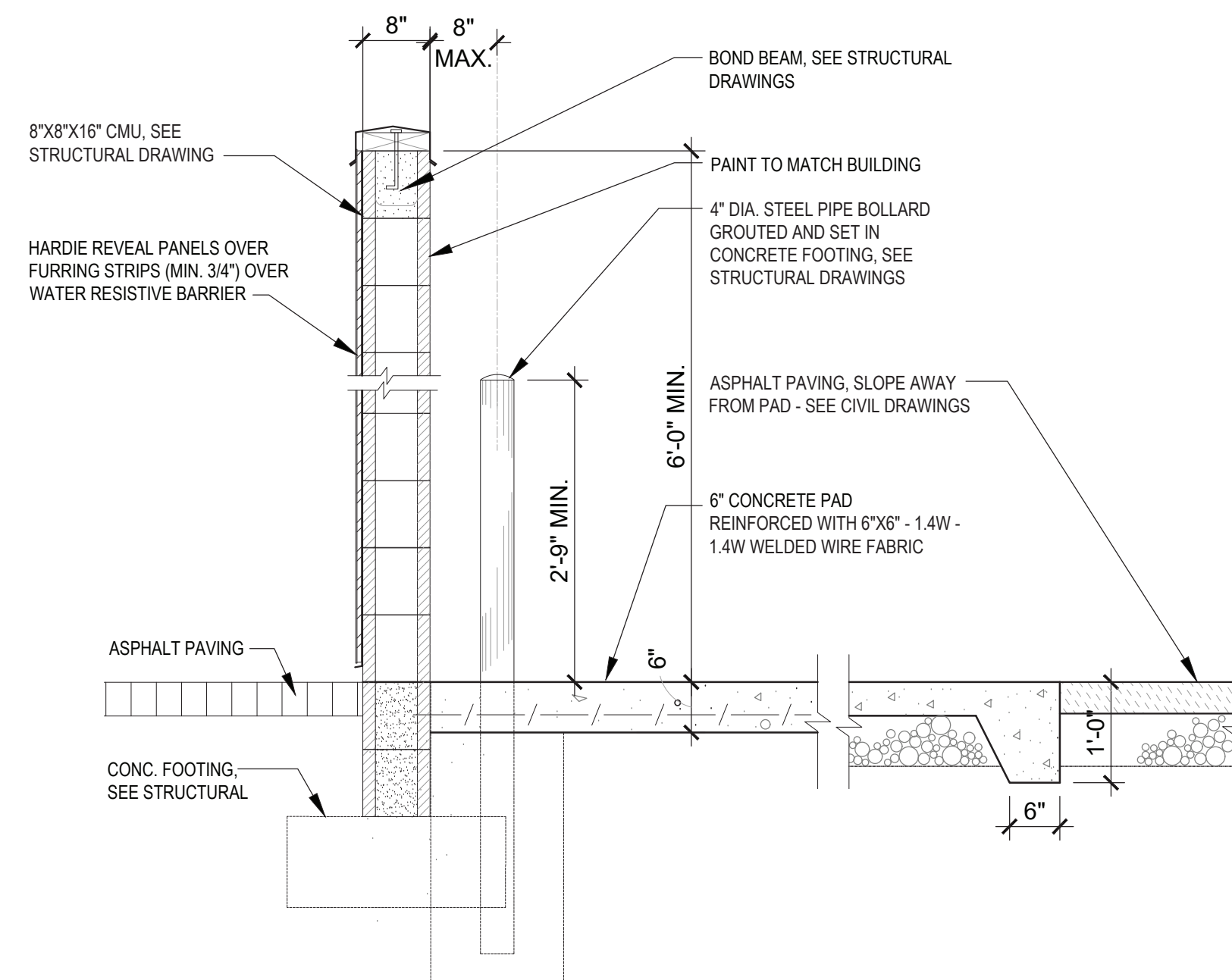
6 TRASH ENCLOSURE - SIDE BACK ELEVATION

SCALE: 1/2" = 1'-0"



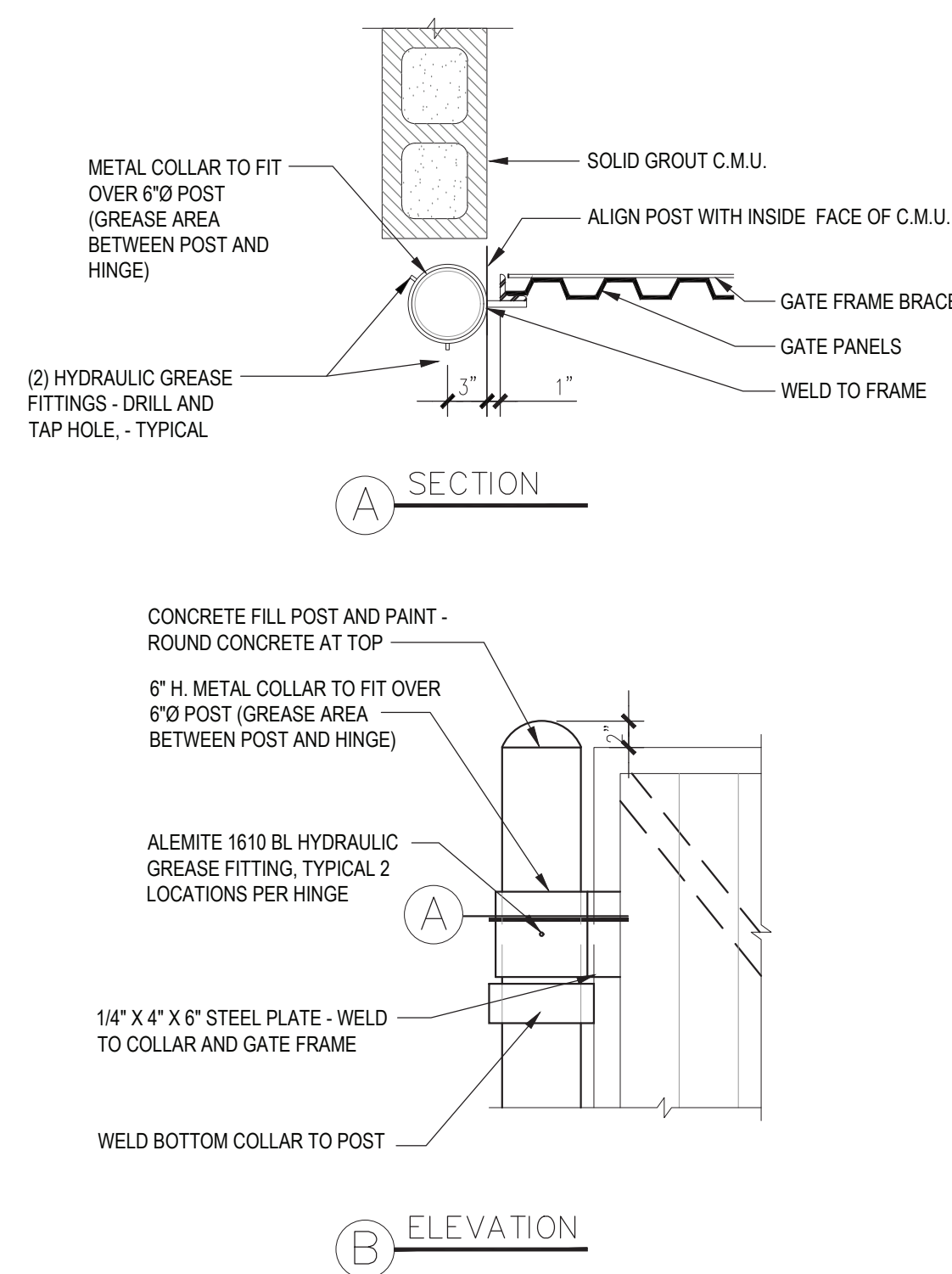
5 TRASH ENCLOSURE - FRONT ELEVATION

SCALE: 1/2" = 1'-0"



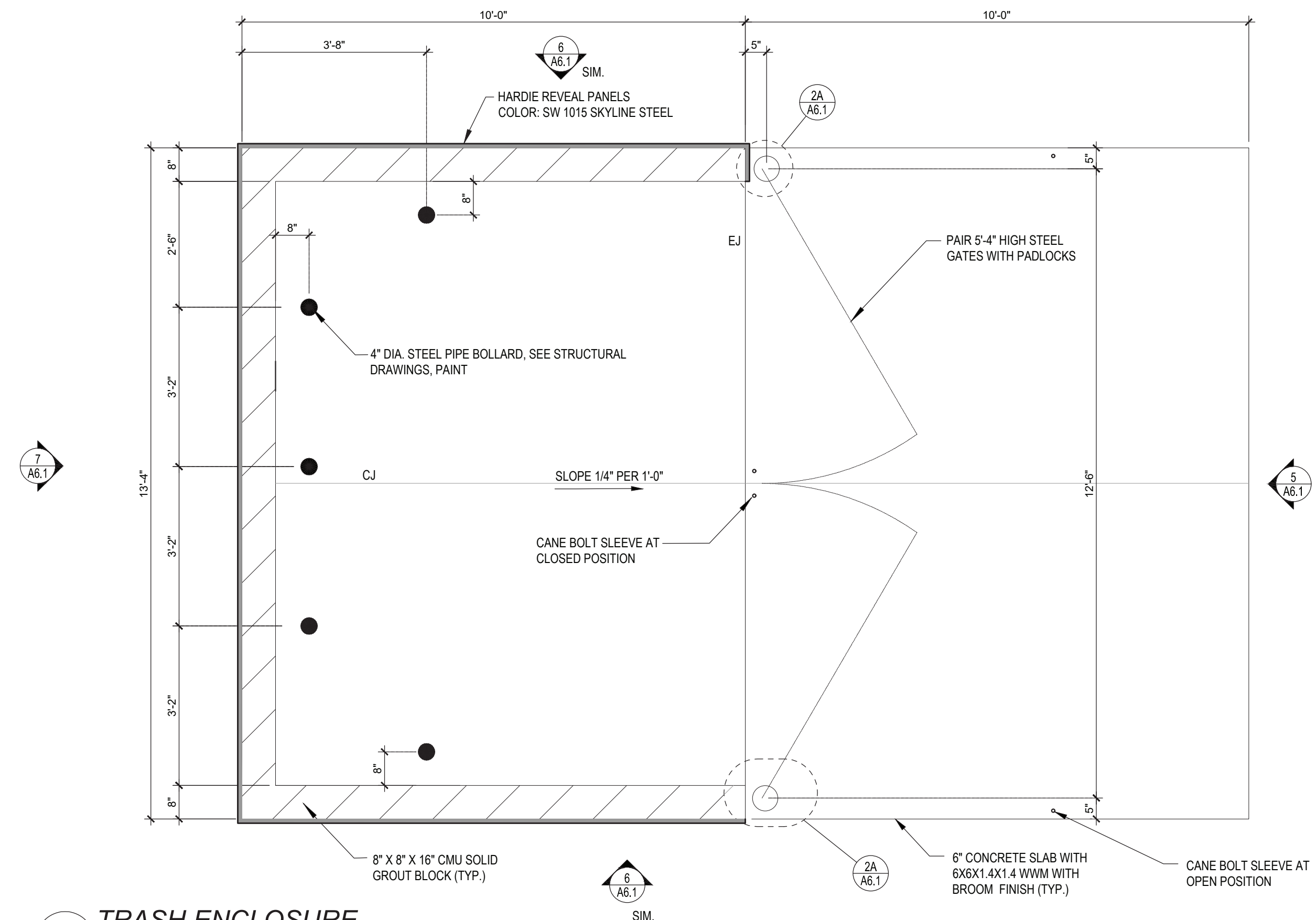
3 SECTION AT TRASH ENCLOSURE

SCALE: 3/4" = 1'-0"



2 HINGE AT TRASH GATE

SCALE: NTS



1 TRASH ENCLOSURE

SCALE: 1/2" = 1'-0"

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PRO SERIES

This commercial-grade, economical LED strip offers 80+ CRI lighting for indoor and outdoor applications from coves to pathways.

- Dry / Wet Environment
- Smooth, Flicker-free Dimming
- PoE Compatible



ORDER CODE	SERIES	ENV	LEDS/M	VOLTAGE	CCT
NF	PRO	O = IP65 W = IP68	60 120 240	24V	SEE TABLE

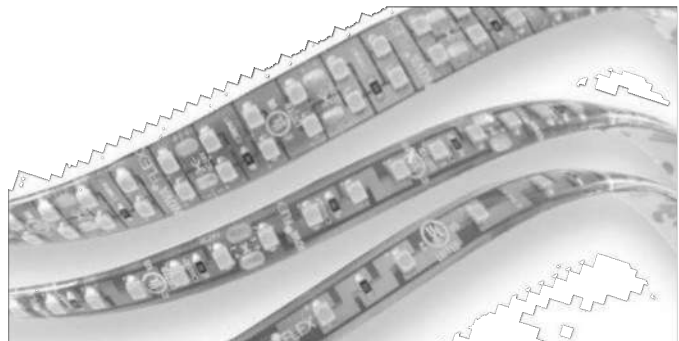
Physical	
Operating Temp	-15° to 140°F (-25° to 60°C)
Environment	IP65 (Dust/splash proof) IP68 (Water/chemical resistant)
Mounting	3M Adhesive Clips Channels
Cut Length	Varies by series, see page 2

Quality Assurance	
Lumen Maintenance	50,000 Hrs
Warranty	2 years
CCT Binning	3-step MacAdam
Certifications	UL Closet Rated (Pro 60/120)

Electrical	
Voltage	24V
Wire Size	20 AWG, 2 Wire
Lead	Default: 120 Inch IP65: 2 Inch Minimum IP68: 3 Inch Minimum Quick Connect: 3 - 120 Inch
Jumper	IP65 & IP68: 3 Inch Minimum
Dimming	MLV 0-10V S3I Control Series

Complete Solution	
Step 1	Build the LED order code
Step 2	Select channel
Step 3	Select power and controls
Step 4	Select accessories
Step 5	Contact your Agent or Nova Flex

SD-18/SD-37 NOVA FLEX®



	CCT	CRI	Lumens/ft	Efficacy (lm/w)	Power (w/ft)	Max Run
PRO 60	■ 2500K*	82	89	57		
	■ 2700K	81	94	63		
	■ 3000K	81	115	77		
	■ 3225K	83	103	67	1.5	48.8 ft
	□ 4100K	84	101	67		
PRO 120	■ 5500K*	82	98	67		
	■ 6200K	85	87	58		
	■ 2700K	80	214	71		
	■ 3000K	81	210	70		
	■ 3225K	83	197	66	3.0	30.3 ft
PRO 240	□ 4100K	83	212	71		
	■ 5500K*	82	208	69		
	■ 6200K	83	172	57		
	■ 2700K	81	384	65		
	■ 3000K	81	368	62		
PRO 240	■ 3225K	84	417	71	5.9	15.4 ft
	□ 4100K	83	421	71		
	■ 5500K*	83	407	69		
	■ 6200K	80	381	65		

Data listed is for IP65 LED strip. Lumens have a tolerance of +/- 10%.

INSTALL GUIDE PHOTOMETRICS

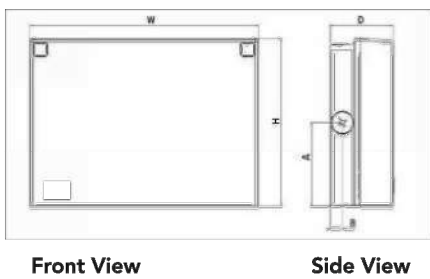
*Special Order requires lead-time of 7 - 9 weeks. MOQ LED strip 328 feet | MOQ Channel 150 pcs (2M/pc) 800.595.6302 | novaflexled.com | 01



WPX LED Wall Packs



Specifications



Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location (S)	Weight
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	6.1 lbs (2.8 kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	8.2 lbs (3.7 kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	11.0 lbs (5.0 kg)

Ordering Information

Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1	30K 3000K	MOVOLT 120V - 277V	None	DBXD Dark Bronze
WPX1 LED P2	240K 4000K	347 347V ¹	EWB Emergency battery backup, IEC compliant (4W, 0°C min)	DBWD White
WPX2 LED	6,000 Lumens, 47W	50K 5000K	E14WC Emergency battery backup, IEC compliant (24W, 20°C min)	DBLD Black
WPX3 LED	9,200 Lumens, 69W		PE Photocell ²	Note: For other options, consult factory.

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

FEATURES & SPECIFICATIONS

INTENDED USE
The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

CONSTRUCTION
WPX features a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP68 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL
Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/L10,000 hours. Color temperature (CCT) options of 3000K, 4000K, and 5000K with minimum CRI of 90. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 4W surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 4W surge protection). All photocell (PE) operate on MOVOLT 120V - 277V input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output to dim the luminaires).

INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows pole-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

LISTINGS
CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List (www.designlights.org/DLP) to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (PSA) is available for all products on this page offering 3000K color temperature only.

WARRANTY
5-year limited warranty. This is the only warranty provided and no other statements in this application sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.suburbanled.com/CustomersResources/terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-use environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

COMcheck Software Version COMcheckWeb Interior Lighting Compliance Certificate

Project Information

Energy Code: 2018 IECC
Project Title: SCOOTER'S COFFEE
Project Type: New Construction

Construction Site: 645 E. SOUTH BOULDER ROAD
LOUISVILLE, Colorado 80027
Owner/Agent: Designer/Contractor:

Additional Efficiency Package(s)

Credits: 1.0 Required 0.0 Proposed

Allowed Interior Lighting Power

A Area Category	B Floor Area (ft ²)	C Allowed Watts / ft ²	D Allowed Watts
1-Common Space Types:Dining Area - Family Restaurant	671	0.71	476
		Total Allowed Watts =	476

Proposed Interior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixture	D Fixture Watt.	E (C X D)
1-Common Space Types:Dining Area - Family Restaurant				
LED: T1: 2x4 LIGHT: Other:	1	8	40	320
		Total Proposed Watts =	320	

Interior Lighting PASSES: Design 33% better than code

Interior Lighting Compliance Statement

Compliance Statement: The proposed interior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

ALEJANDRO VILLACORTA, P.M. Alejandro Villacorta 09/26/23
Name - Title Signature Date

Project Title: SCOOTER'S COFFEE Report date: 09/26/23
Data filename: Page 1 of 7

COMcheck Software Version COMcheckWeb Exterior Lighting Compliance Certificate

Project Information

Energy Code: 2018 IECC
Project Title: SCOOTER'S COFFEE
Project Type: New Construction
Exterior Lighting Zone: 3 (Other (LZ3))

Construction Site: 645 E. SOUTH BOULDER ROAD
LOUISVILLE, Colorado 80027
Owner/Agent: Designer/Contractor:

Allowed Exterior Lighting Power

A Area/Surface Category	B Quantity	C Allowed Watts /	D Tradable Wattage	E Allowed Watts (B X C)
Illuminated area of facade wall or surface	1248 ft ²	0.11	No	141
		Total Tradable Watts (a) =	0	
		Total Allowed Watts =	141	
		Total Allowed Supplemental Watts (b) =	500	

(a) Wattage tradeoffs are only allowed between tradable areas/surfaces.
(b) A supplemental allowance equal to 500 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

Proposed Exterior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixture	D Fixture Watt.	E (C X D)
Illuminated area of facade wall or surface (1248 ft ²): Non-tradable Wattage				
LED1: SC/SC/E: WALL SCONCE: Other:	1	8	12	92
LED2: SD-18: 18" STRIP LED: Other:	1	1	54	54
LED3: SD-37: 37" STRIP LED: Other:	1	2	111	222
		Total Tradable Supplemental Watts =	0	

Exterior Lighting PASSES: Design 0.0% better than code

Exterior Lighting Compliance Statement

Compliance Statement: The proposed exterior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed exterior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

ALEJANDRO VILLACORTA, P.M. Alejandro Villacorta 09/26/23
Name - Title Signature Date

Project Title: SCOOTER'S COFFEE Report date: 09/26/23
Data filename: Page 2 of 7

VILLAGE SQUARE SHOPPING CENTER PLANNED UNIT DEVELOPMENT 3RD AMENDMENT TRACT II & IIA, LOUISVILLE NORTH 7TH FILING CASE #: PUD-000453-2023



PROJECT ADDRESS:
645 E. SOUTH
BOULDER ROAD
LOUISVILLE, CO 80027

REVISIONS:

TITLE:

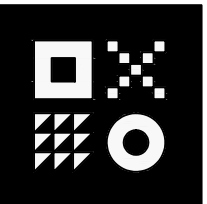
EXTERIOR LIGHTING CUT SHEETS & COMCHECK

DATE:
8.10.2023

PROJECT NO.
22-329

SHEET NO.

PUD: 17 OF 30



ARDEBILI
Engineering

Project Number: 23088 | Project Manager: AV
7328 E Stetson Dr., Scottsdale, AZ 85251
P: 480.626.7072 | ardebilieng.com

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VILLAGE SQUARE SHOPPING CENTER
PLANNED UNIT DEVELOPMENT
3RD AMENDMENT
TRACT II & IIA, LOUISVILLE
NORTH 7TH FILING
CASE #: PUD-000453-2023



PROJECT ADDRESS:
645 E. SOUTH
BOULDER ROAD
LOUISVILLE, CO 80027

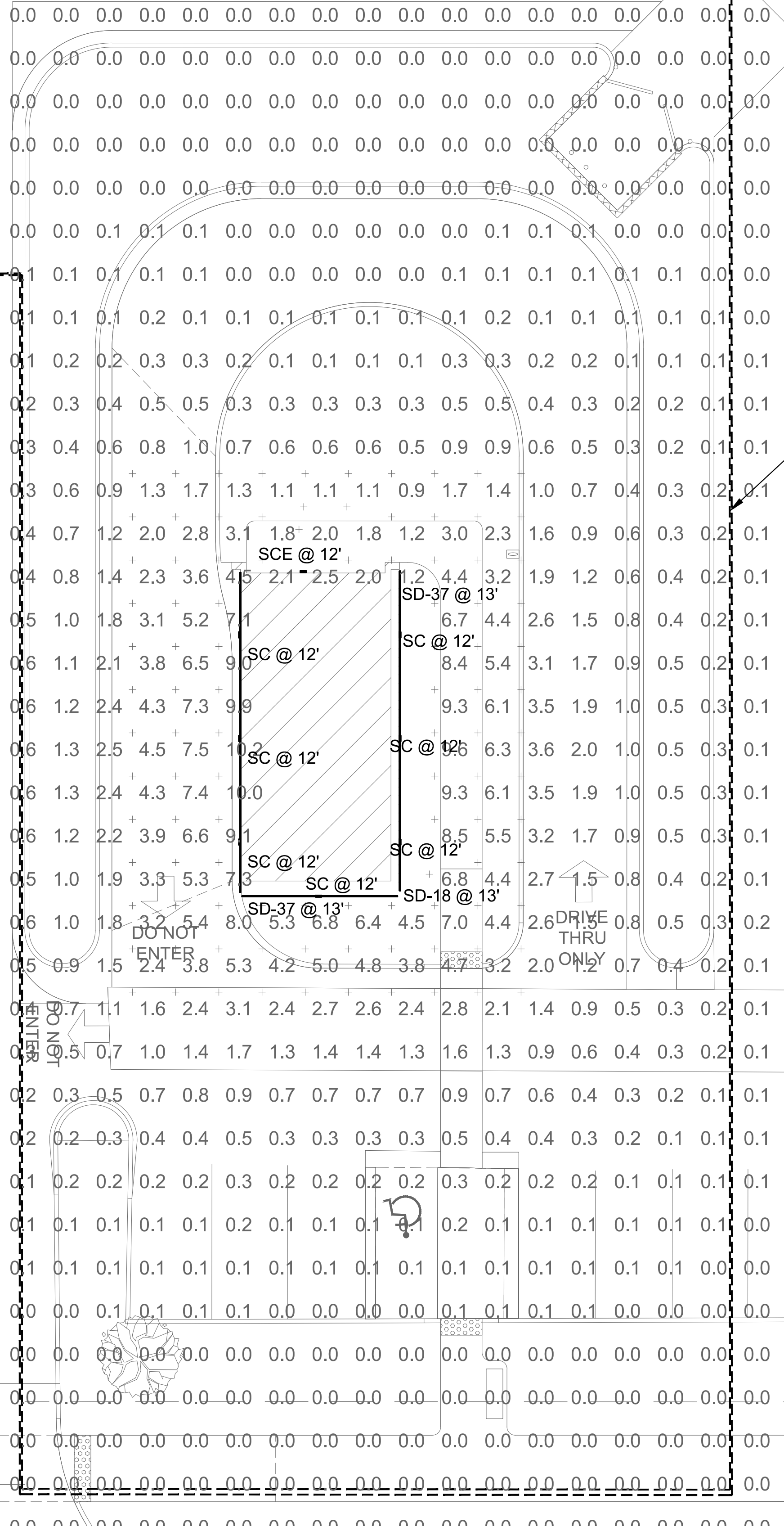
REVISIONS:

TITLE:

ELECTRICAL
PHOTOMETRIC
SITE PLAN

DATE:
8.10.2023
PROJECT NO.
22-329
SHEET NO.

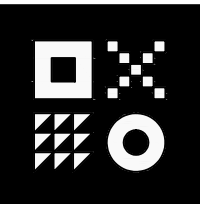
PUD: 18 OF 30



1 ELECTRICAL PHOTOMETRIC SITE PLAN
SCALE: 1"= 10'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FC @ GRADE	+	4.2 fc	10.2 fc	0.9 fc	11.3:1	4.7:1

Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	SC	7	LITHONIA LIGHTING	WPX1 LED P1 30K MVOLT (BLACK)	WPX1 LED wallpack 1500lm 3000K color temperature 120-277 Volts	LED - 3000K	WPX1_LED_P1_30K_Mvolt.ies	1537	0.91	11.49
	SCE	1	LITHONIA LIGHTING	WPX1 LED P1 30K MVOLT E4WC (BLACK)	WPX1 LED wallpack 1500lm 3000K color temperature 120-277 Volts W/EM BATTERY PACK	LED - 3000K	WPX1_LED_P1_30K_Mvolt.ies	1537	0.91	11.49
	SD-18	1	NOVA FLEX	NF PRO W 120 24V 3K / (CHANNEL) / (DRIVER)	18" WET LOCATION TAPE LIGHT (VERIFY LENGTH PRIOR TO ORDERING)	LED - 3000K	NF-PRO-O-120-24V-3000K.IES	210	0.8	54
	SD-37	2	NOVA FLEX	NF PRO W 120 24V 3K / (CHANNEL) / (DRIVER)	37" WET LOCATION TAPE LIGHT (VERIFY LENGTH PRIOR TO ORDERING)	LED - 3000K	NF-PRO-O-120-24V-3000K.IES	210	0.8	111



ARDEBILI
Engineering

Project Number: 23088 | Project Manager: AV
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VILLAGE SQUARE SHOPPING CENTER
PLANNED UNIT DEVELOPMENT
3RD AMENDMENT
TRACT II & IIA, LOUISVILLE
NORTH 7TH FILING
CASE #: PUD-000453-2023

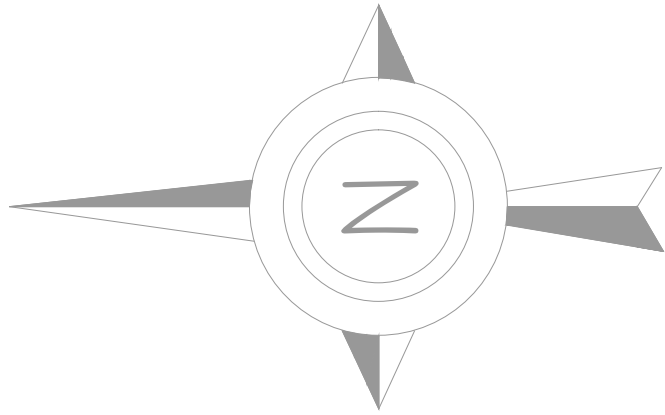
LOCATION:
LOUISVILLE, CO.

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

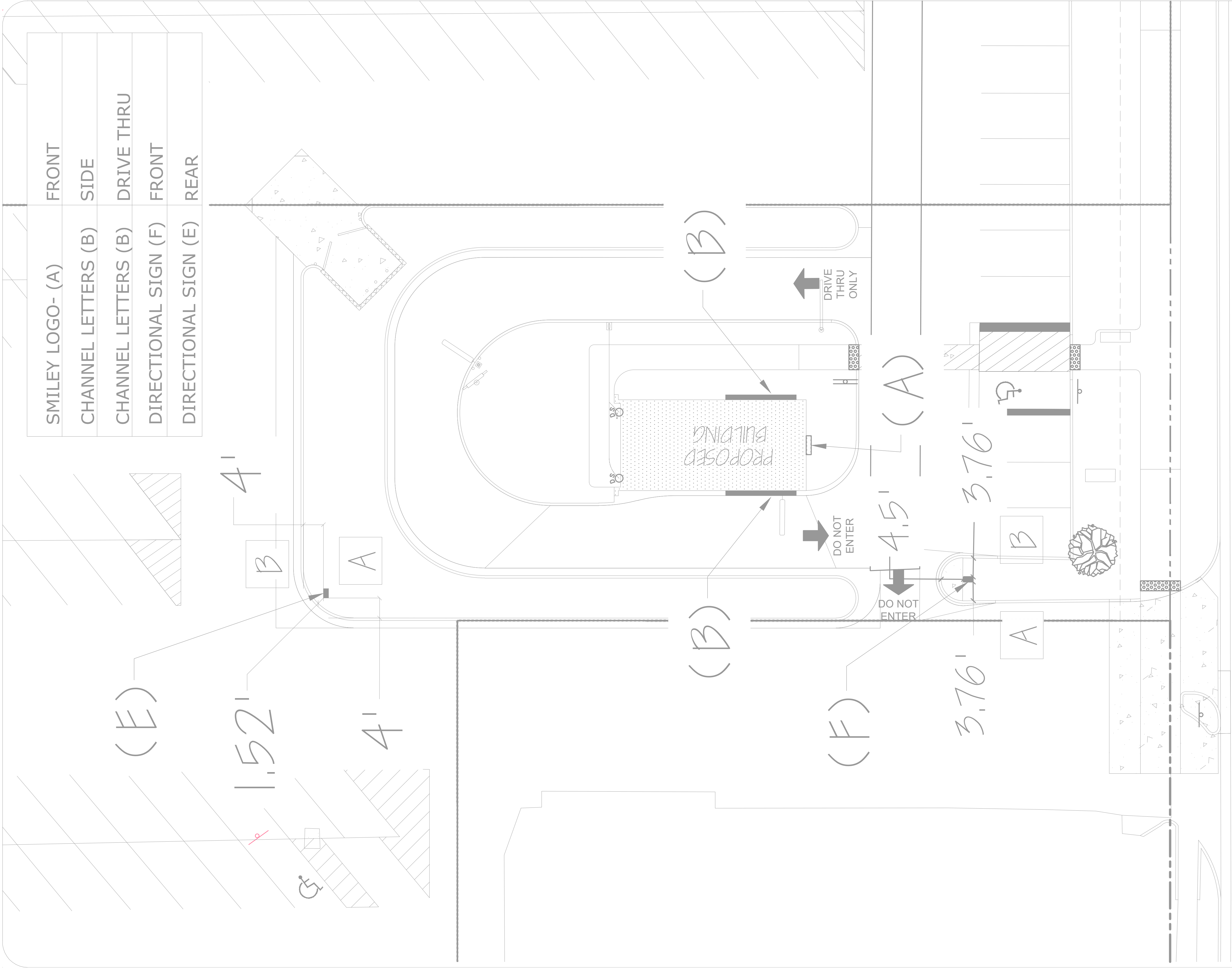
SCOOTER'S COFFEE
NEW-SIGNAGE
TRACT 2, LOUISVILLE NORTH 7TH FILING
LOUISVILLE, CO. 80027
SIGN PLACEMENT PLAN

Project No.: 41678
Drawn By: CLH
Reviewed By: MW
Date: 8-10-23

SCALE 1" = 10'



E. SOUTH BOULDER ROAD



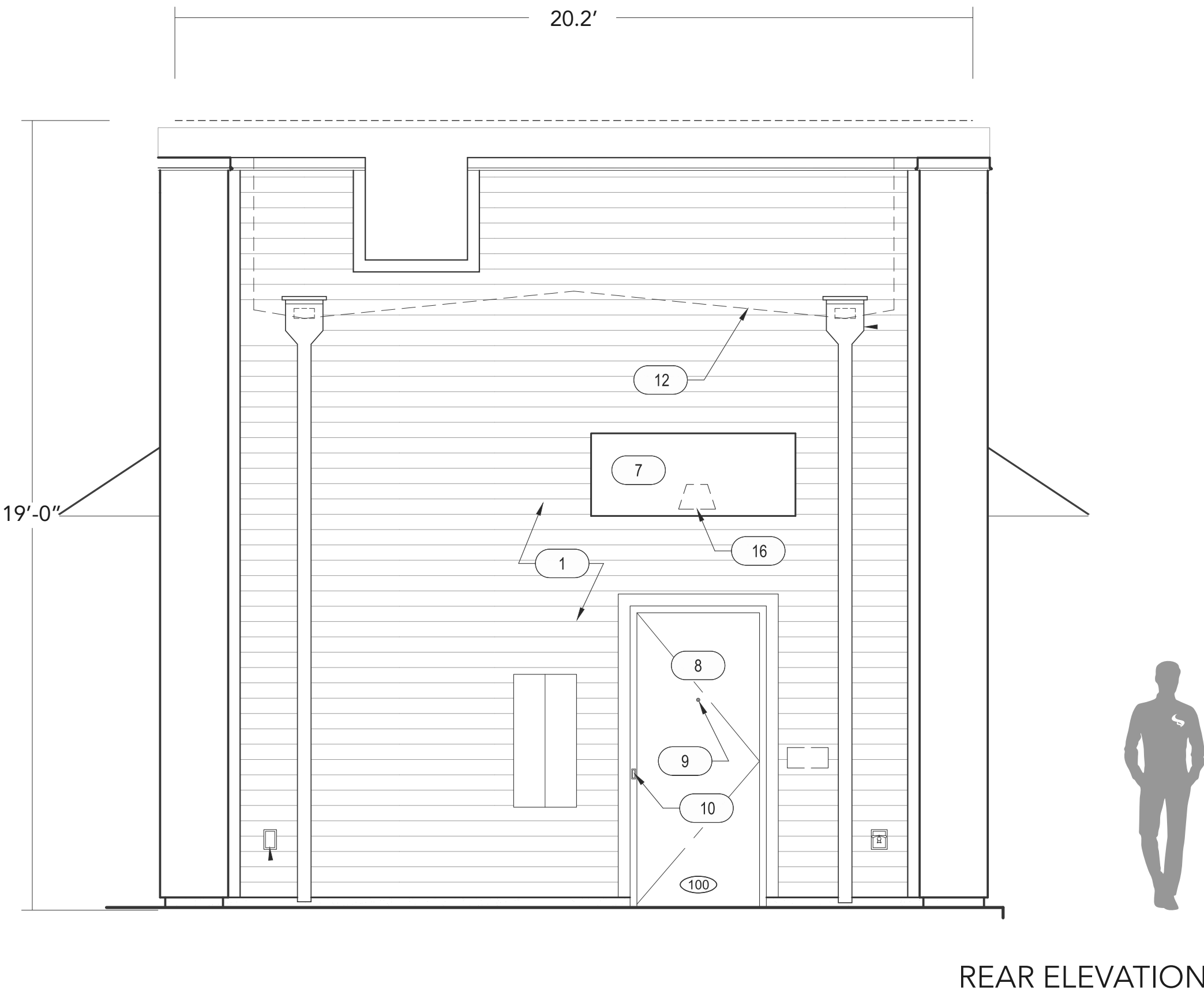
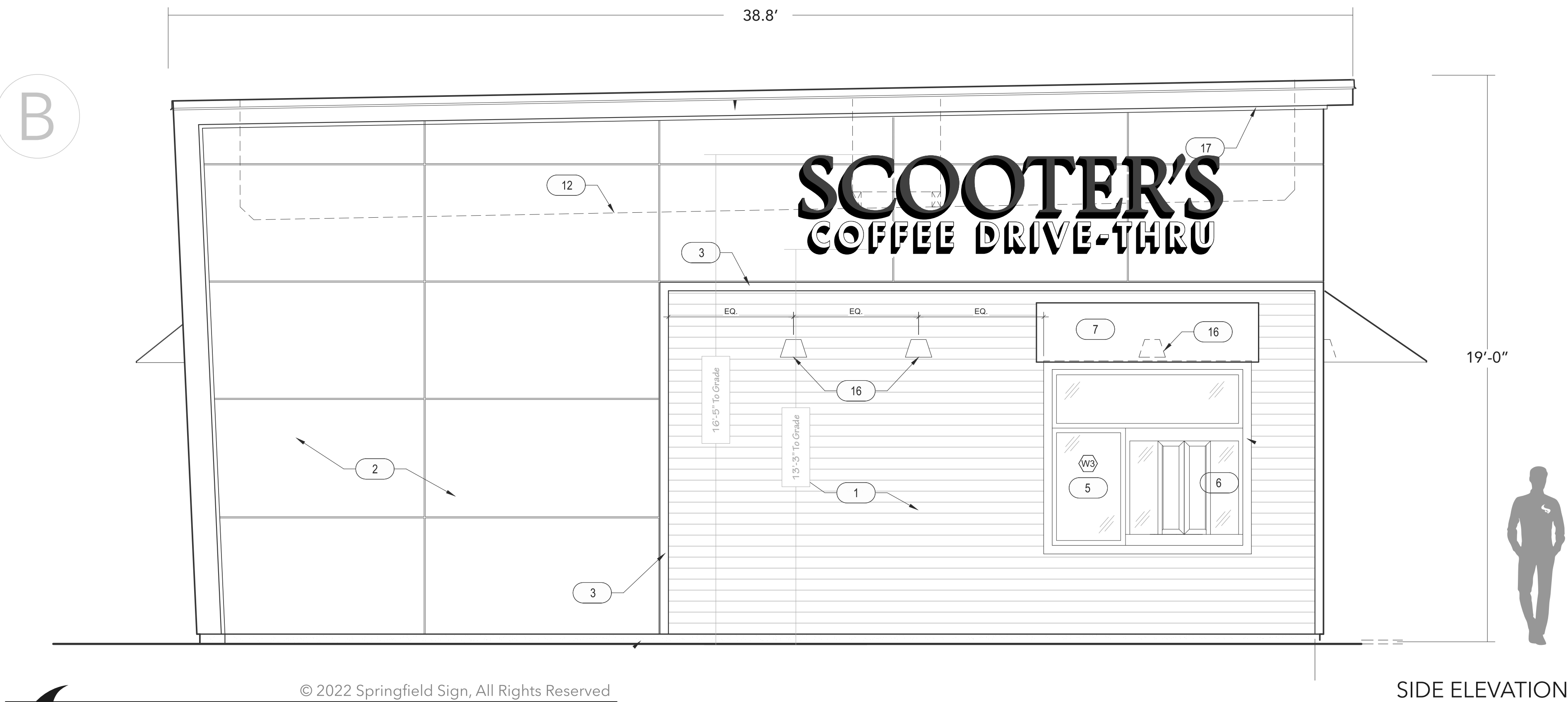
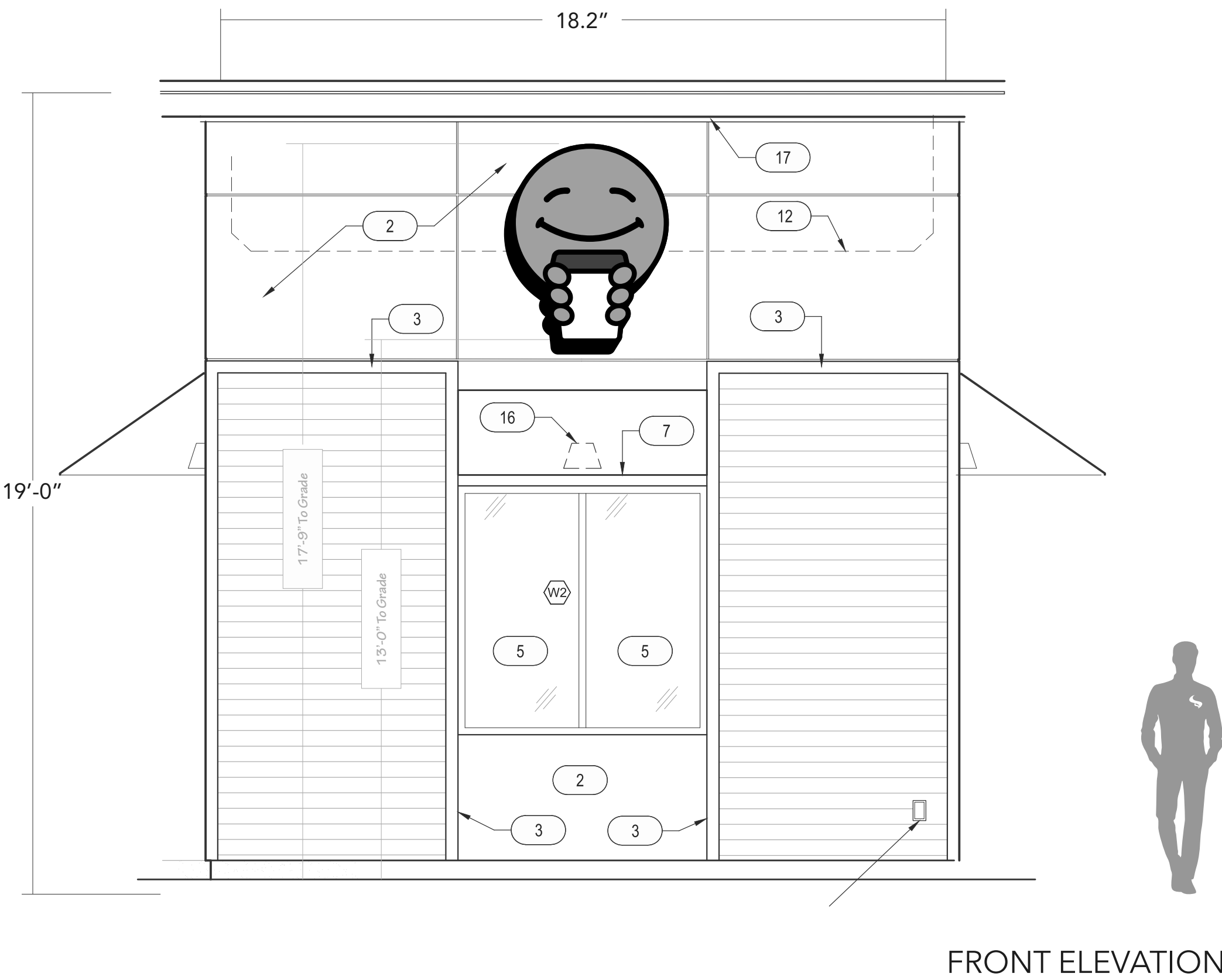
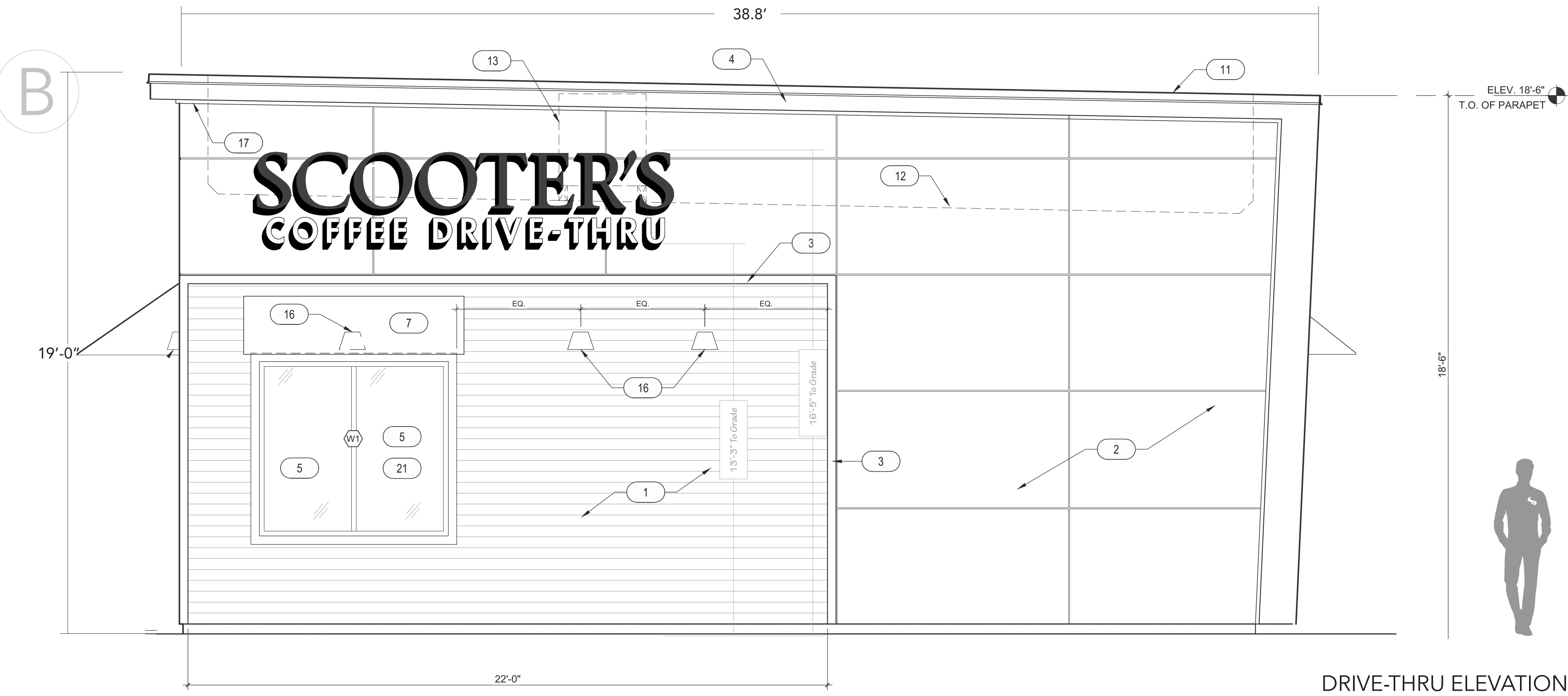
SMILEY LOGO- (A)	FRONT
CHANNEL LETTERS (B)	SIDE
CHANNEL LETTERS (B)	DRIVE THRU
DIRECTIONAL SIGN (F)	FRONT
DIRECTIONAL SIGN (E)	REAR

ELEVATION DETAILS

DRAWING SCALE: 3/8"=1'

SALES:	Shaun Crawford	800.845.9927	CLIENT:	Scooter's Coffee	# 20413
ARTIST:	Joshua Kroeger	CREATED: 12/22/22	LOCATION:	Tract 2, Louisville North 7th Filing	

VILLAGE SQUARE SHOPPING CENTER
PLANNED UNIT DEVELOPMENT
3RD AMENDMENT
TRACT II & IIA, LOUISVILLE
NORTH 7TH FILING
CASE #: PUD-000453-2023



DETAIL VIEW - CABINET

DRAWING SCALE: 1-1/2"=1'

3M Lt. Tomato Red Translucent Film (3630-43) 3M matte Black (7725-22)

SALES:	Shaun Crawford	800.845.9927	CLIENT:	Scooter's Coffee	# 20413
ARTIST:	Joshua Kroeger	CREATED: 12/22/22	LOCATION:	Tract 2, Louisville North 7th Filing	

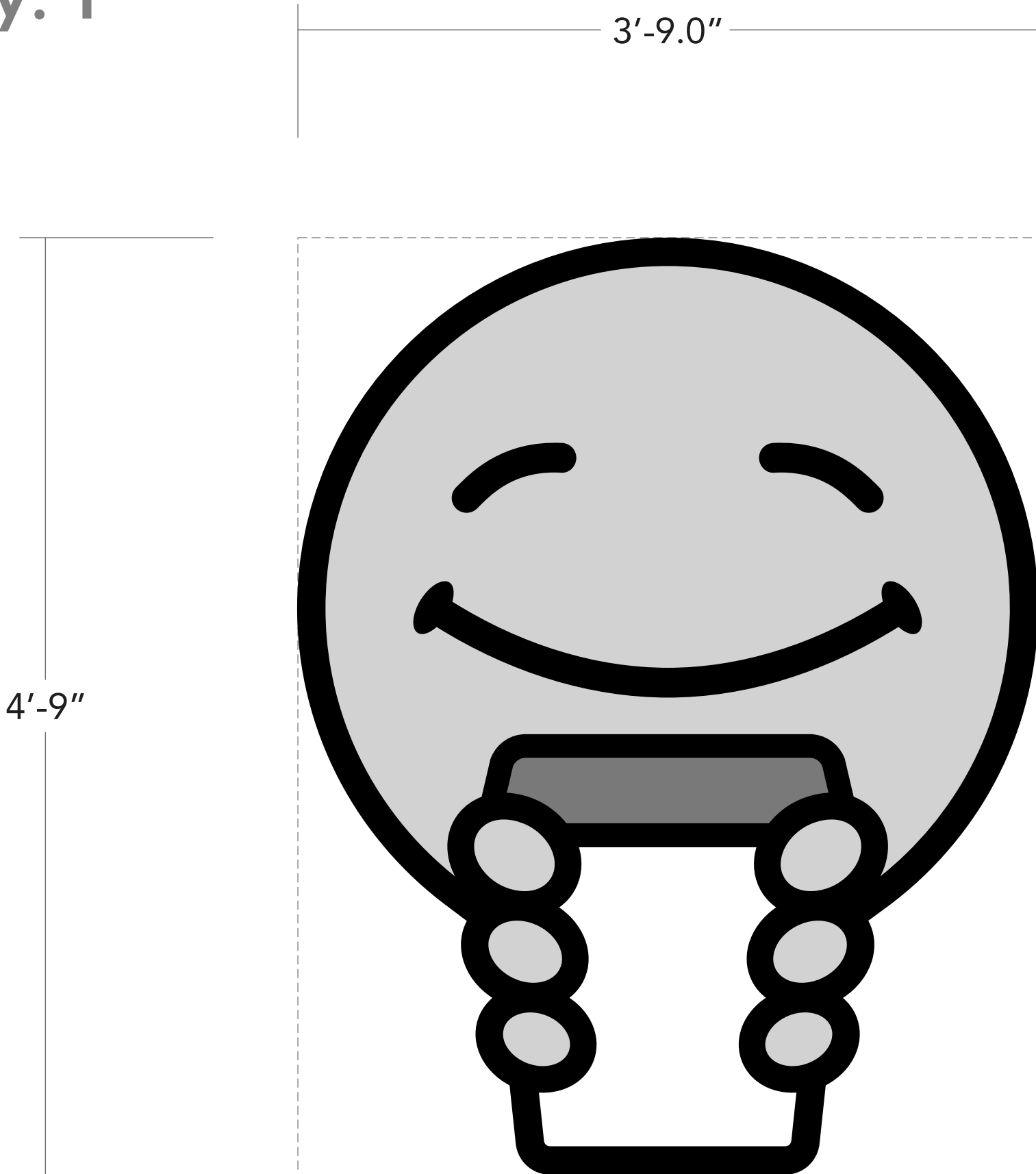
Yellow (230-015) Pantone 116 C

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SMILEYCAB4

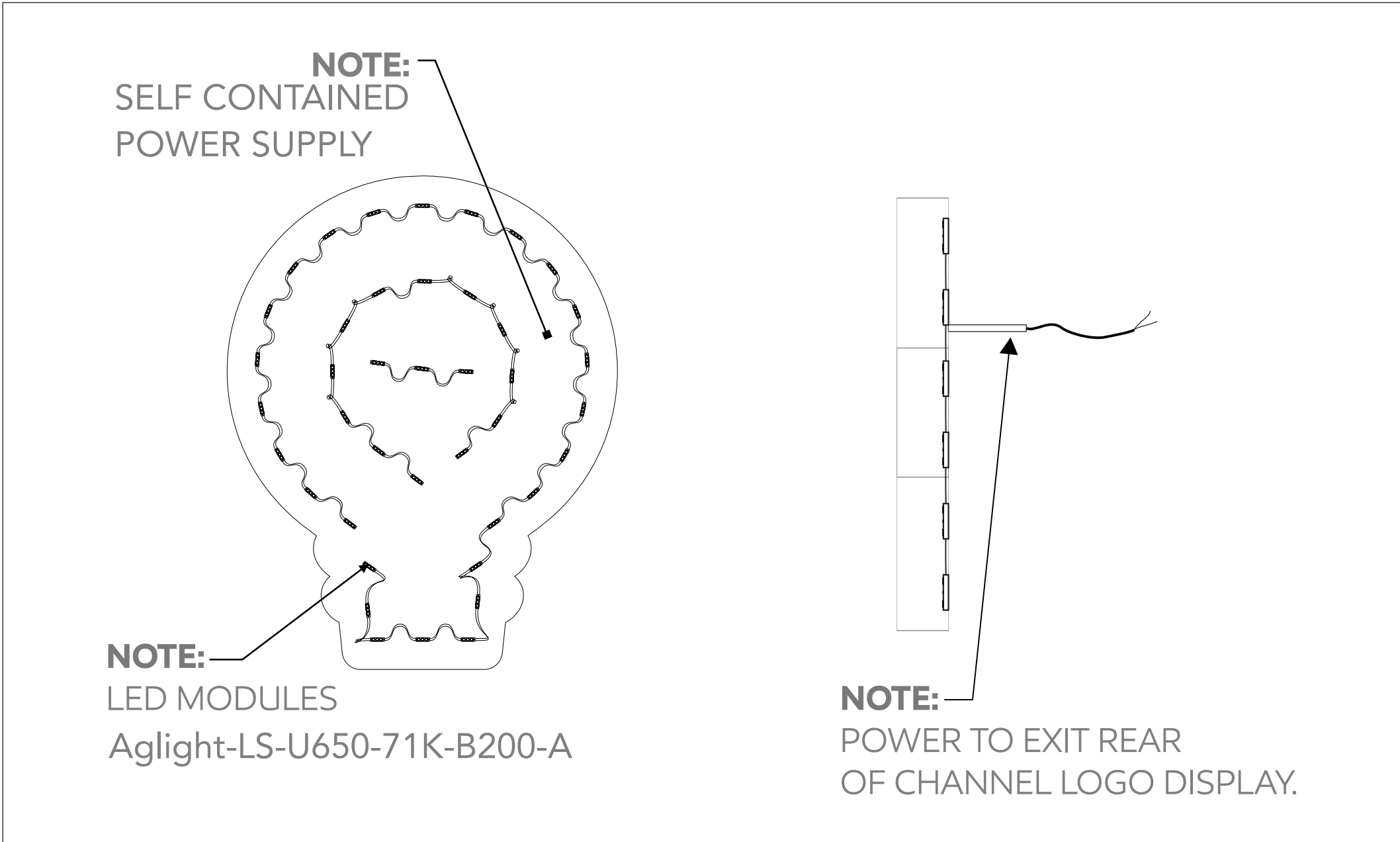
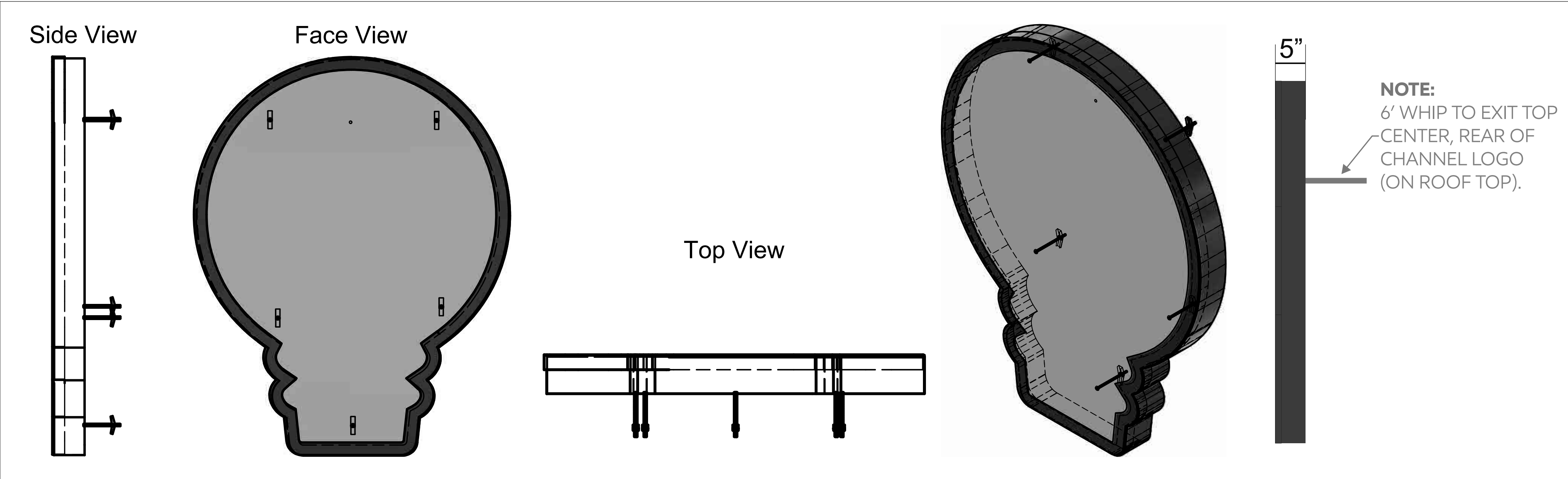
Quantity: 1

A



LED ILLUMINATED CABINET	
FACE MATERIAL:	3/16" WHITE ACRYLIC
CABINET DEPTH:	5" RETURNS
RETAINER INFO:	1.75" BLACK RETAINER
ILLUMINATION:	S/F LED INT. ILLUM.
MOUNTING:	FLUSH MOUNTED
CABINET MATERIAL:	ALUM. PAINTED BLACK

Total Sq. Ft. 17.81



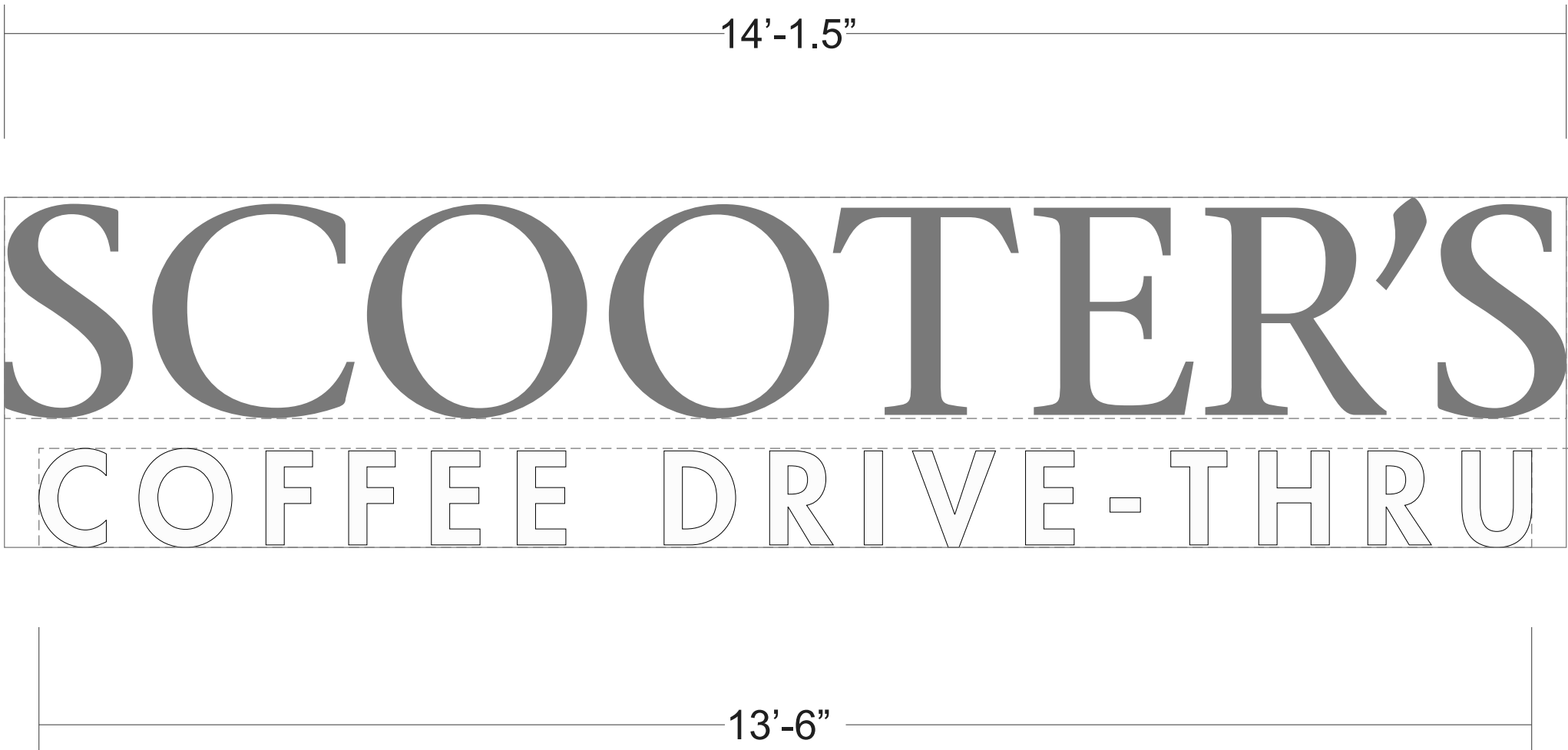
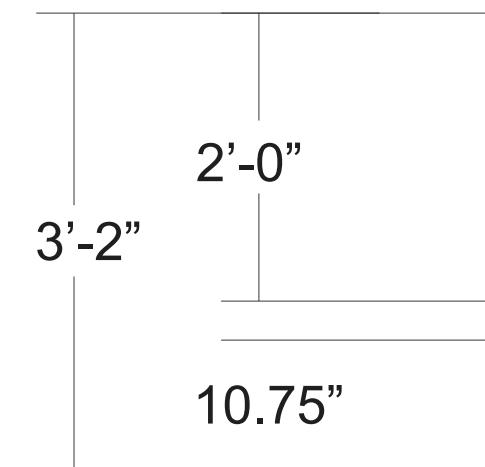
DETAIL VIEW - CHANNEL LETTERS

DRAWING SCALE: 3/4"=1'

3M Lt. Tomato Red Translucent Film (3630-43)

Quantity: 2 SETS

B



ONE (1) 100watt
POWER SUPPLY

ONE (1) 60watt
POWER SUPPLY

NOTE:
"COFFEE DRIVE-THRU " WILL BE WIRED
INSIDE DROP CEILING.

NOTE:
POWER TO EXIT AT TOP AREA OF
"SCOOTER'S"

NOTE:
ALUMINUM REVERSE RACEWAY
LOCATED ON ROOF BEHIND
PARAPET WALL.

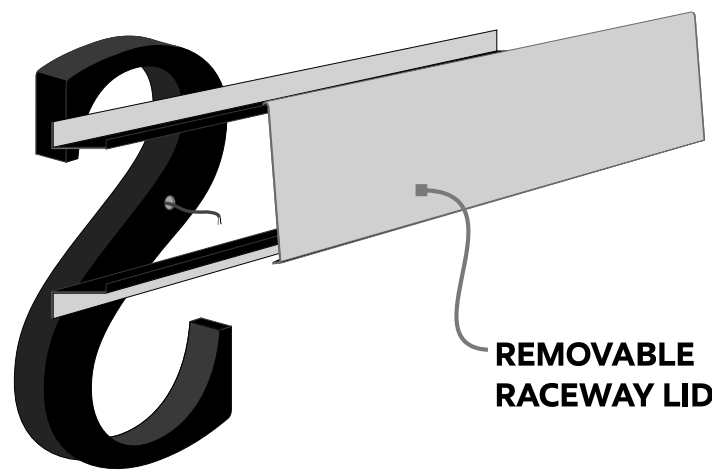
NOTE:
POWER TO EXIT AT LOWEST POINT
OF "COFFEE DRIVE-THRU"

"TOP" FRONT-LIT CHANNEL LETTERS

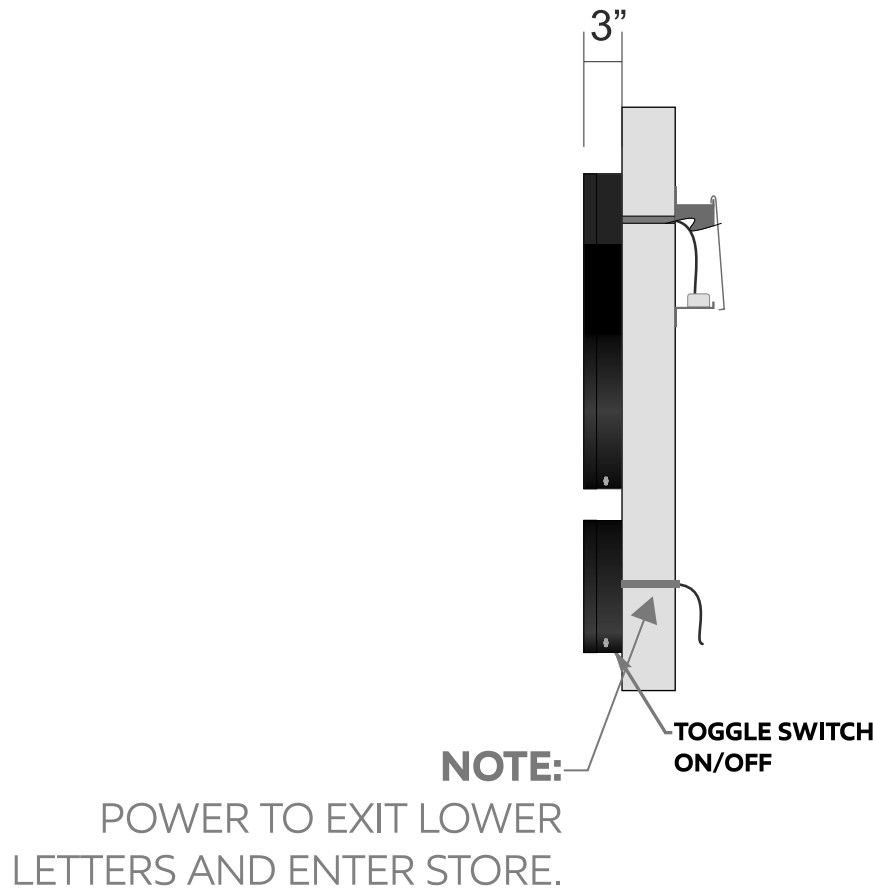
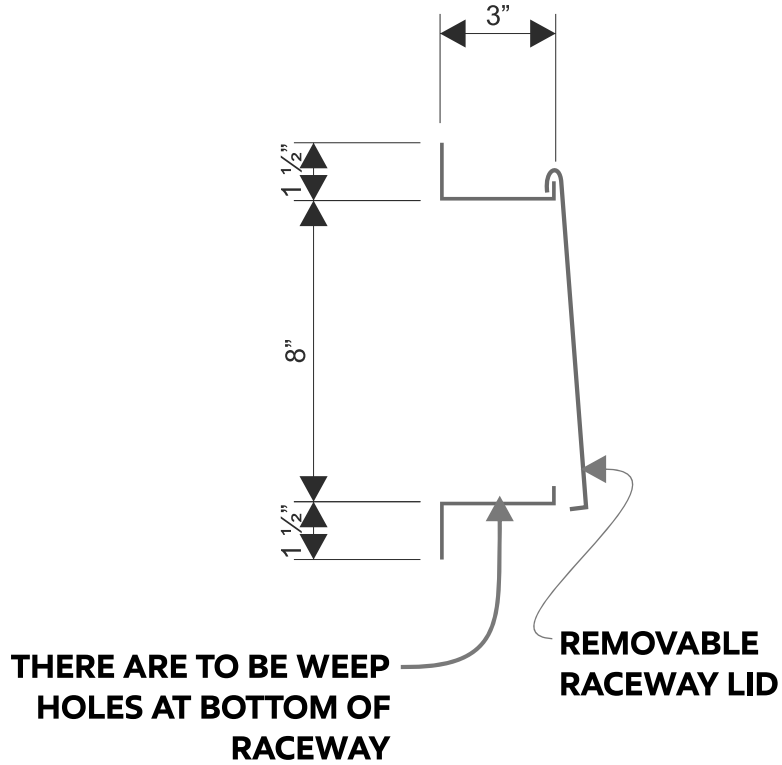
FACE MATERIAL:	3/16" WHITE ACRYLIC
RETURN COLOR:	BLACK
TRIMCAP COLOR:	1" BLACK
ILLUMINATION:	LED RED INT. ILLUM.
MOUNTING:	REMOTE RACEWAY
DEPTH:	3"

"BOTTOM" FRONT-LIT CHANNEL LETTERS

FACE MATERIAL:	3/16" WHITE ACRYLIC
RETURN COLOR:	BLACK
TRIMCAP COLOR:	1" BLACK
ILLUMINATION:	LED WHITE INT. ILLUM.
MOUNTING:	FLUSH MOUNTED
DEPTH:	3"



NOTE:
INVERTED RACEWAY TO BE SEALED BY ROOTER
AFTER INSTALLATION.



SALES:	Shaun Crawford	800.845.9927	CLIENT:	Scooter's Coffee	# 20413
ARTIST:	Joshua Kroeger	CREATED: 12/22/22	LOCATION:	Tract 2, Louisville North 7th Filing	

VILLAGE SQUARE SHOPPING CENTER
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CHAN38

DETAIL VIEW - AWNINGS

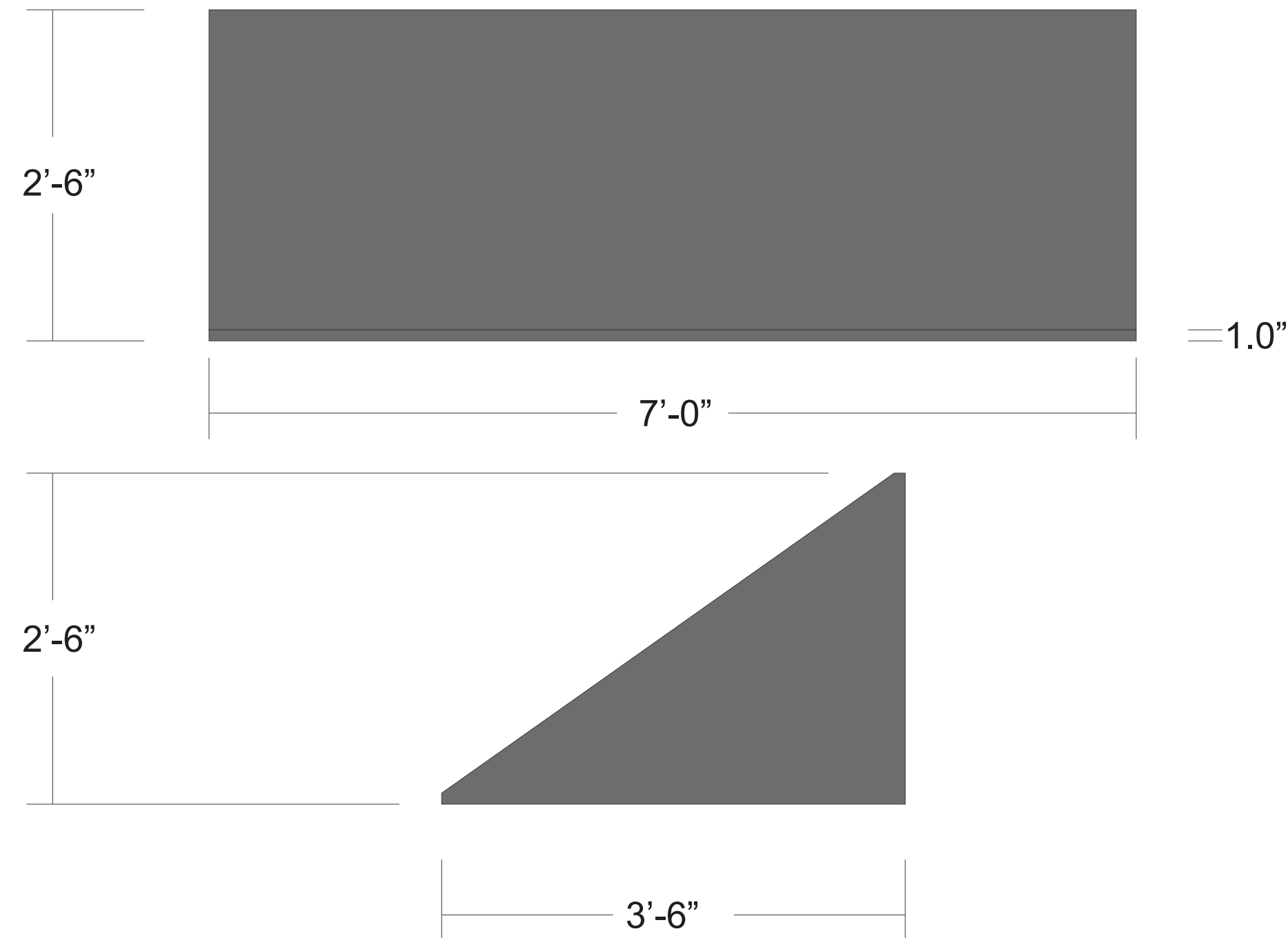
DRAWING SCALE: 1"=1'

SALES:	Shaun Crawford	800.845.9927	CLIENT:	Scooter's Coffee	# 20413
ARTIST:	Joshua Kroeger	CREATED: 12/22/22	LOCATION:	Tract 2, Louisville North 7th Filing	

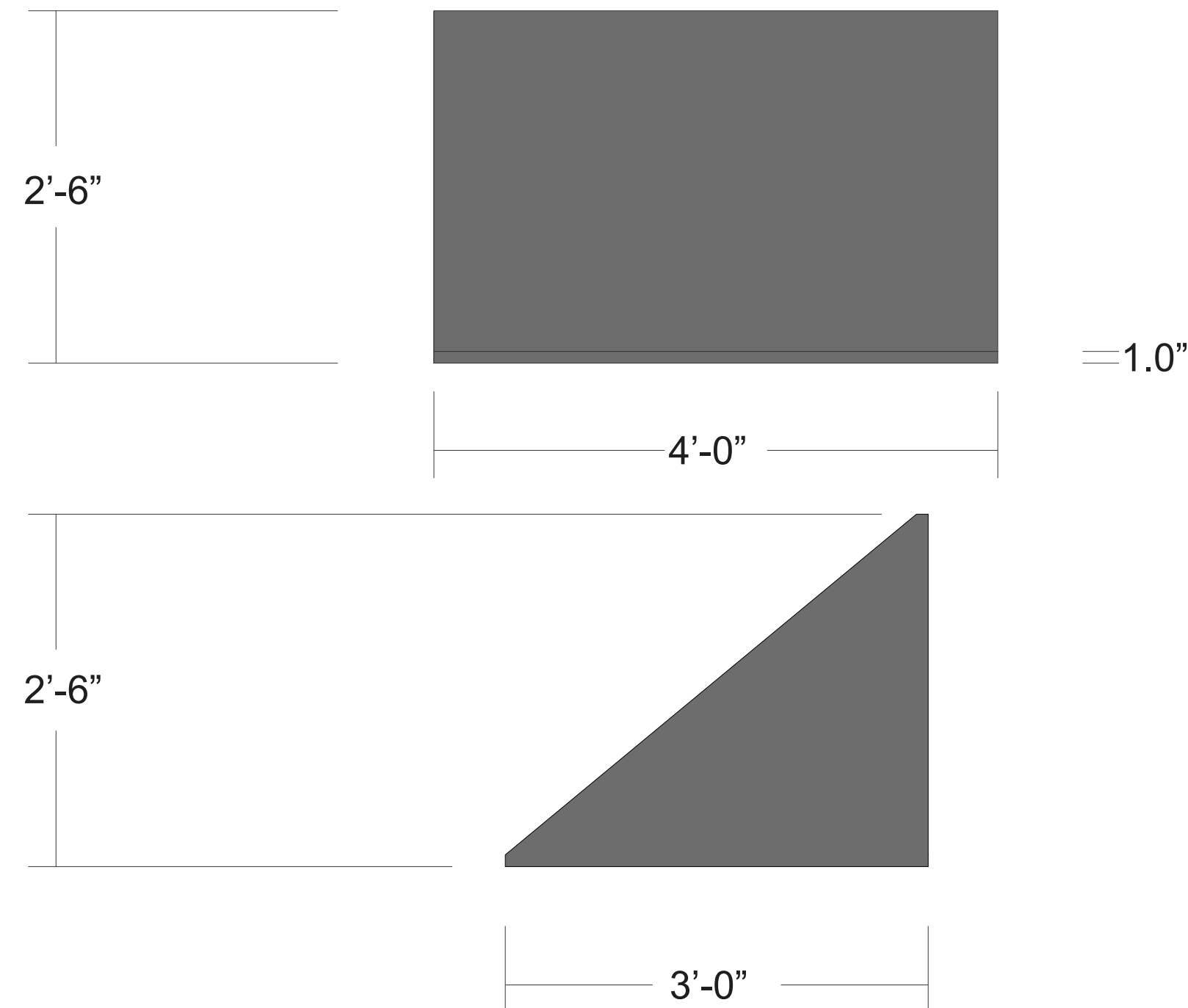
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AWNING4

*NOTE - LAG BOLTS ARE TO BE USED FOR ATTACHING THE AWNINGS TO THE BUILDING

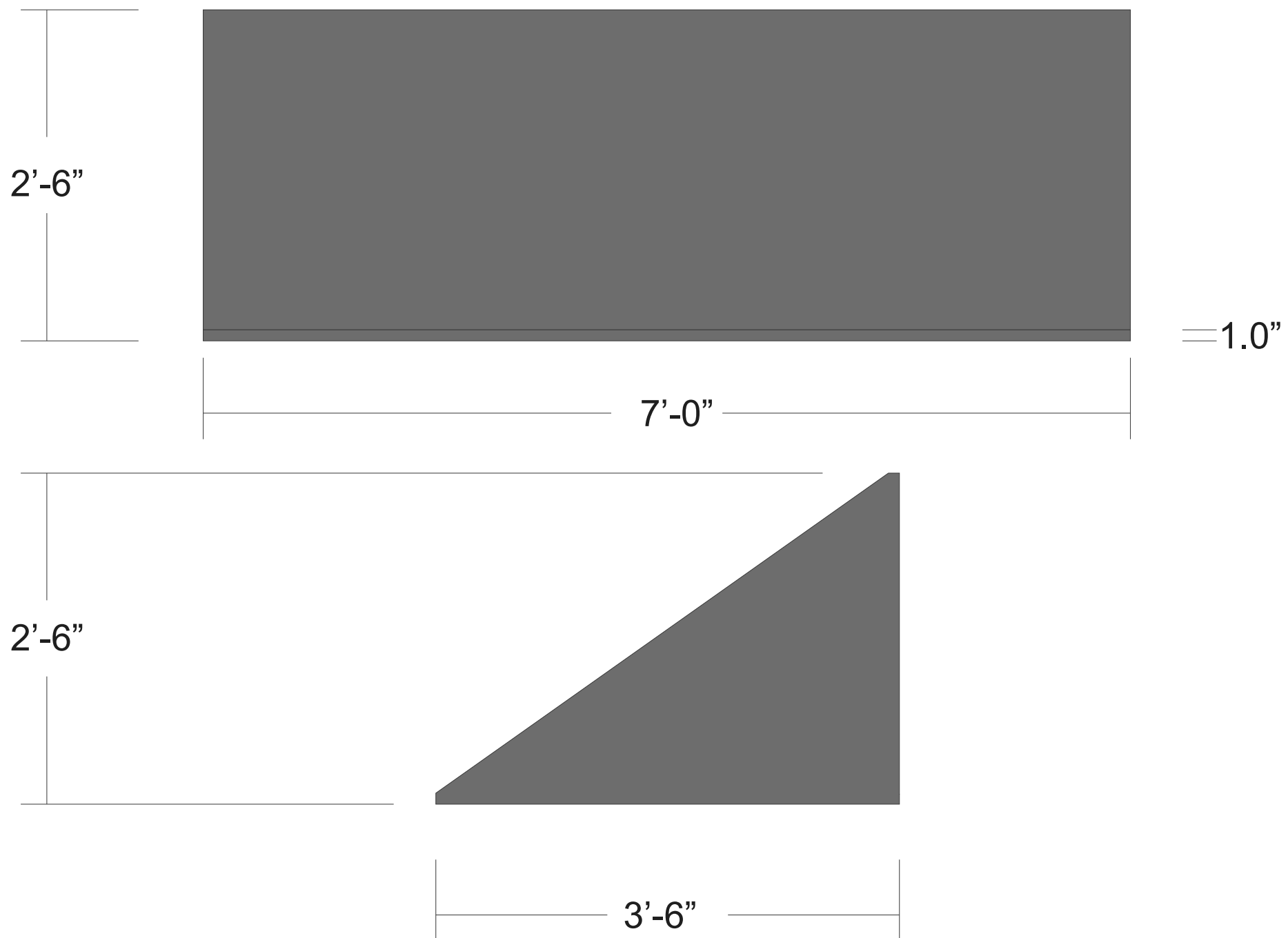
DRIVE-THRU SET: Quantity: 1



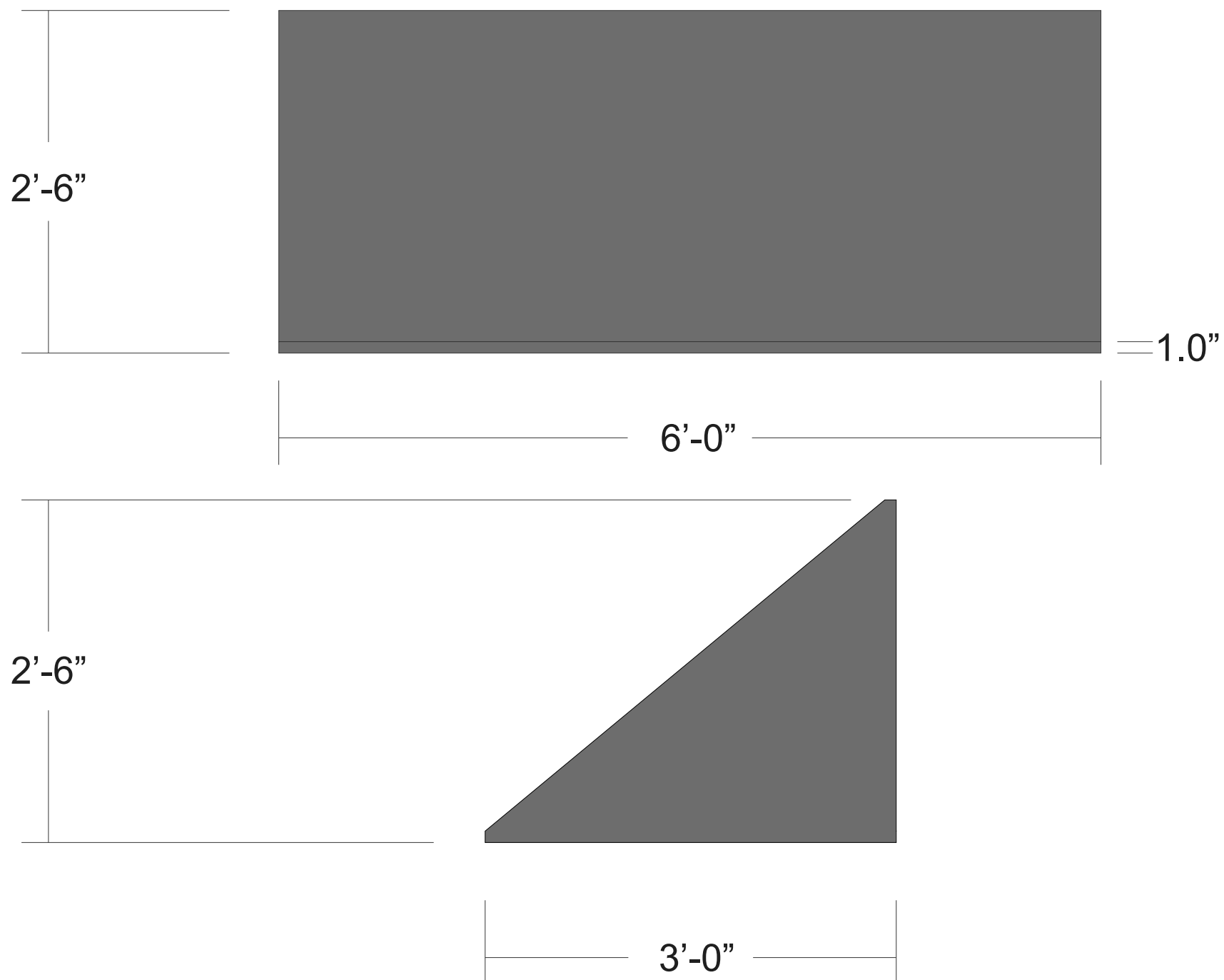
REAR SET: Quantity: 1



SIDE SET: Quantity: 1



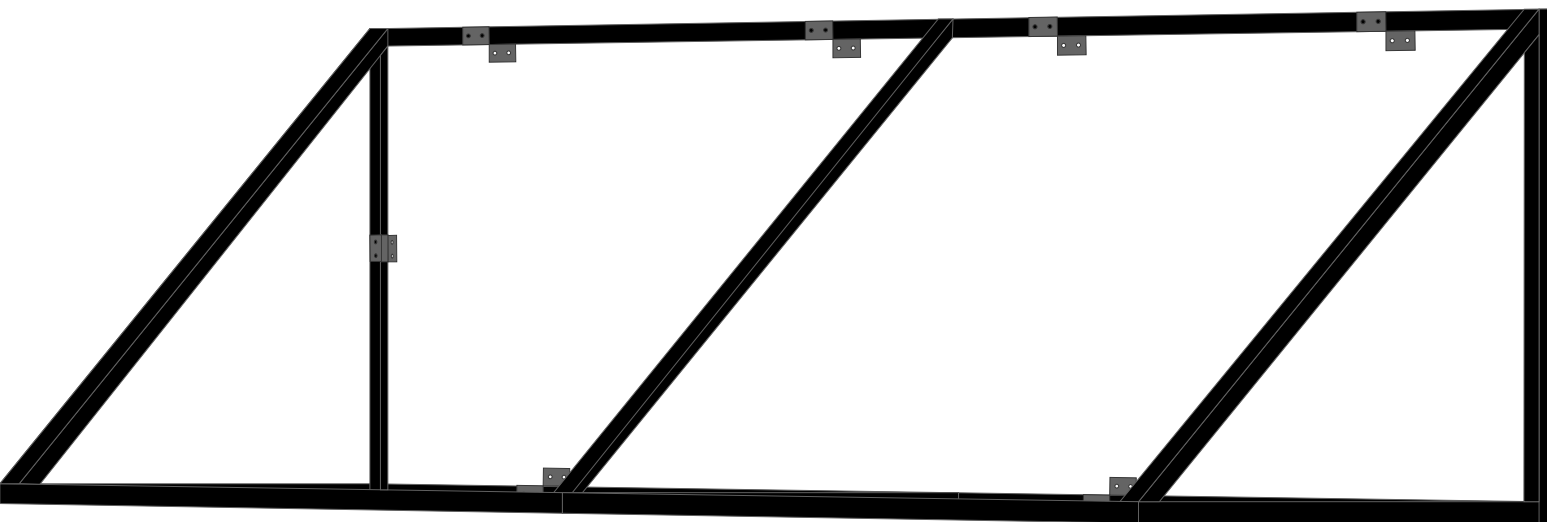
FRONT SET: Quantity: 1



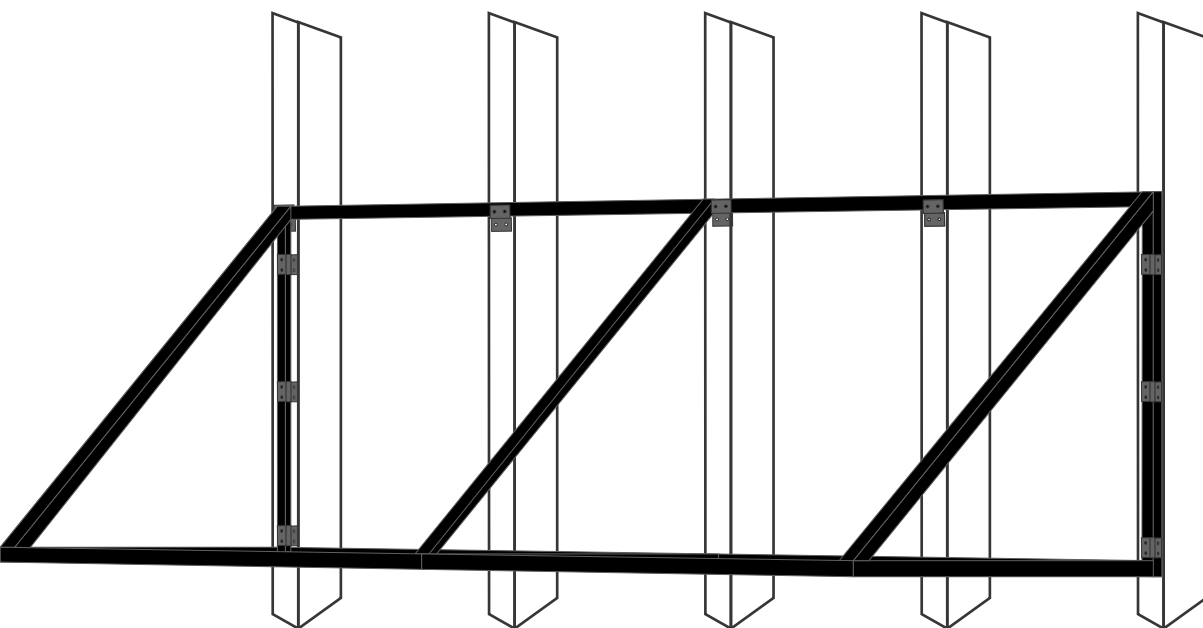
AWNING DISPLAY

FRAME MATERIAL:	1"X1" ALUMINUM SQUARE TUBE
FRAME COLOR :	BLACK
MATERIAL:	LOGO RED SUNBRELLA #6066-0000
MOUNTING:	PANEL MOUNTED TO FASCIA

FRAME



ATTACHMENT DETAIL



DETAIL VIEW - D/F DIRECTIONAL

DRAWING SCALE: 3"=1'

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ARTIST:	Joshua Kroeger	CREATED: 12/22/22	LOCATION:	Tract 2, Louisville North 7th Filing	

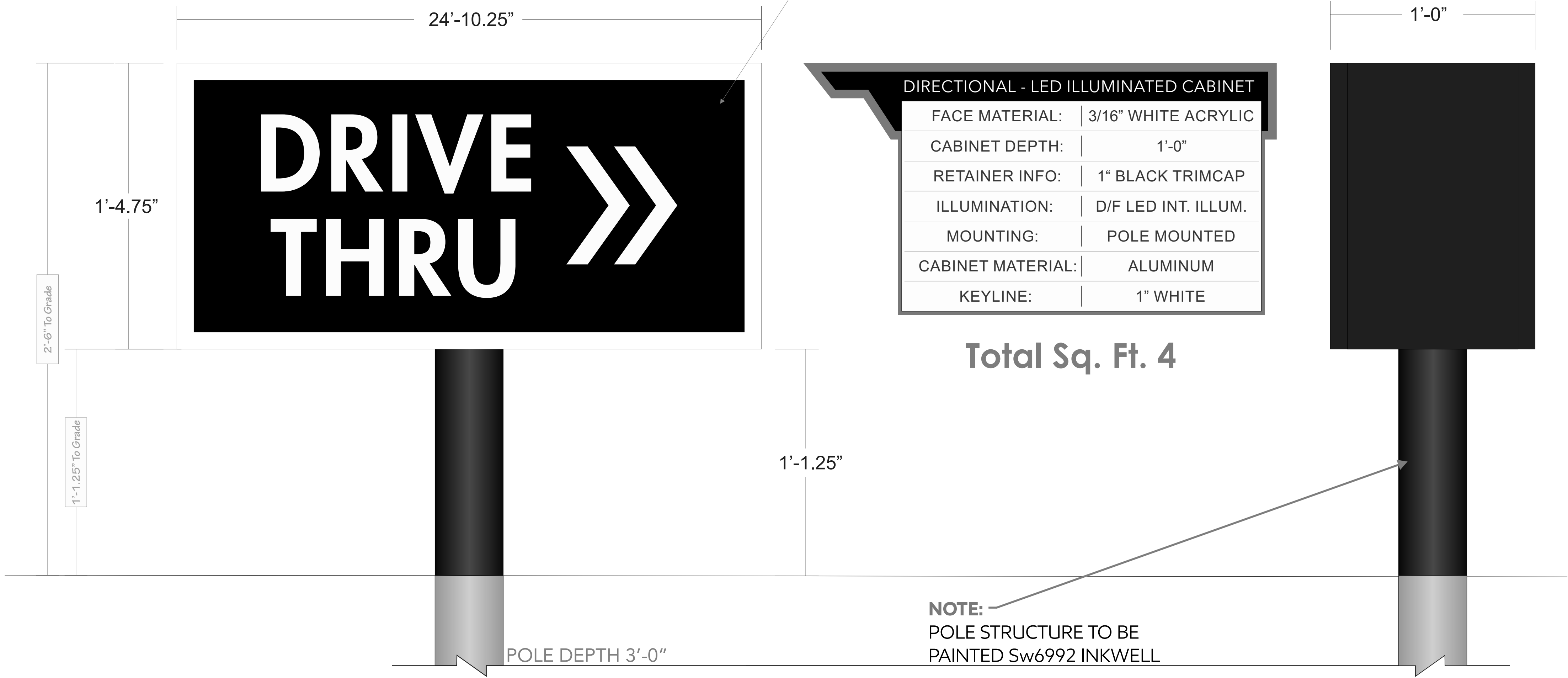
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Quantity: 1

E

3M Black Opaque Film (7725-12)

OPAQUE VINYL



SIDE A



SIDE B

DETAIL VIEW - D/F DIRECTIONAL

DRAWING SCALE: 3"=1'

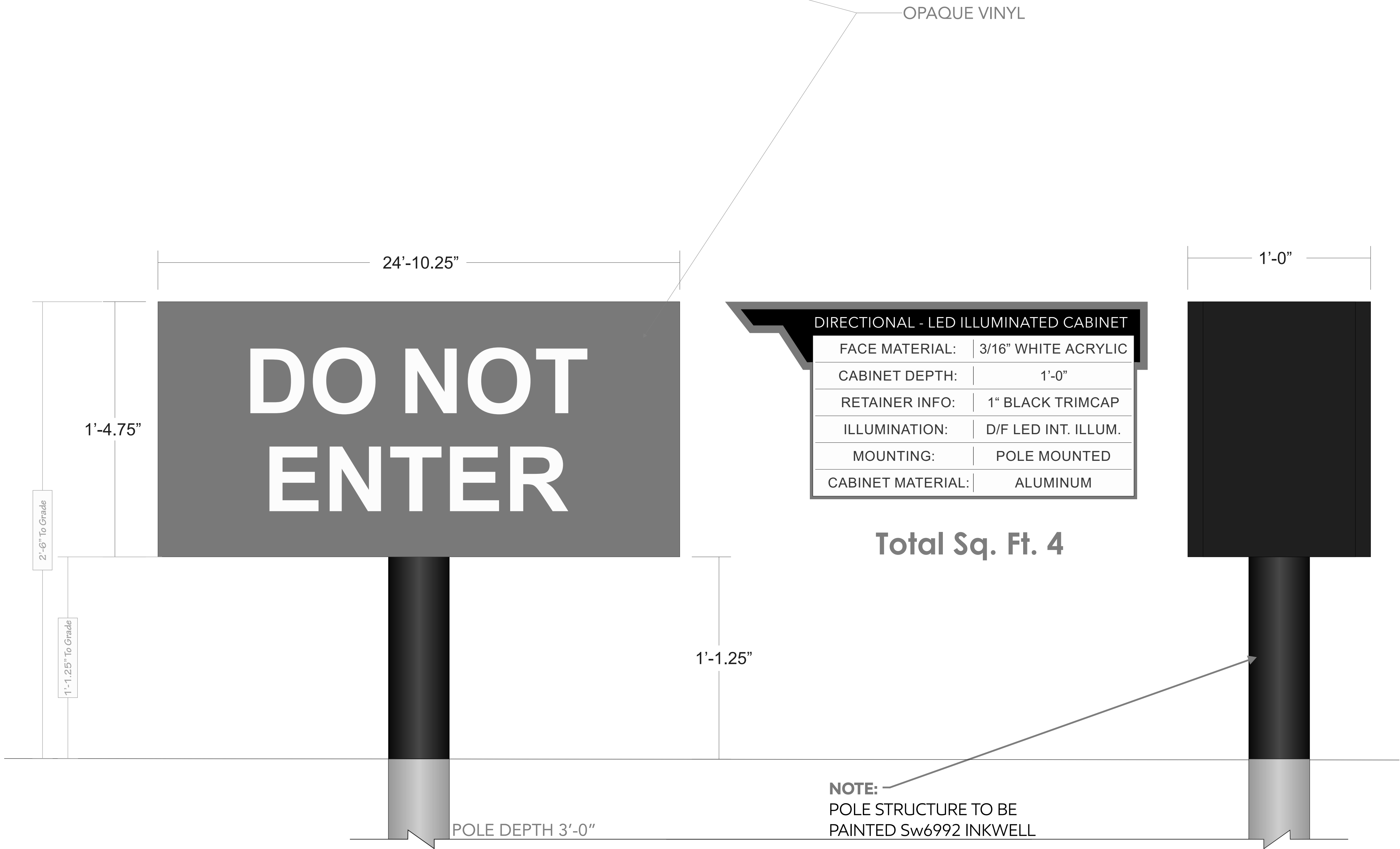
EQUIVALENT OPAQUE VINYL TO MATCH
3M Lt. Tomato Red Translucent Film (3630-43)

Quantity: 1

F

SALES:	Shaun Crawford	800.845.9927	CLIENT:	Scooter's Coffee	# 20413
ARTIST:	Joshua Kroeger	CREATED: 12/22/22	LOCATION:	Tract 2, Louisville North 7th Filing	

VILLAGE SQUARE SHOPPING CENTER
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CASE #: PUD-000453-2023



SIDE A



SIDE B

DETAIL VIEW - MENU BOARD DISPLAY

DRAWING SCALE: NTS

SALES: Shaun Crawford

800.845.9927

CLIENT: Scooter's Coffee

20413

ARTIST: Joshua Kroeger

CREATED: 12/22/22

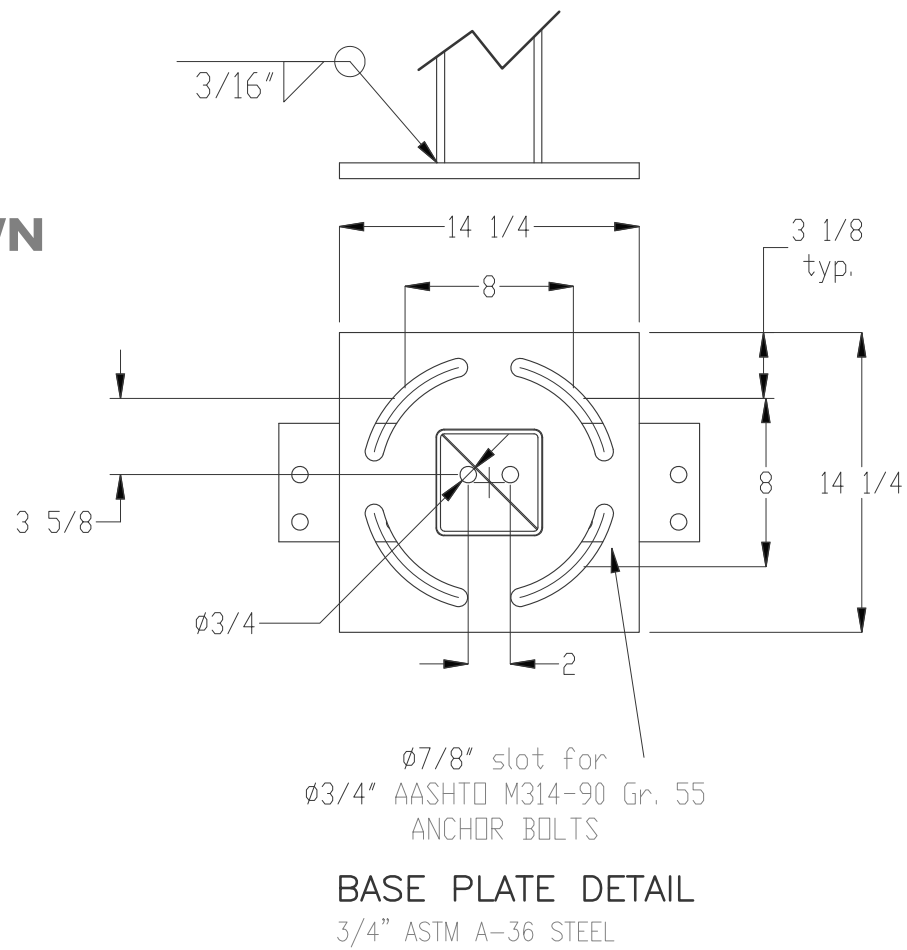
LOCATION: Tract 2, Louisville North 7th Filing

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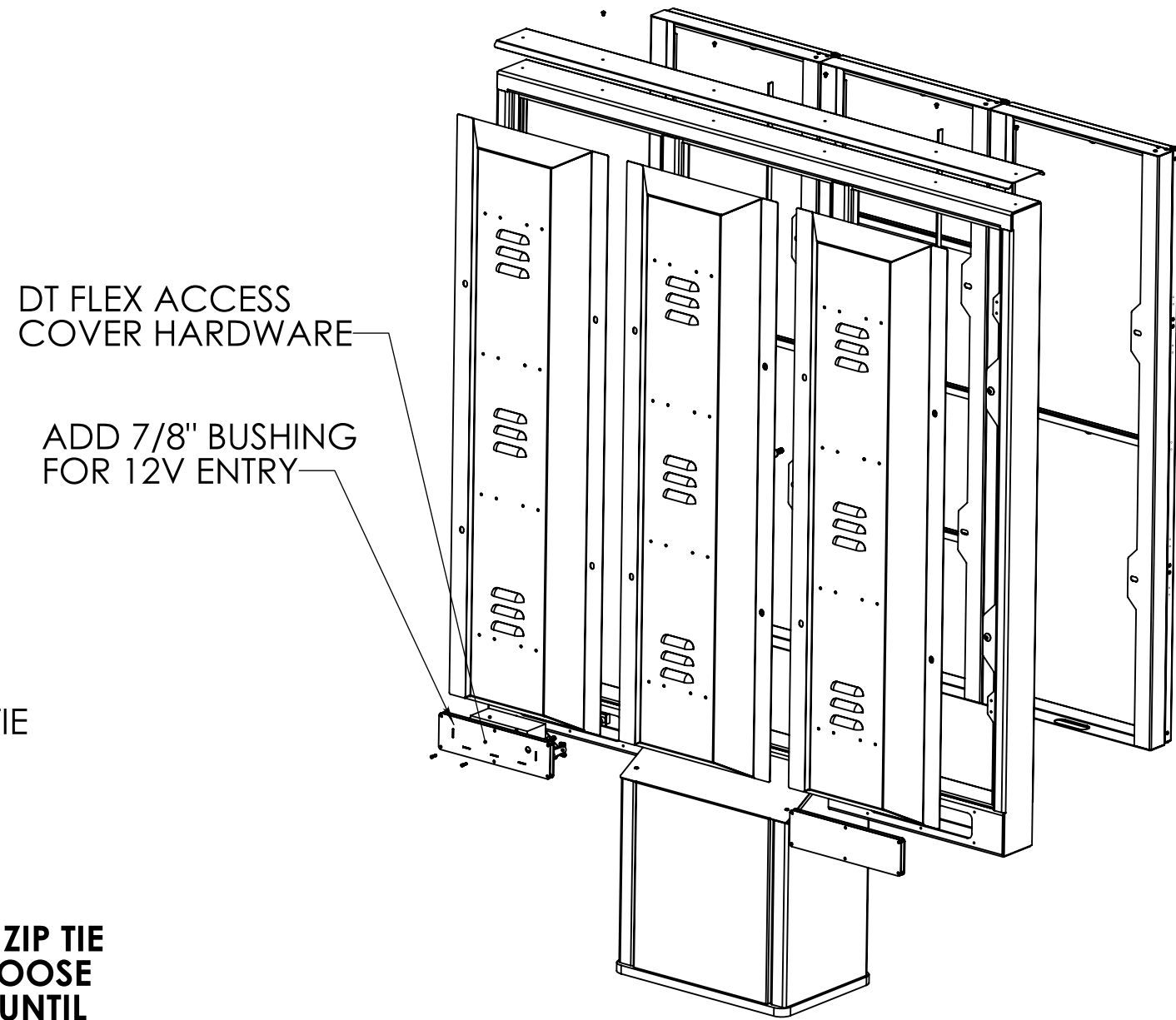
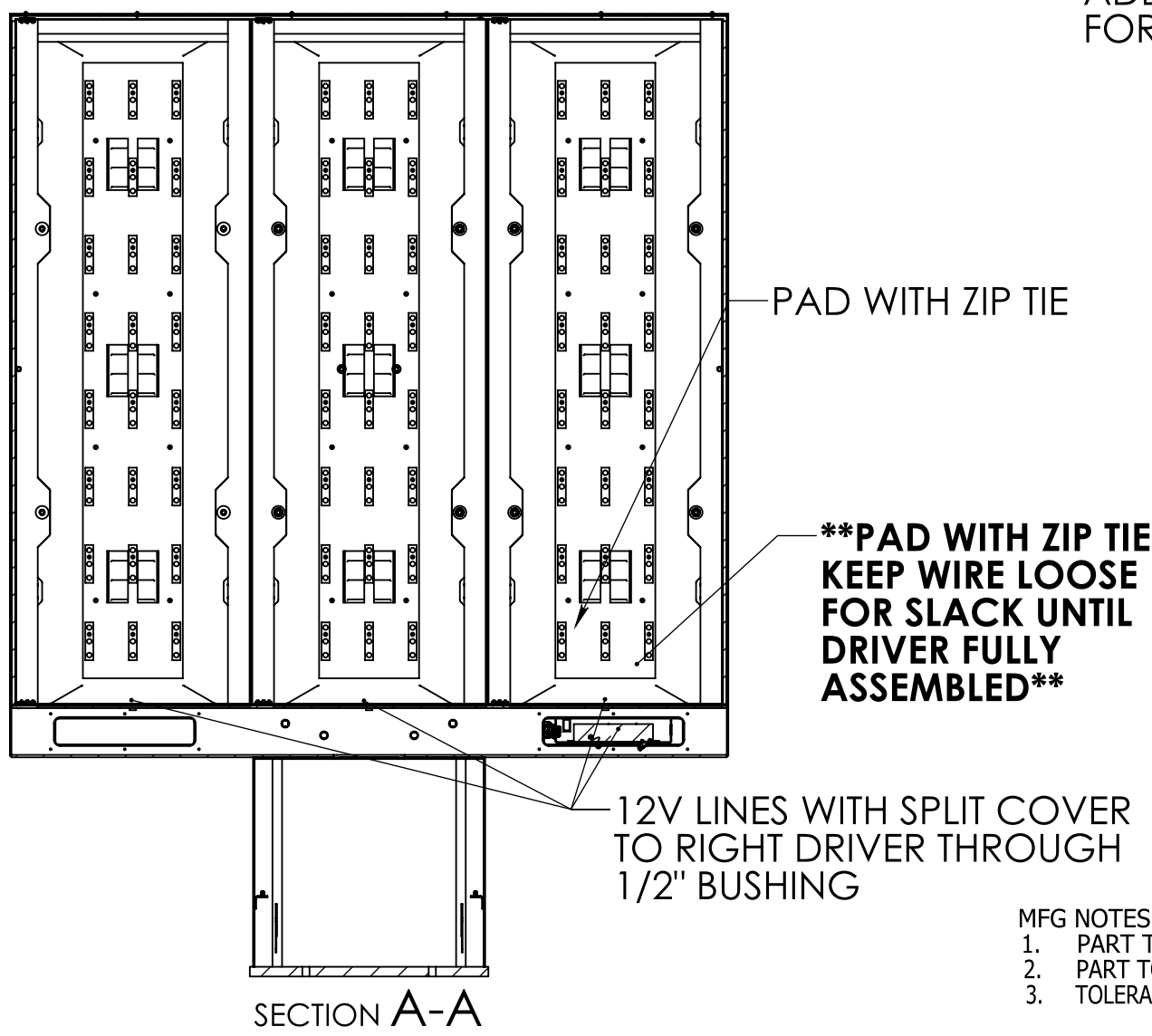
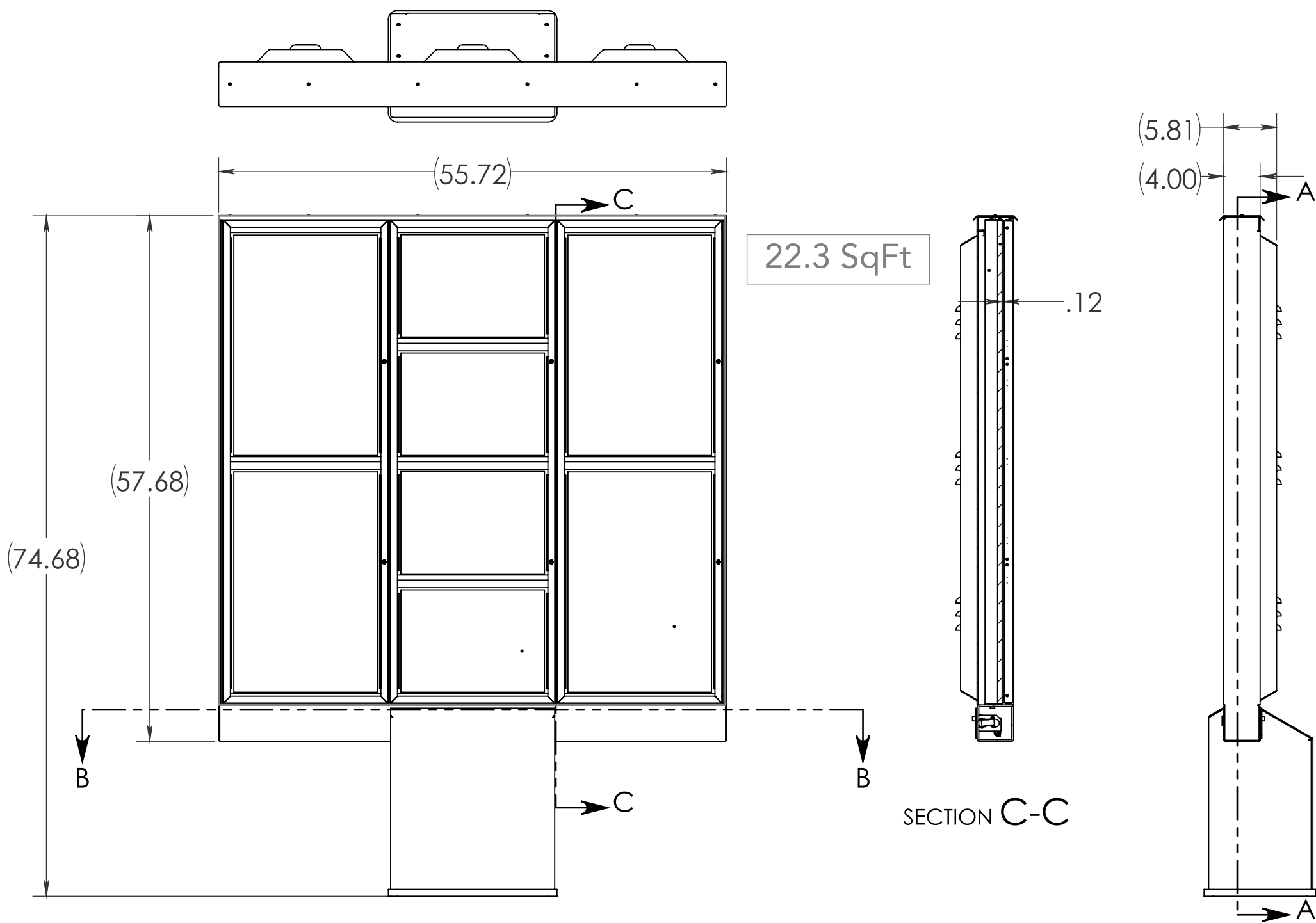
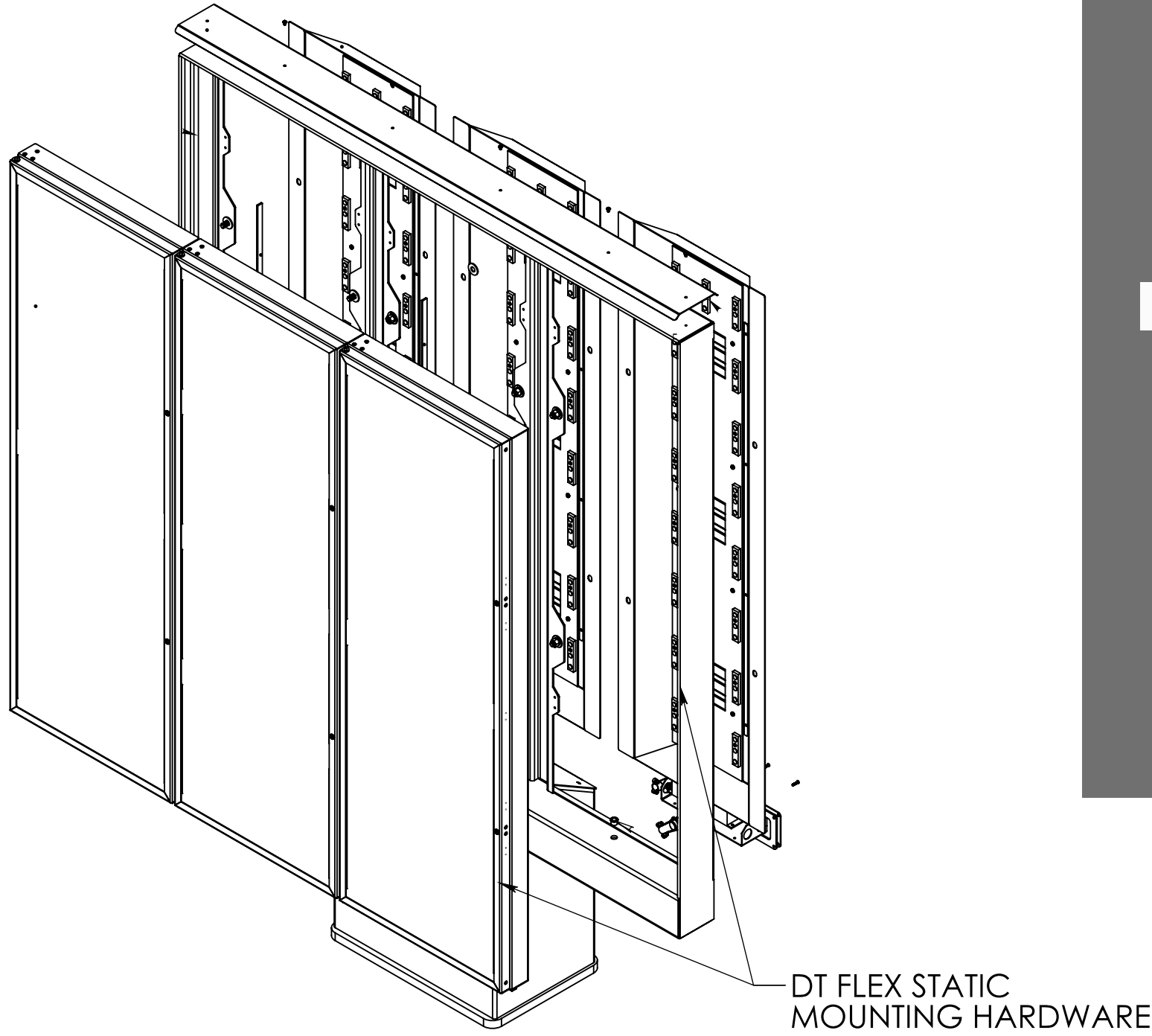
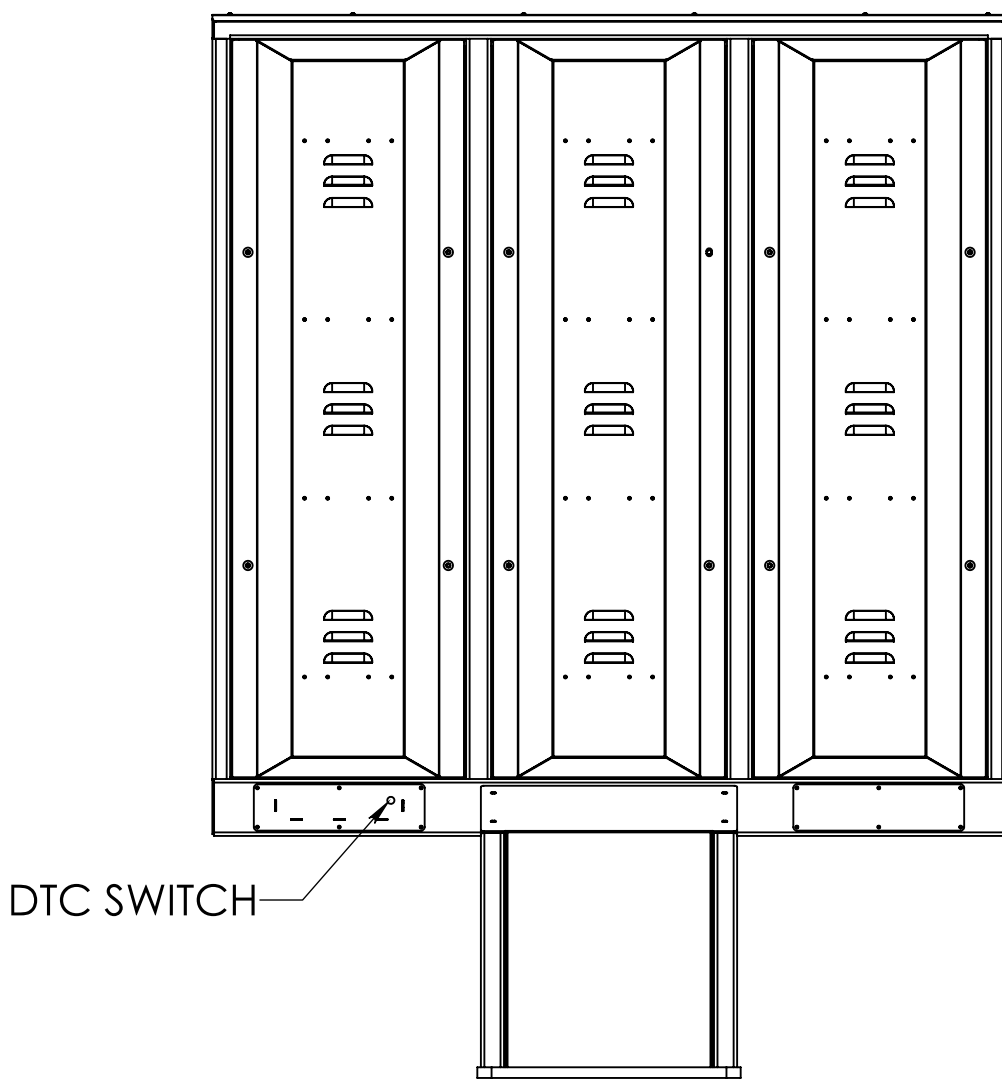
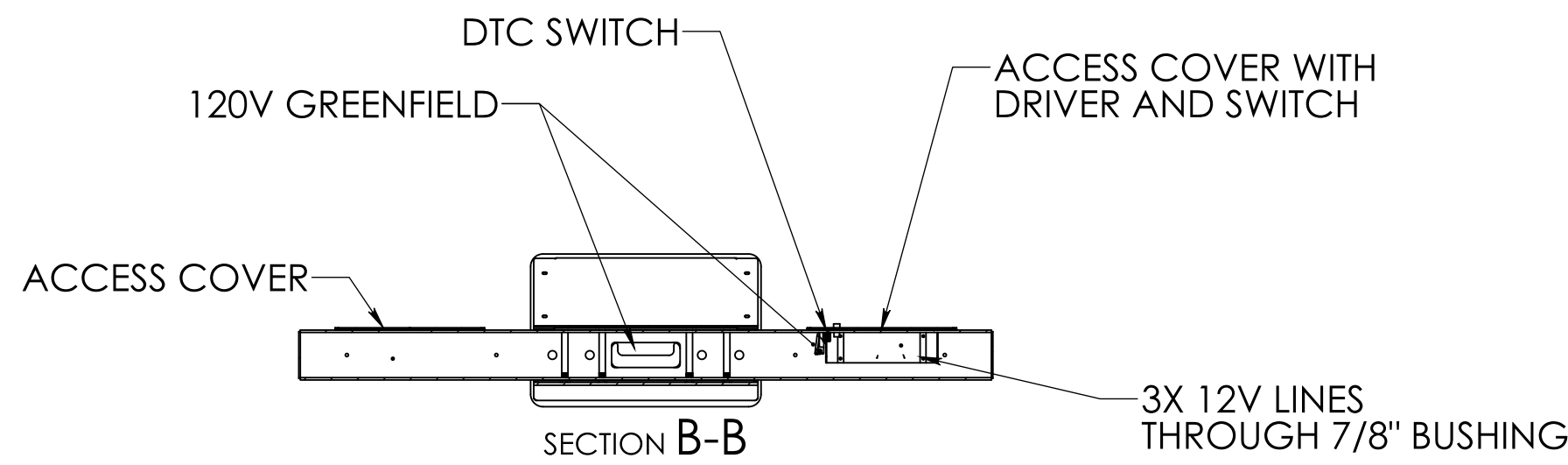
ILLUMINATED DRIVE-THRU SYSTEM:

- LED LIGHTING
- MOUNTED TO EXISTING PIPE AND FOOTING AS SHOWN
- GRAPHICS ARE CHANGEABLE

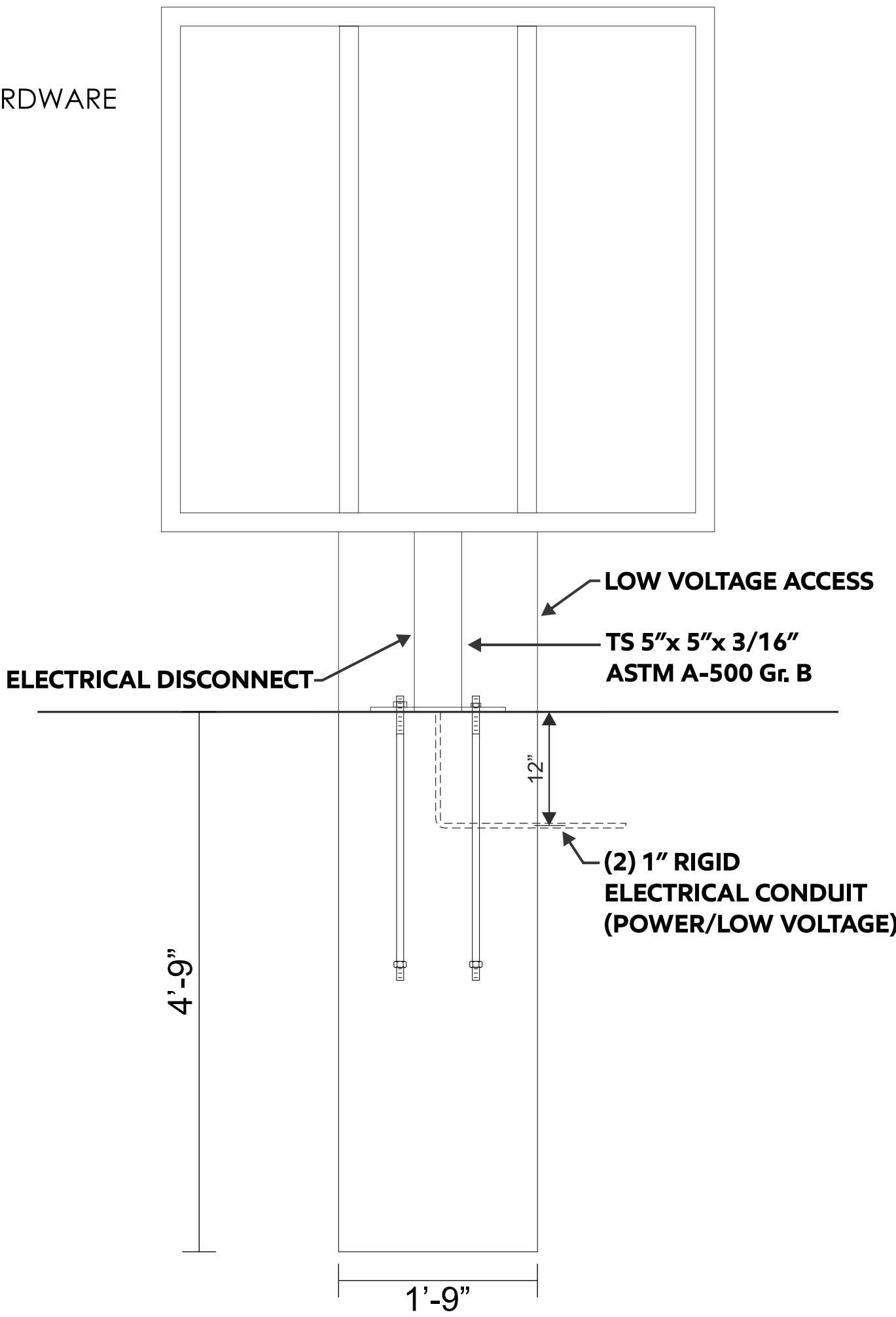
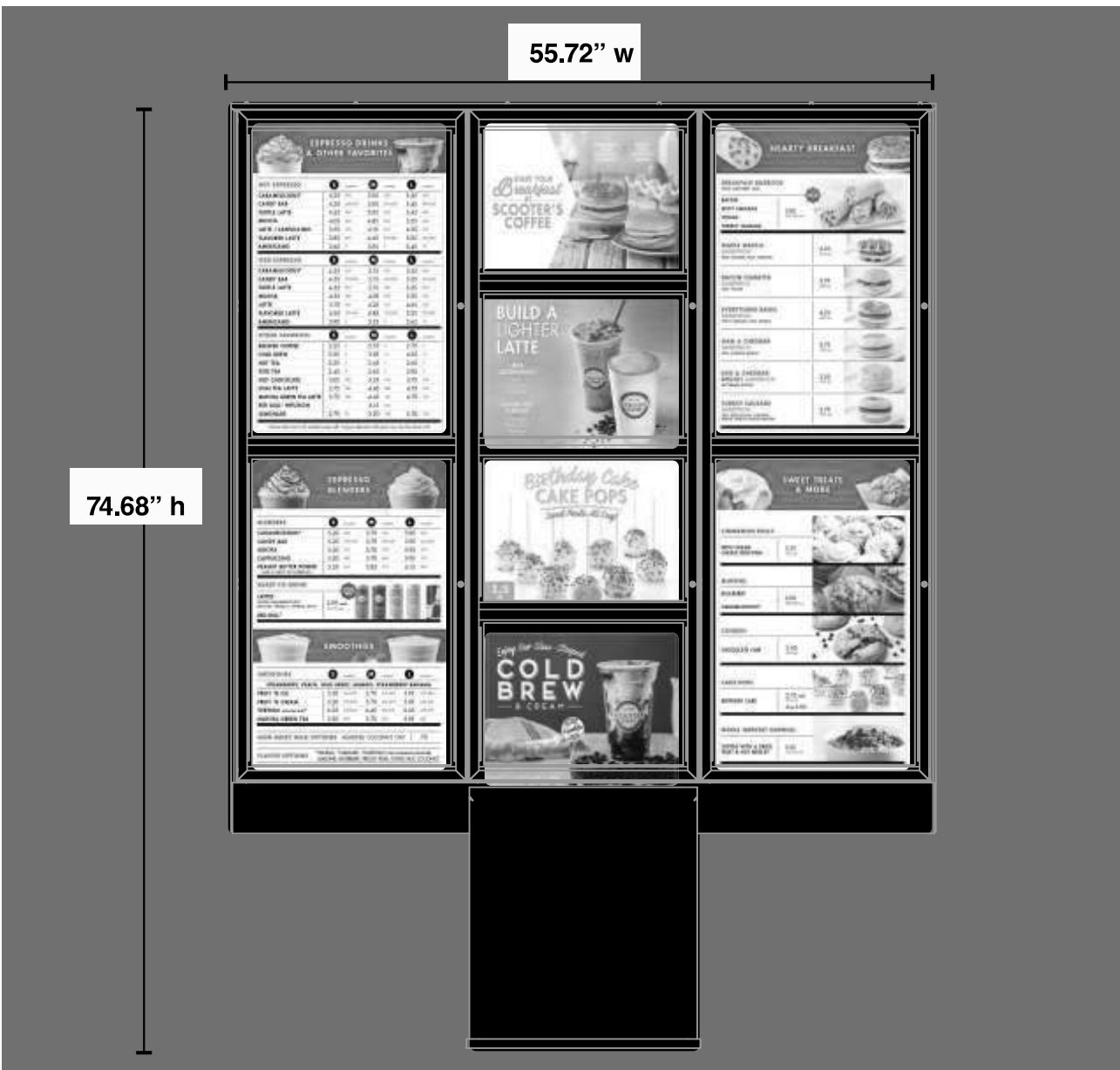
DISPLAY WILL CHANGE NO MORE THAN 3 TIMES IN A 24 HR PERIOD TO COMPLY WITH THE SIGN CODE FOR DISPLAY SIGNS (SEC 4.4)



Installation Only



- MFG NOTES:
- PART TO BE FREE OF SCRATCHES AND DEFECTS
 - PART TO BE FREE OF BURRS AND SHARP EDGES
 - TOLERANCES ON CHAIN DIMENSIONS NOT ACCUMULATIVE



DETAIL VIEW - CLEARANCE BAR & MENU CANOPY

DRAWING SCALE: NTS

SALES: Shaun Crawford

800.845.9927

CLIENT: Scooter's Coffee

20413

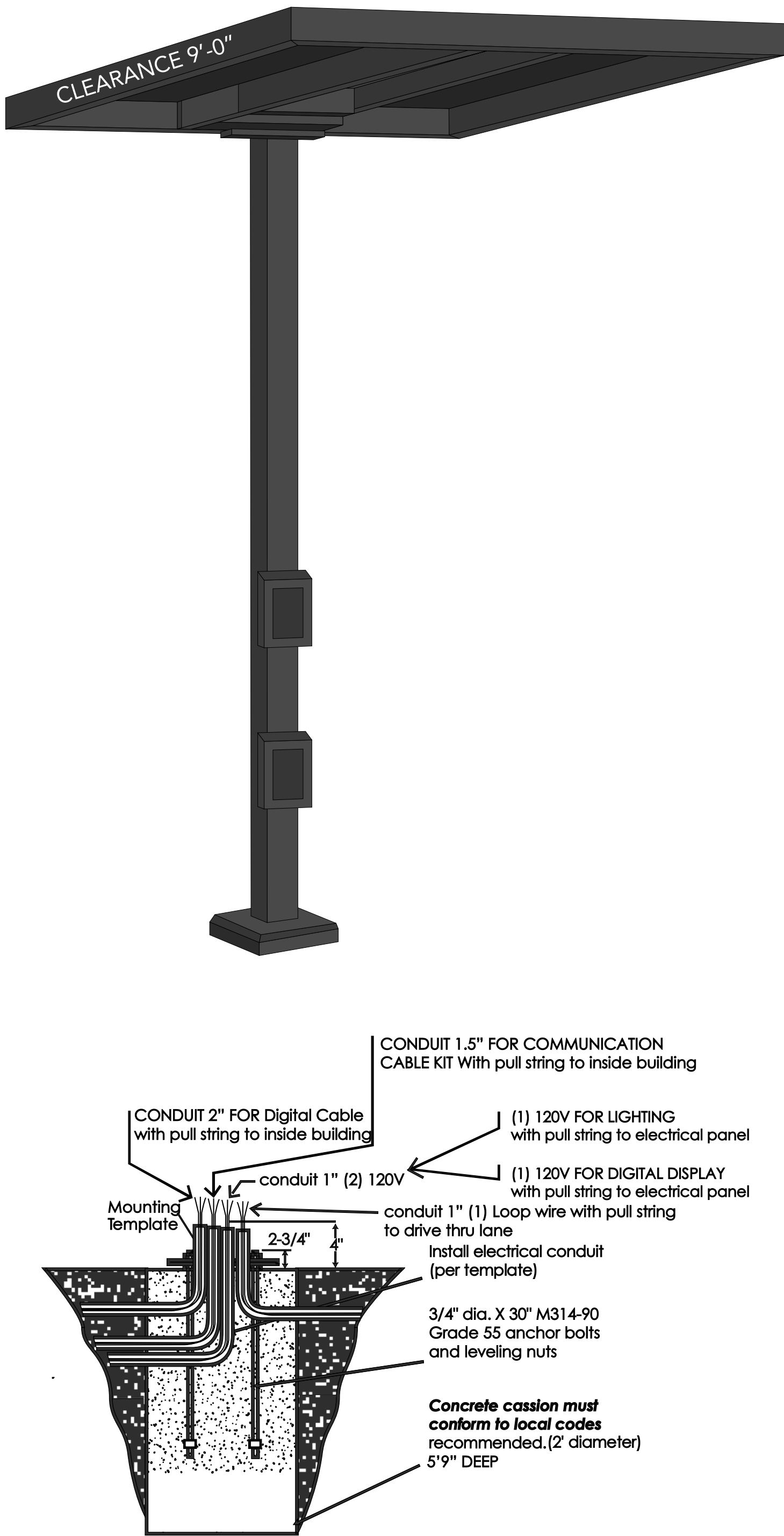
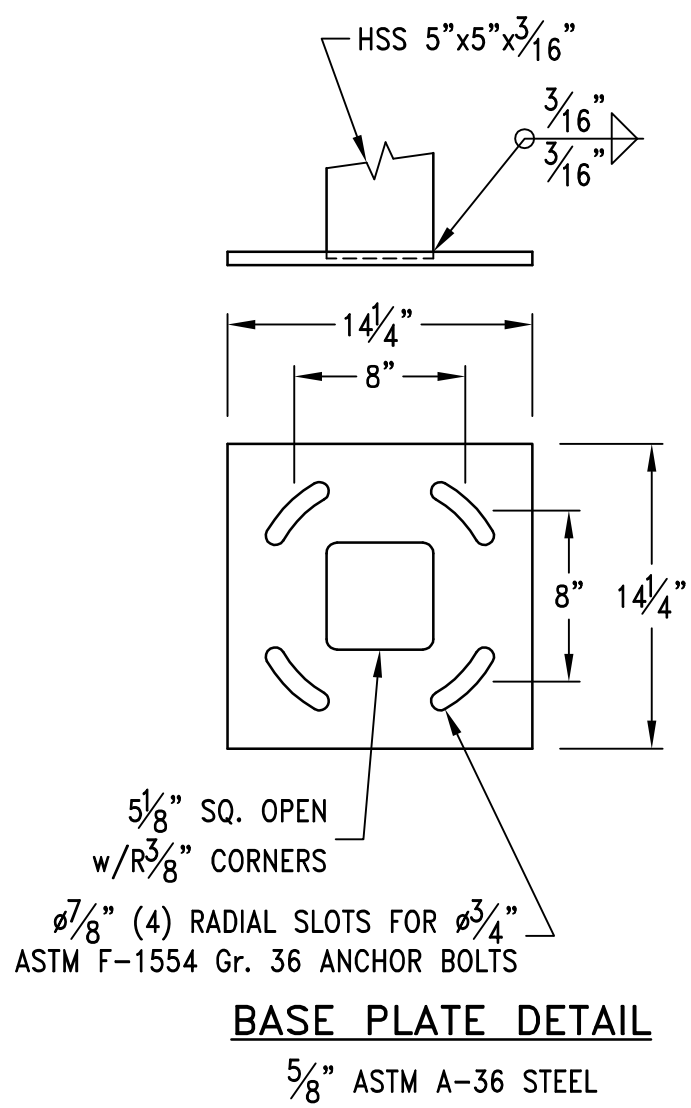
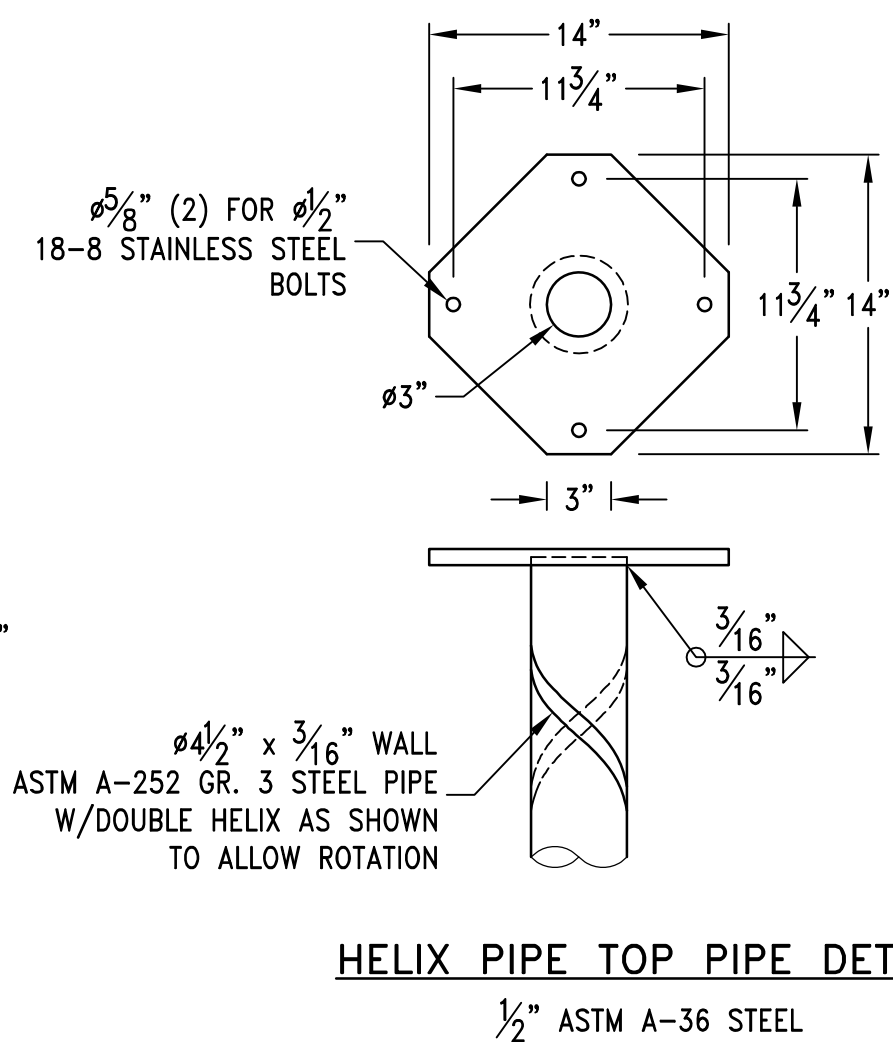
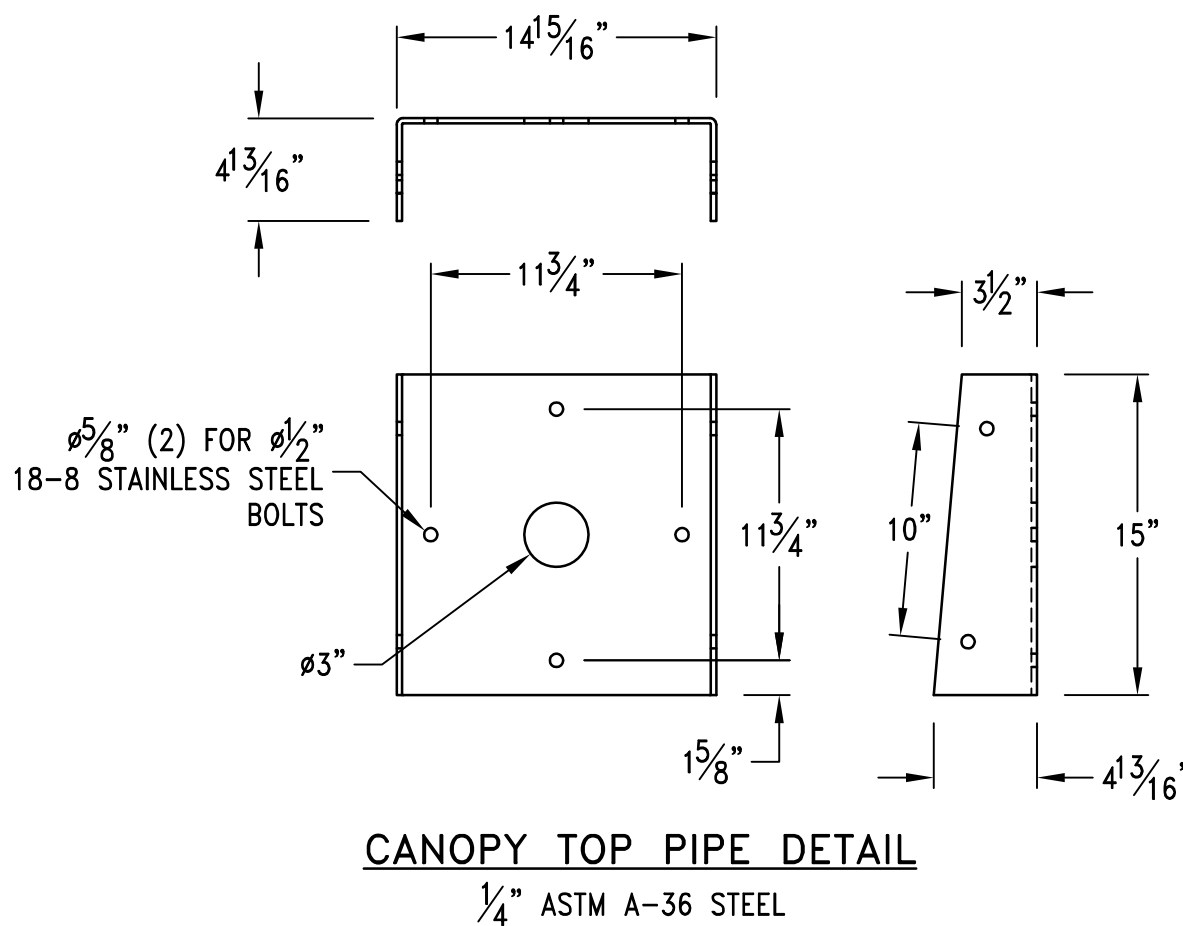
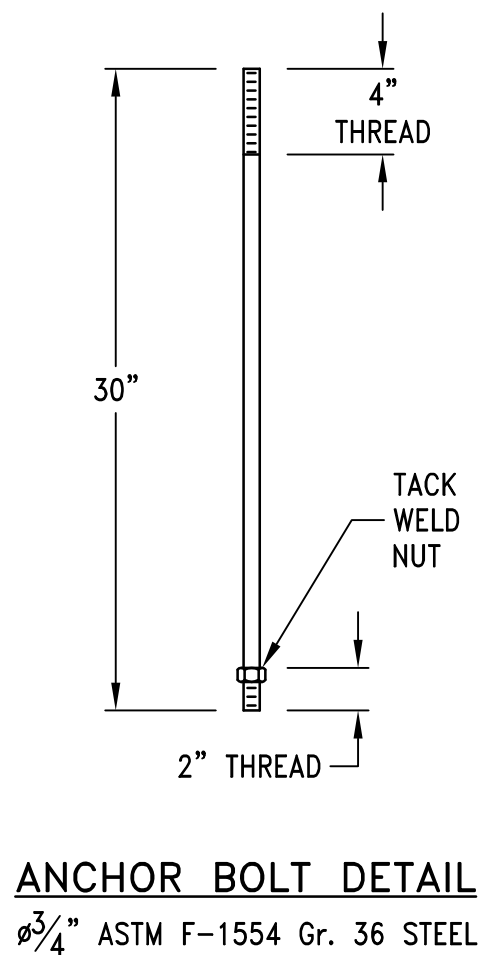
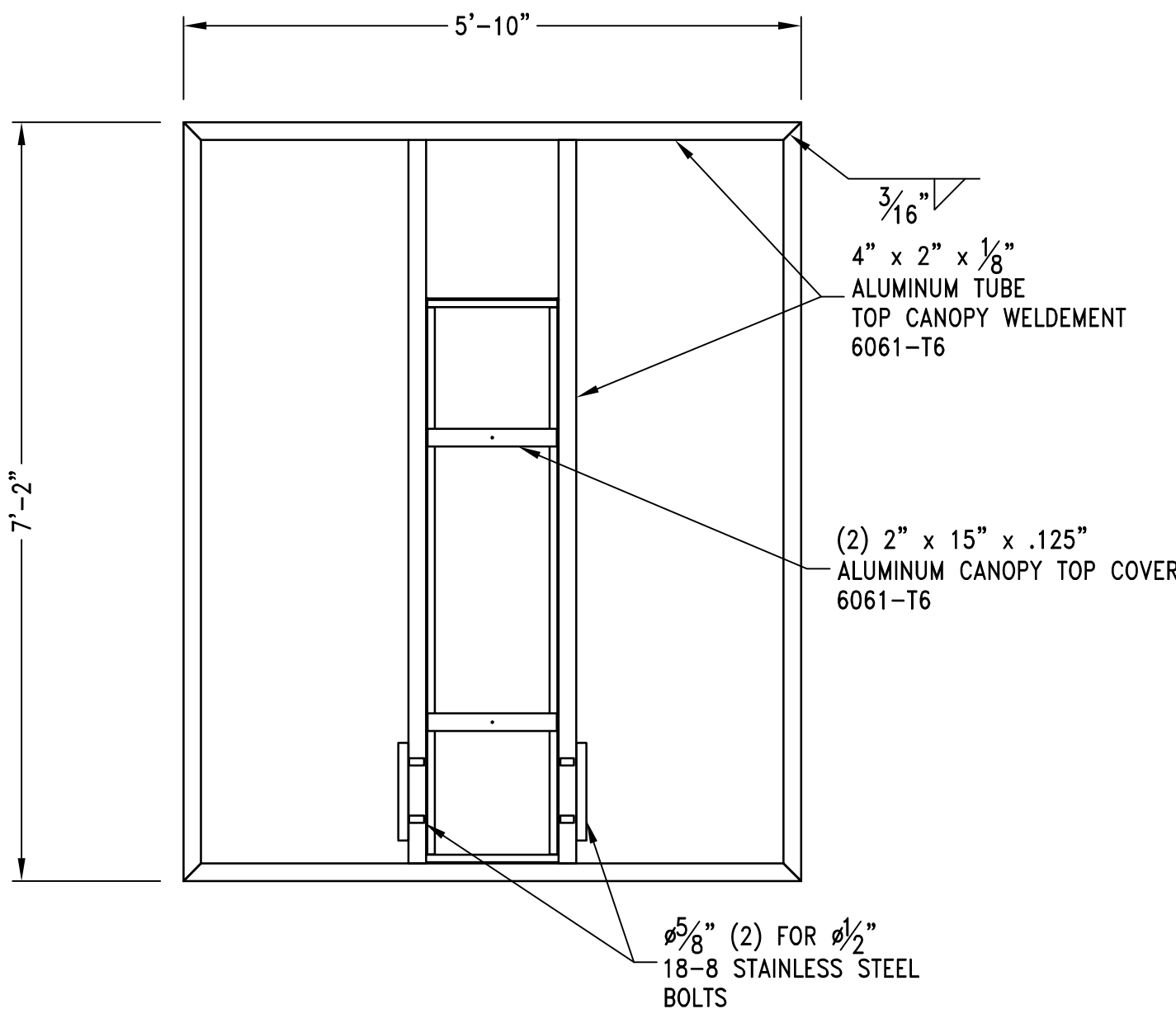
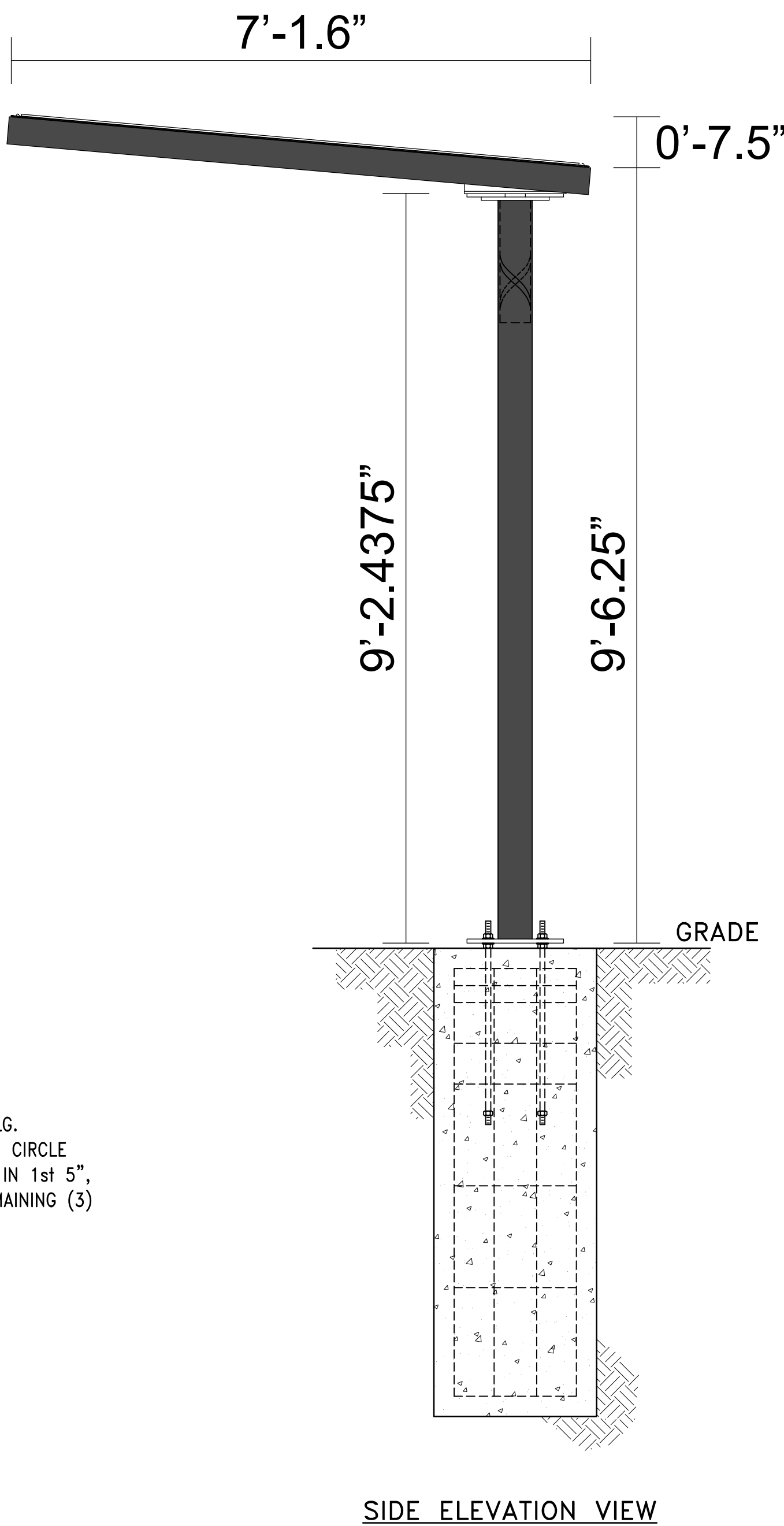
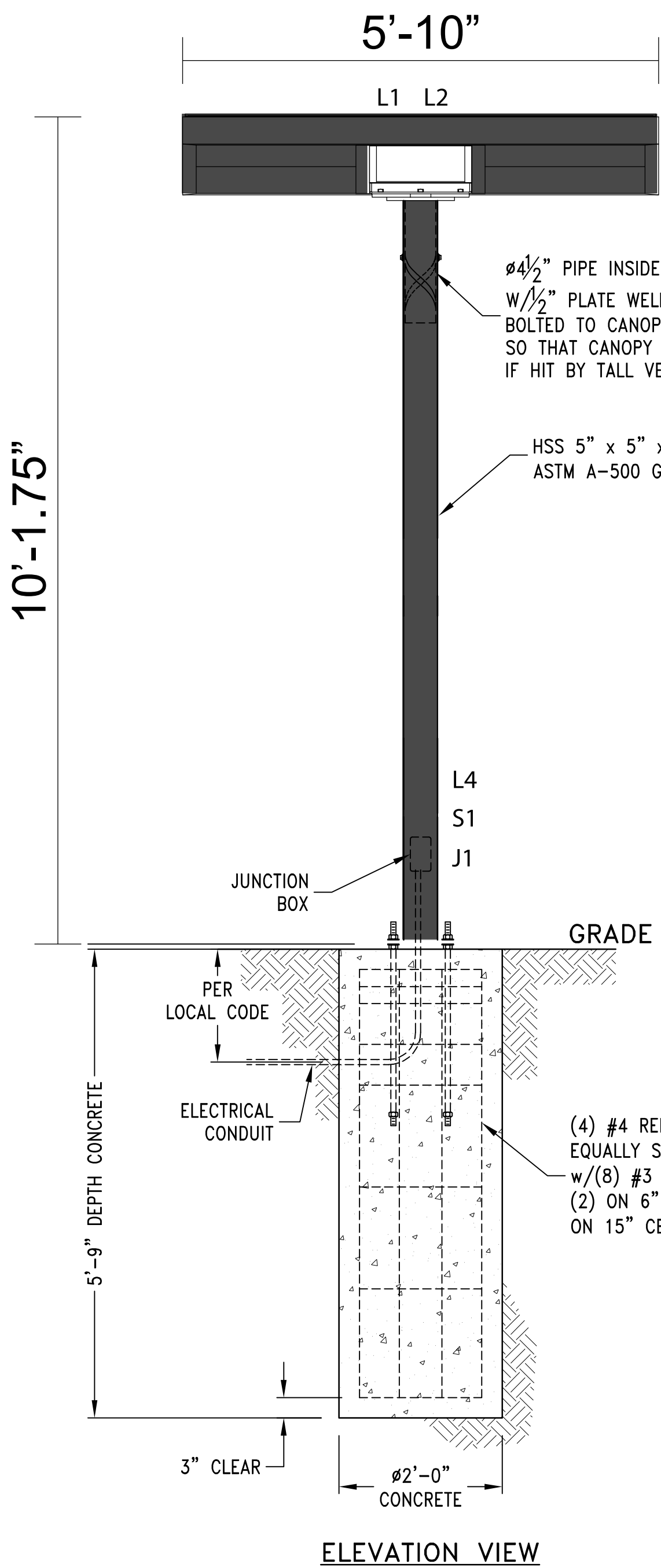
ARTIST: Joshua Kroeger

CREATED: 12/22/22

LOCATION: Tract 2, Louisville North 7th Filing

VILLAGE SQUARE SHOPPING CENTER
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Installation Only



PERMITTING DETAILS

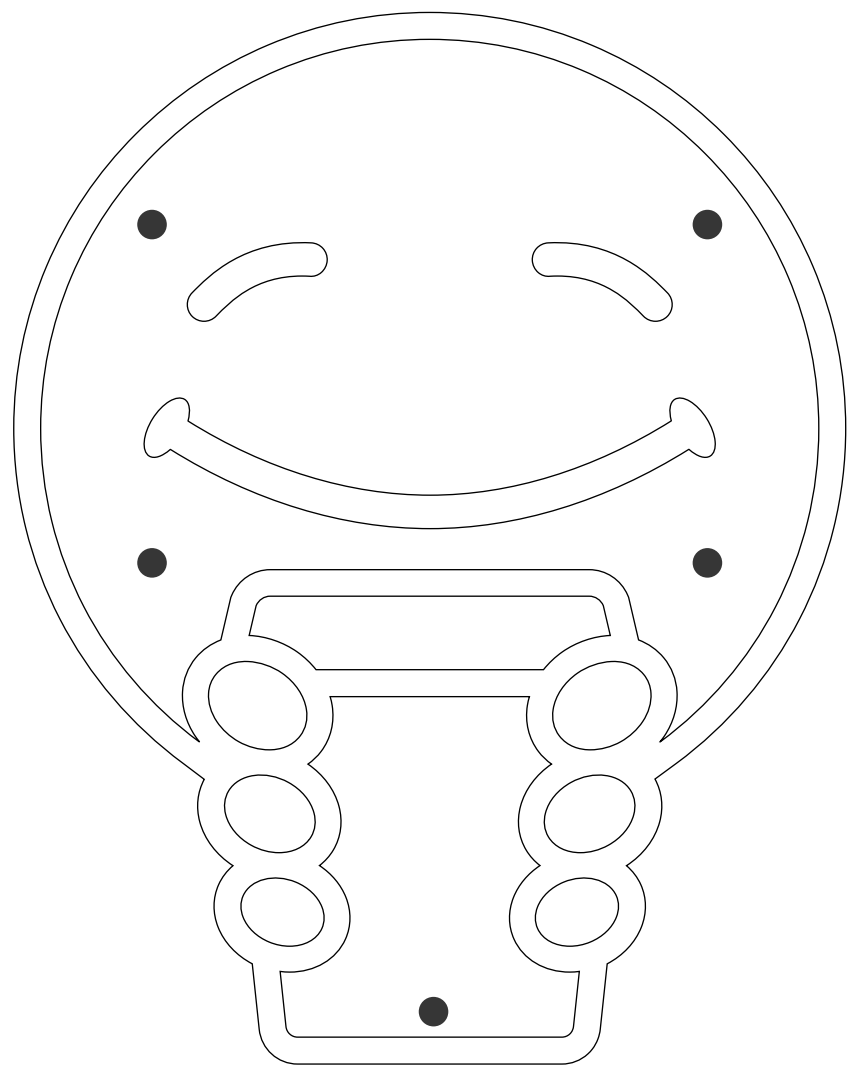
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ARTIST:	Joshua Kroeger	CREATED: 12/22/22	LOCATION:	Tract 2, Louisville North 7th Filing	

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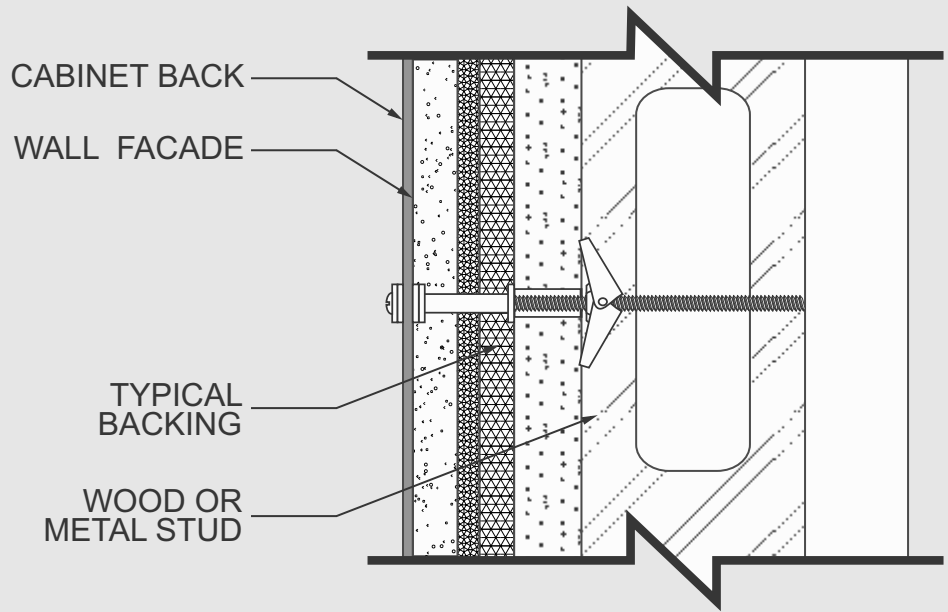
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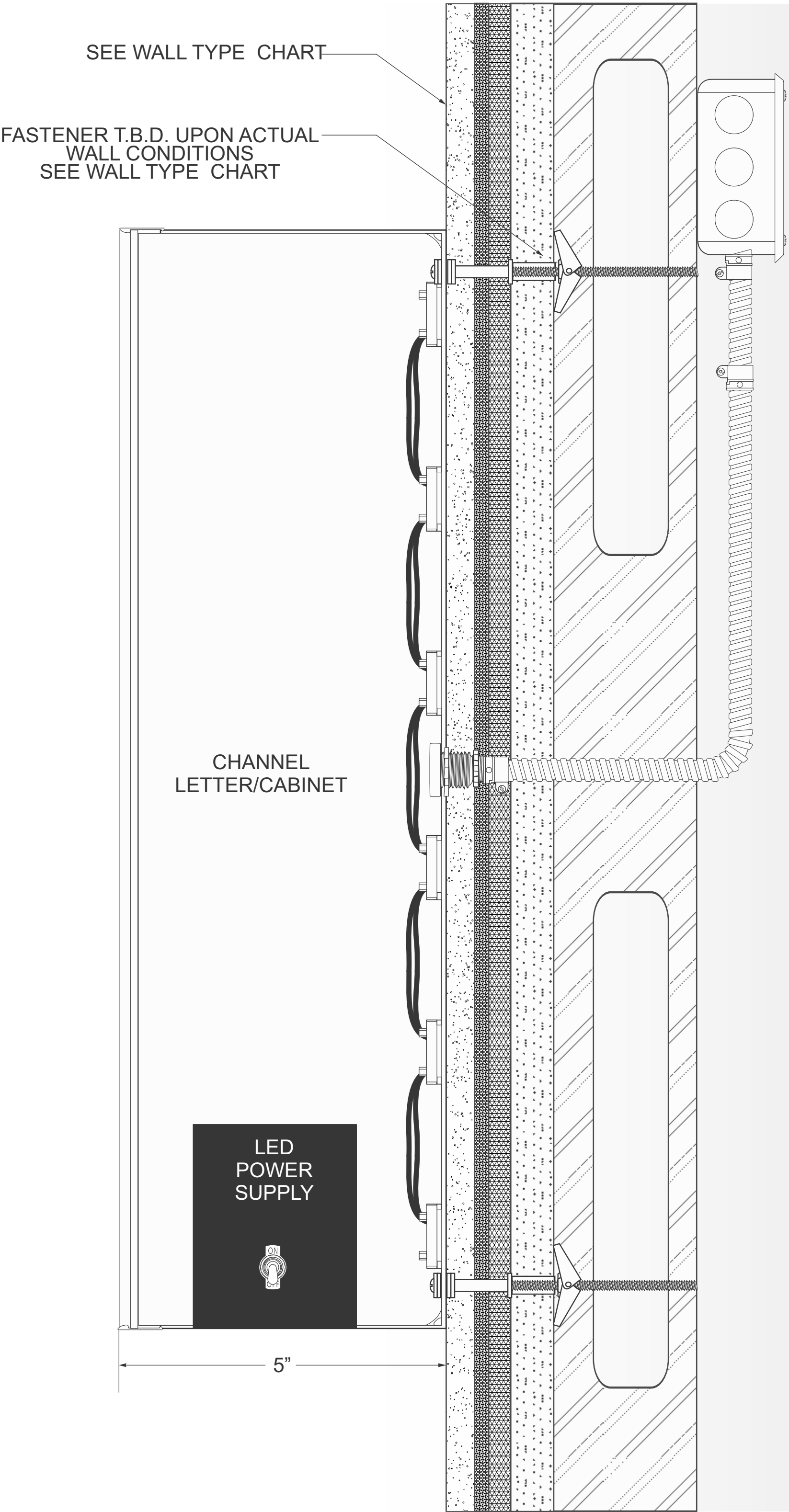


CHANNEL LETTER/CABINET: ATTACHMENT METHOD



FASTENER SCHEDULE:
QTY-5 FASTENERS (SEE WALL TYPE CHART)
TYPICAL 5 PLACES

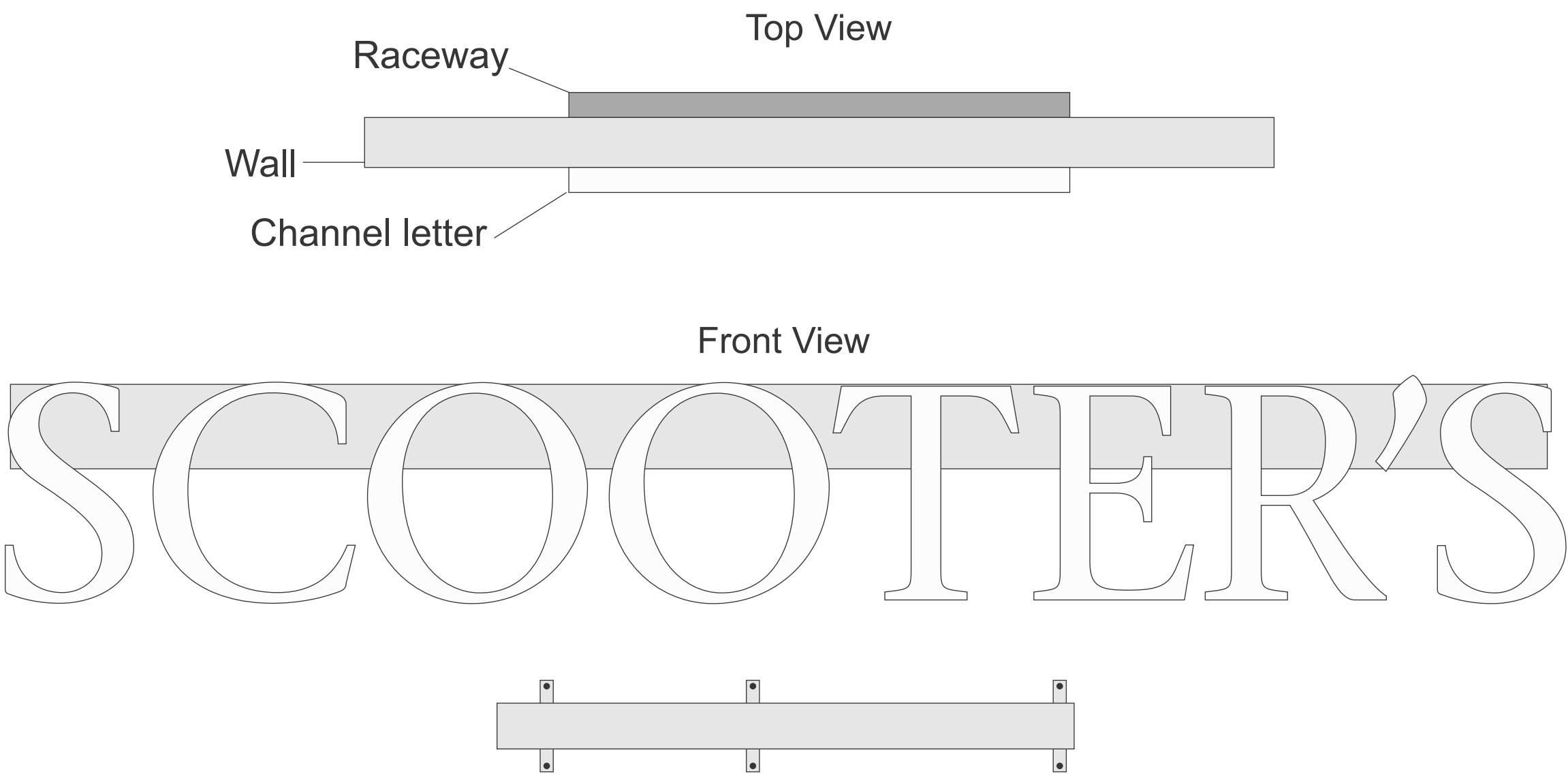
WALL TYPE	INSTALLS ON EIFS, WOOD, OR METAL FACADE
DETAIL SECTION	
FASTENER TYPE	APPROX. 3/8" X 5" TOGGLE BOLT



Quantity: 2

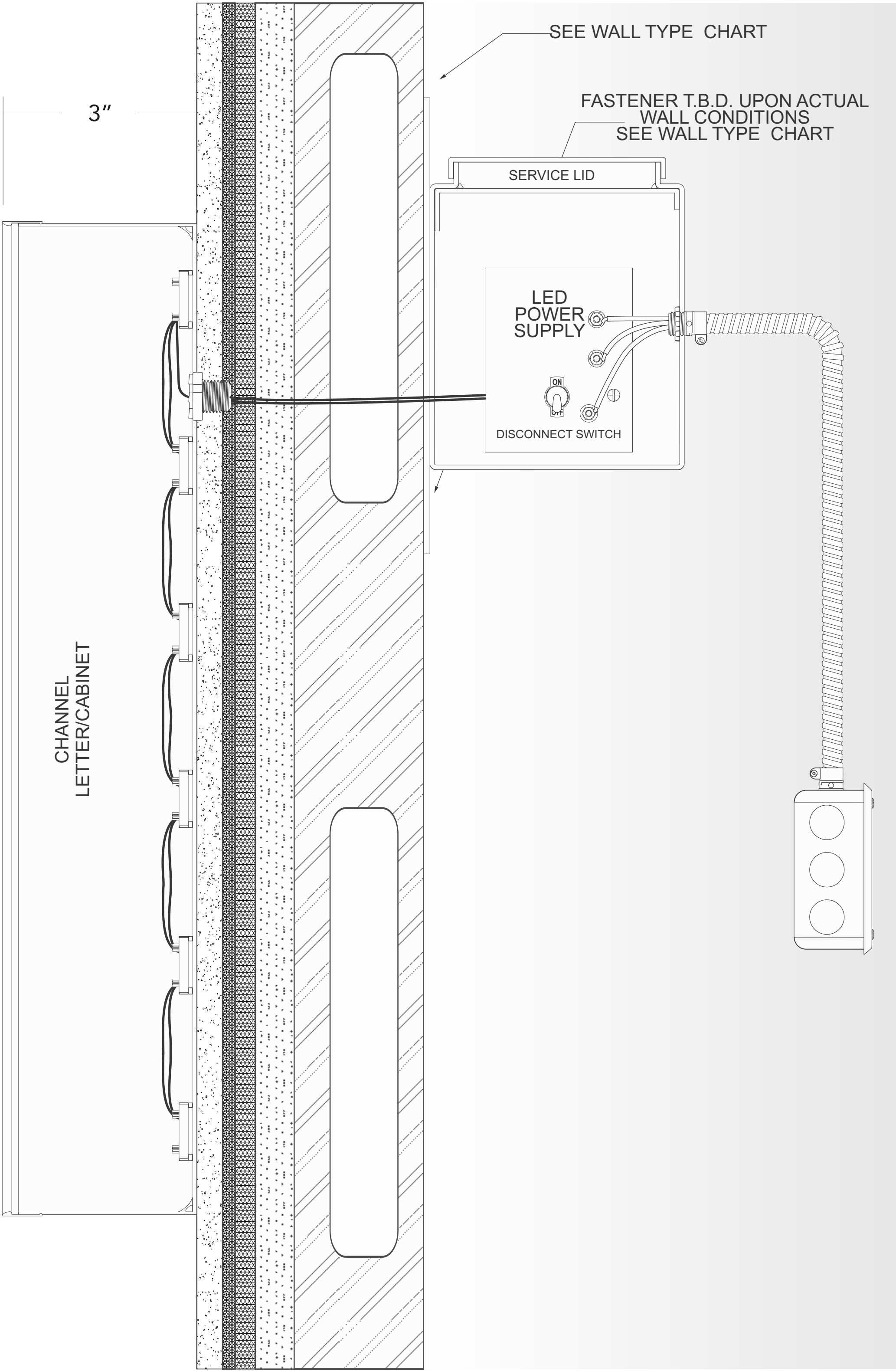
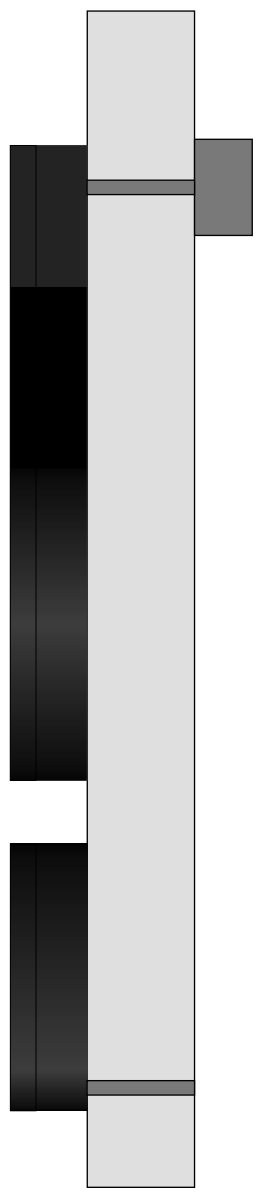


RACEWAY MOUNT CHANNEL LETTER/CABINET: ATTACHMENT METHOD



FASTENER SCHEDULE:
QTY-3 STRAPS WITH 2-EA FASTENERS (SEE WALL TYPE CHART)
TYPICAL 3 PLACES
MINIMUM (1) STRAP PER 8' SECTION
FASTENERS T.B.D. UPON ACTUAL WALL CONDITIONS

WALL TYPE	INSTALLS ON EIFS, WOOD, OR METAL FACADE
DETAIL SECTION	
FASTENER TYPE	APPROX. 3/8" X 5" TOGGLE BOLT



Quantity: 2

B

CHANNEL LETTER/CABINET: ATTACHMENT METHOD

COFFEE DRIVE-THRU

FASTENER SCHEDULE:
QTY-38 FASTENERS (SEE WALL TYPE CHART)
TYPICAL 38 PLACES

WALL TYPE	INSTALLS ON EIFS, WOOD, OR METAL FACADE
DETAIL SECTION	CABINET BACK WALL FACADE TYPICAL BACKING WOOD OR METAL STUD
FASTENER TYPE	APPROX. 3/8" X 5" TOGGLE BOLT

