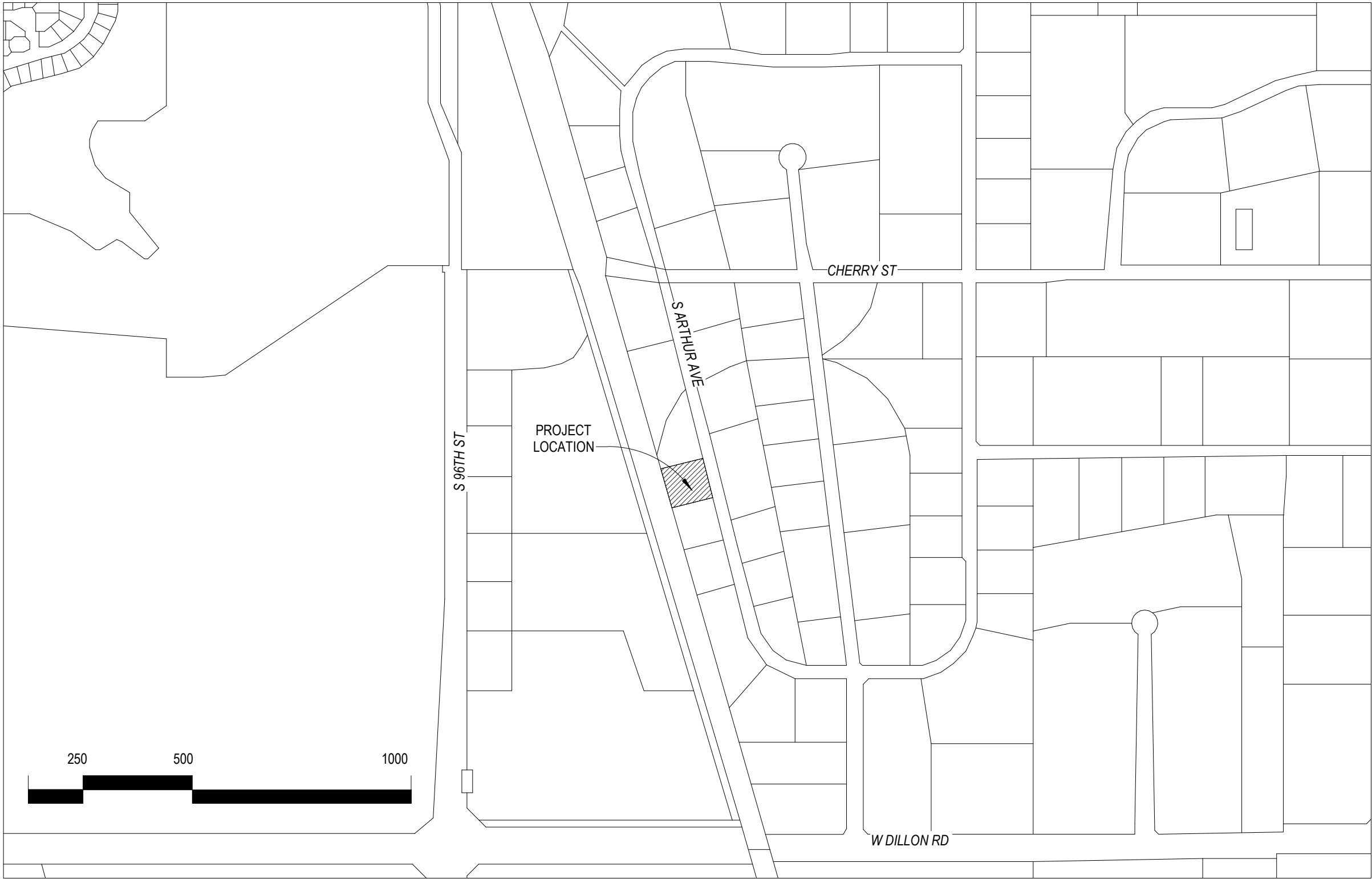


LOT 9, BLOCK 1
COLORADO TECHNOLOGICAL CENTER, FIRST FILING

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING,
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.
517 S. ARTHUR AVE, LOUISVILLE, CO 80027

IDDSG SITE DATA TABLE

	REQUIRED	PROPOSED	NOTES
TOTAL SITE AREA	-	36,051 SF	0.828 ACRES
SITE COVERAGE			
BUILDING	-	17,060 SF	
PARKING	-	2,910 SF	
DRIVEWAY	-	5,988 SF	
SIDEWALKS	-	2,233 SF	
LANDSCAPE COVERAGE			
LANDSCAPE AREA	25% (9,013 SF)	19% (6,860 SF)	Per IDDSG 1.4.B
HARDSCAPE AREA	75% (27,038 SF)	81% (29,191 SF)	Per IDDSG 1.4.A
TOTAL			
BUILDING HEIGHT	40'-0" MAX	26'-8"	Per IDDSG 4.2.B
SETBACKS			Per IDDSG 1.2.A
NORTH	10'-0"	10'-0"	
WEST	15'-0"	9'-4"	
SOUTH	10'-0"	55'-0"	
EAST	30'-0"	33'-0"	
PARKING SPACES	23 SPACES	14 SPACES	Per IDDSG 2.2.1.L
STANDARD	22	13	
ACCESSIBLE	1	1	Per DBC 2021 Table 1106.2
EV INSTALLED (GROUP B OCC.)	2%	1	Table CV502.1
EV READY (GROUP B OCC.)	8%	1	Table CV502.1
EV CAPABLE (GROUP B OCC.)	10%	1	Table CV502.1
BICYCLE	3	4	Per IDDSG 3.2.C
PARKING SETBACKS			Per IDDSG 1.2.B
NORTH	10'-0"	132'-0"	
WEST	0'-0"	4'-0"	
SOUTH	10'-0"	10'-0"	
EAST	20'-0"	20'-0"	



PLANNING COMMISSION CERTIFICATE

RECOMMENDED APPROVAL THIS ____ DAY OF _____, 20__ BY THE PLANNING
COMMISSION OF THE CITY OF LOUISVILLE, COLORADO.

RESOLUTION NO. _____ SERIES _____

CITY COUNCIL CERTIFICATE

APPROVED THIS ____ DAY OF _____, 20__ BY THE CITY COUNCIL OF THE CITY OF
LOUISVILLE, COLORADO.

RESOLUTION NO. _____ SERIES _____

MAYOR _____ CITY CLERK _____ SEAL _____

NOTARY PUBLIC BLOCK

State of _____
County of _____

Signed before me on _____, 20____

By _____

(Notary's official signature)

(Title of office)

(Commission Expiration)

OWNERSHIP SIGNATURE BLOCK

The undersigned as the owner of the lands described herein, hereby agrees on behalf of itself, and its heirs, successors and assigns to develop and maintain the property described hereon in accordance and compliance with this approved plan and the Louisville Municipal Code.

TWEEDELE DUM, LLC

Witness mylour hand(s) and seal(s) this ____ day of _____, 20____.

BY: _____
NOTARY: _____

SHEET INDEX

SHEET NUMBER	SHEET NAME
1	COVER PAGE
2	SITE PLAN
3	PEDESTRIAN / BICYCLE CIRCULATION PATH
4	BUILDING ELEVATIONS
5	GRADING PLAN
6	UTILITY PLAN
7	LANDSCAPE PLAN
8	SITE AMENITIES/ DETAILS
9	PHOTOMETRIC PLAN
10	LIGHTING CUT SHEETS
11	SURVEY
12	FIRE AND LIFE SAFETY PLAN

PROJECT DESCRIPTION

THE FLEXIBLE OFFICE BUILDING CONTAINS APPROXIMATELY 15,000 SQUARE FEET OF WAREHOUSE AREA AND 2,000 SQUARE FEET OF OFFICE SPACE WITH ADDITIONAL AREA FOR SUPPORT SPACES SUCH AS FUTURE TENANT RESTROOMS AND A WATER ENTRY ROOM.

THE BUILDING IS 26'-8" HIGH (TO TOP OF EXTERIOR WALL) AND THE PRIMARY STRUCTURAL SYSTEM WILL BE CONSTRUCTED OF CONCRETE TILT-UP WALL PANEL CONSTRUCTION AT ALL EXTERIOR WALLS WITH STRUCTURAL STEEL JOISTS SUPPORTING THE ROOF. THE CONCRETE TILT-UP WALL PANELS HAVE BEEN DESIGNED WITH DIFFERENTIATED PATTERNS, FORM LINER, AND ACCENT WALL PAINT COLORS TO PROVIDE THE NECESSARY DESIGN ARTICULATION AS REQUIRED BY THE IDDSG. THE MAIN ALUMINUM STOREFRONT ENTRANCE INTO THE OFFICE AREA IS COVERED BY AN OPEN SUNSHADE STRUCTURE ABOVE AND CLERESTORY PUNCHED OPENINGS ARE LOCATED AT THE PERIMETER OF THE BUILDING AT 14'-6" ABOVE FINISHED FLOOR.

THIS BUILDING IS A CORE & SHELL ONLY. INTERIOR TENANT FINISH-OUT IS NOT IN CONTRACT AND WILL BE PERMITTED SEPARATELY BY TENANT.

PROJECT CONTACTS

OWNER TWEEDELE DUM, LLC 11511 EAST CALEY AVE CENTENNIAL, CO 80111 TVAP@SVDW.COM CONTACT: TRAVIS VAP	ARCHITECT THE BECK GROUP 1001 W 17TH ST SUITE PL 100 DENVER, CO 80202 720-281-0394 CONTACT: RAMIRO DIAZ	CIVIL COLLINS ENGINEERING, INC. 455 SHERMAN ST SUITE 160 DENVER, CO 80203 720-262-5527 CONTACT: BRYAN FRANTZ
SURVEYOR R&R ENGINEERS-SURVEYORS, INC. 1635 W. 13TH AVENUE SUITE 310 DENVER, COLORADO 80204 303-753-6730 CONTACT: BASIL HANSON	LANDSCAPE OXBOW DESIGN COLLABORATIVE 209 KALAMATH ST SUITE 6 DENVER, CO 80223 720-465-6168 CONTACT: JOHN YOUNG	LIGHTING AE DESIGN 1900 WAZEE STREET SUITE 205 DENVER, CO 80202 303-296-3034 CONTACT: MORIAH HOLLAND

GENERAL NOTES

BELOW IS A LIST OF WAIVER REQUESTS WITH COMMERCIAL DEVELOPMENT DESIGN STANDARDS AND GUIDELINES, INDUSTRIAL DEVELOPMENT DESIGN STANDARDS AND GUIDELINES, OR LOUISVILLE MUNICIPAL CODE SECTION(S) IDENTIFIED.

- THE PROPERTY IS ZONED I - INDUSTRIAL. SETBACKS FOR PROPERTY AS FOLLOWS:
WEST) 15'-0"
EAST) 30'-0"
SOUTH) 10'-0"
NORTH) 10'-0"
- ALL SETBACKS AND LAND USE REQUIREMENTS SHALL CONFIRM TO THE CITY OF LOUISVILLE, COLORADO ZONING AND LAND USE REGULATIONS IN EFFECT AS OF THE DATE OF APPROVAL OF THIS PLANNED UNIT DEVELOPMENT BY THE CITY OF LOUISVILLE, COLORADO.
- EXCEPT AS AMENDED BY THIS FINAL PLANNED UNIT DEVELOPMENT, ALL SIGNS SHALL CONFORM TO THE INDUSTRIAL DEVELOPMENT DESIGN STANDARDS AND GUIDELINES. THESE AMENDMENTS ARE:
A. TWO FREESTANDING, GROUND MOUNTED DOUBLE FACED SIGNS LOCATED PER THE SITE PLAN SHALL BE PERMITTED. THE DESIGNS FOR THESE SIGNS SHALL BE PER THE DETAIL ON SHEET 7.
B. SURFACE MOUNTED BUILDING SIGNS SHALL NOT EXCEED 2 FEET IN HEIGHT BY 20 FEET IN LENGTH EACH WITH A MAXIMUM OF THREE SIGNS. ONE BUILDING SIGN SHALL BE PERMITTED ON THE SOUTH BUILDING ELEVATION (FACING CTC BOULEVARD), ONE BUILDING SIGN SHALL BE PERMITTED ON THE WEST BUILDING ELEVATION (FACING CTC BOULEVARD), THE THIRD BUILDING SIGN SHALL BE PERMITTED ON THE EAST BUILDING ELEVATION AFTER CONSTRUCTION OF THE FUTURE ROAD. MAXIMUM SURFACE MOUNTED BUILDING SIGNAGE AREA OF 120 SQUARE FEET IN THE AGGREGATE.
C. FOR BOTH MULTI-TENANT AND SINGLE TENANT OCCUPANCY, THE SURFACE MOUNTED BUILDING SIGN SHALL NOT EXCEED 24 INCHES IN HEIGHT.
- THE CITY OF LOUISVILLE IS NOT RESPONSIBLE FOR DAMAGE TO OR REPAIR OF MONUMENT SIGNS DUE TO UTILITY MAINTENANCE.
- THE CITY OF LOUISVILLE IS NOT RESPONSIBLE FOR DAMAGE TO PAVEMENT SURFACES OR LANDSCAPING CAUSED DURING REPAIR OR MAINTENANCE ACTIVITIES OF UTILITIES LOCATED WITHIN PUBLIC UTILITY EASEMENTS.
- ON -STREET PARKING WILL NOT BE UTILIZED TO MEET THE PARKING REQUIREMENTS OF THE PROJECT.
- ALL ROOF -MOUNTED MECHANICAL, ELECTRICAL, OPTICAL AND ELECTRONIC EQUIPMENT SHALL BE SET A MINIMUM OF 20' FROM THE BUILDING PARAPET, AND IF VISIBLE FROM THE PUBLIC STREET ADJACENT TO THE PROPERTY, SHALL BE PAINTED TO MATCH THE DOMINANT COLOR OF THE BUILDING.
- ALL ROOF -MOUNTED EQUIPMENT SHALL BE EITHER (1) PAINTED A COLOR COMPATIBLE WITH THE DOMINANT BUILDING COLOR, IF THE BUILDING IS SELF-CONTAINED WITHOUT EXPOSED DUCTWORK OR PROCESS PIPING, OR (2) SHALL BE SCREENED IF THE EQUIPMENT DOES NOT MEET THE CRITERIA SPECIFIED IN 1. SCREEN MATERIAL SHALL BE COMPATIBLE WITH MATERIALS AND COLORS UTILIZED ON THE BUILDING.
- OWNER WILL ADD ADDITIONAL HANDICAP PARKING SPACES

WAIVER REQUESTS

BELOW IS A LIST OF WAIVER REQUESTS WITH COMMERCIAL DEVELOPMENT DESIGN STANDARDS AND GUIDELINES, INDUSTRIAL DEVELOPMENT DESIGN STANDARDS AND GUIDELINES, OR LOUISVILLE MUNICIPAL CODE SECTION(S) IDENTIFIED.

WAIVER REQUEST #1: PARKING REDUCTION

IDDSG §2.2.1.L SURFACE PARKING LOT REQUIREMENTS:
• OFFICE SPACE 4 SPACES/1000 SF (1:250)
• WAREHOUSE SPACE: 1 SPACE/1000 SF (1:1000)

REQUEST TO WAIVE:
• OFFICE SPACE 2 SPACES/1000 SF (1:500)
• WAREHOUSE SPACE: 0.5 SPACE/1000 SF (0.5:1000)

WAIVER REQUEST #2: PARKING SPACE MINIMUM SIZE REDUCTION

IDDSG §2.2.1.J SURFACE PARKING LOT REQUIREMENTS:
• 9'-0" WIDE X 19'-0" DEEP STANDARD PARKING SPACE

REQUEST TO WAIVE:
• 8'-6" WIDE X 17'-6" DEEP STANDARD PARKING SPACE

WAIVER REQUEST #3: DRIVE AISLE WIDTH REDUCTION

IDDSG §2.2.1.C VEHICULAR ACCESS REQUIREMENT: 28'-0" WIDE TWO-WAY ACCESS DRIVE

REQUEST TO WAIVE: 24'-0" WIDE TWO-WAY ACCESS DRIVE

WAIVER REQUEST #4: BUFFER ZONE REDUCTION

IDDSG §5.2 PERIMETER LANDSCAPING ADJACENT TO ABUTTING PROPERTY REQUIREMENT:
• 10'-0" BUFFER ZONE

REQUEST TO WAIVE: 2'-2 1/2" BUFFER ZONE

WAIVER REQUEST #5: REAR SETBACK ENCROACHMENT

IDDSG §1.2 BUILDING AND PARKING SETBACK REQUIREMENTS: 15'-0" REAR YARD SETBACK

REQUEST TO WAIVE: 5'-0" BUILDING ENCROACHMENT INTO SETBACK

WAIVER REQUEST #6: MINIMUM LANDSCAPE REQUIREMENT REDUCTION

IDDSG §1.4.B SITE COVERAGE REQUIRED: 25% LANDSCAPE COVERAGE

REQUEST TO WAIVE: 19% LANDSCAPE COVERAGE

WAIVER REQUEST #7: SITE AND DRIVEWAY ACCESS MINIMUM

IDDSG §2.1.1.F DRIVEWAYS MUST BE 75'-0" MINIMUM FROM NEIGHBORING DRIVEWAY

REQUEST TO WAIVE: 20'-0" FROM NEIGHBORING DRIVEWAY

WAIVER REQUEST #8: PERIMETER LANDSCAPING ADJACENT TO ABUTTING PROPERTY

IDDSG §5.2.A.1 PROVIDE 1 TREE FOR EVERY 30 LINEAR FEET OF PROPERTY LINE

REQUEST TO WAIVE: NO TREES ABUTTING THE PROPERTY LINE ALONG THE NORTH, WEST, AND SOUTH PORTIONS OF THE PROPERTY. NO PLANTINGS ALONG THE WEST PROPERTY LINE.

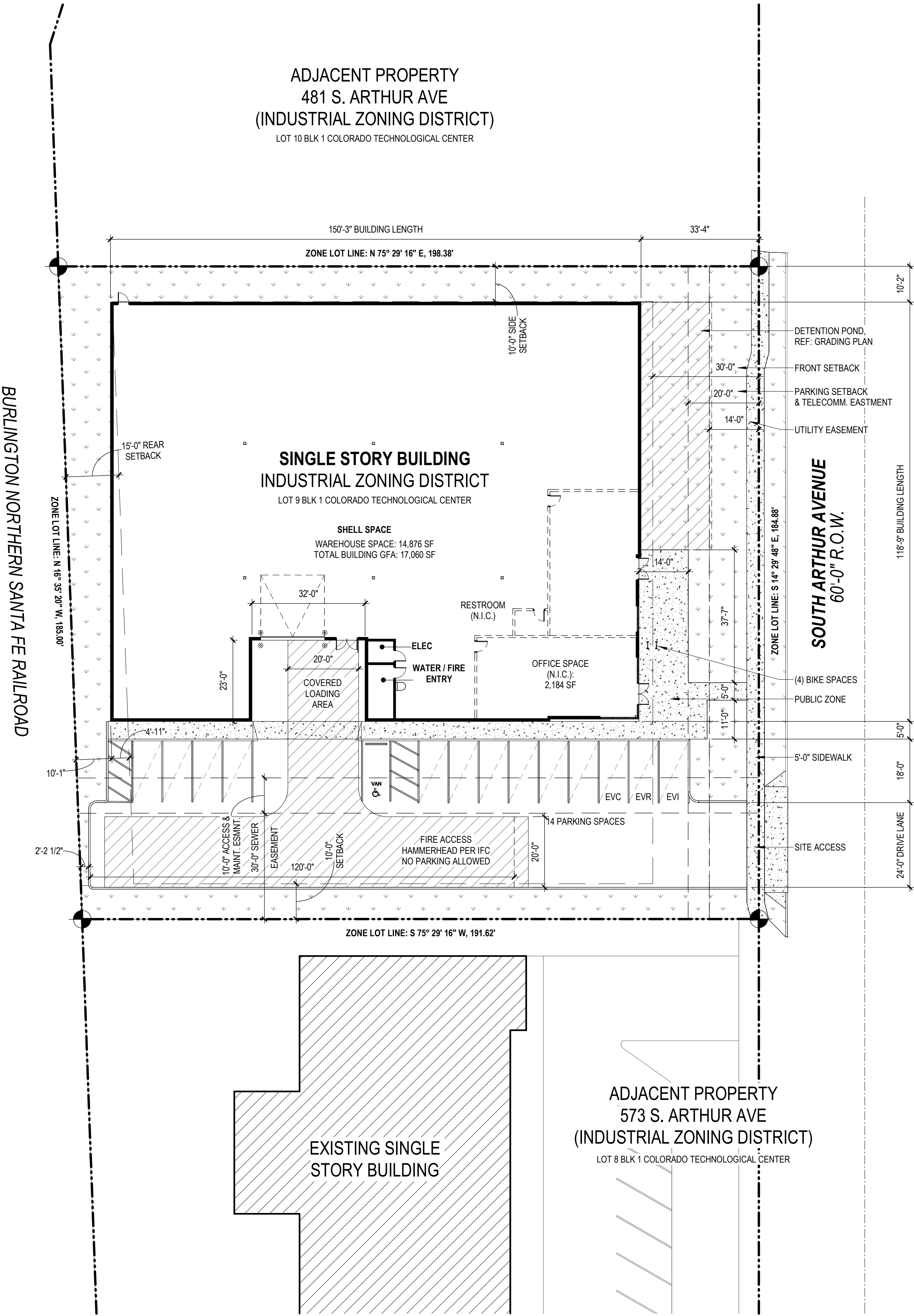
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1001 17TH STREET
SUITE PL100
DENVER, CO 80202
PH: (303) 466-9665
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BECK

COVER PAGE

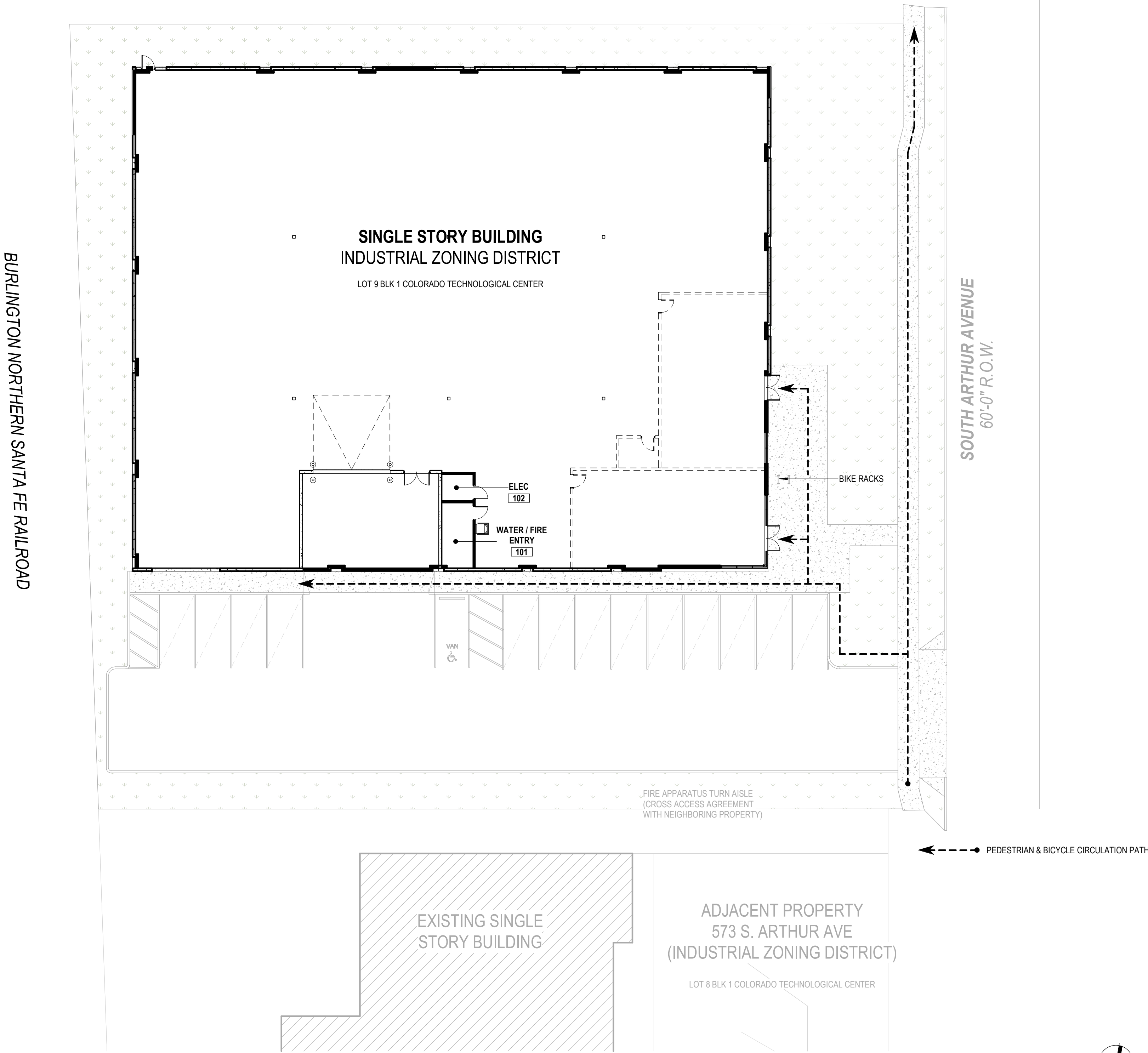
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517 S. ARTHUR AVE, LOUISVILLE, CO 80027

ADJACENT PROPERTY
481 S. ARTHUR AVE
(INDUSTRIAL ZONING DISTRICT)
LOT 10 BLK 1 COLORADO TECHNOLOGICAL CENTER



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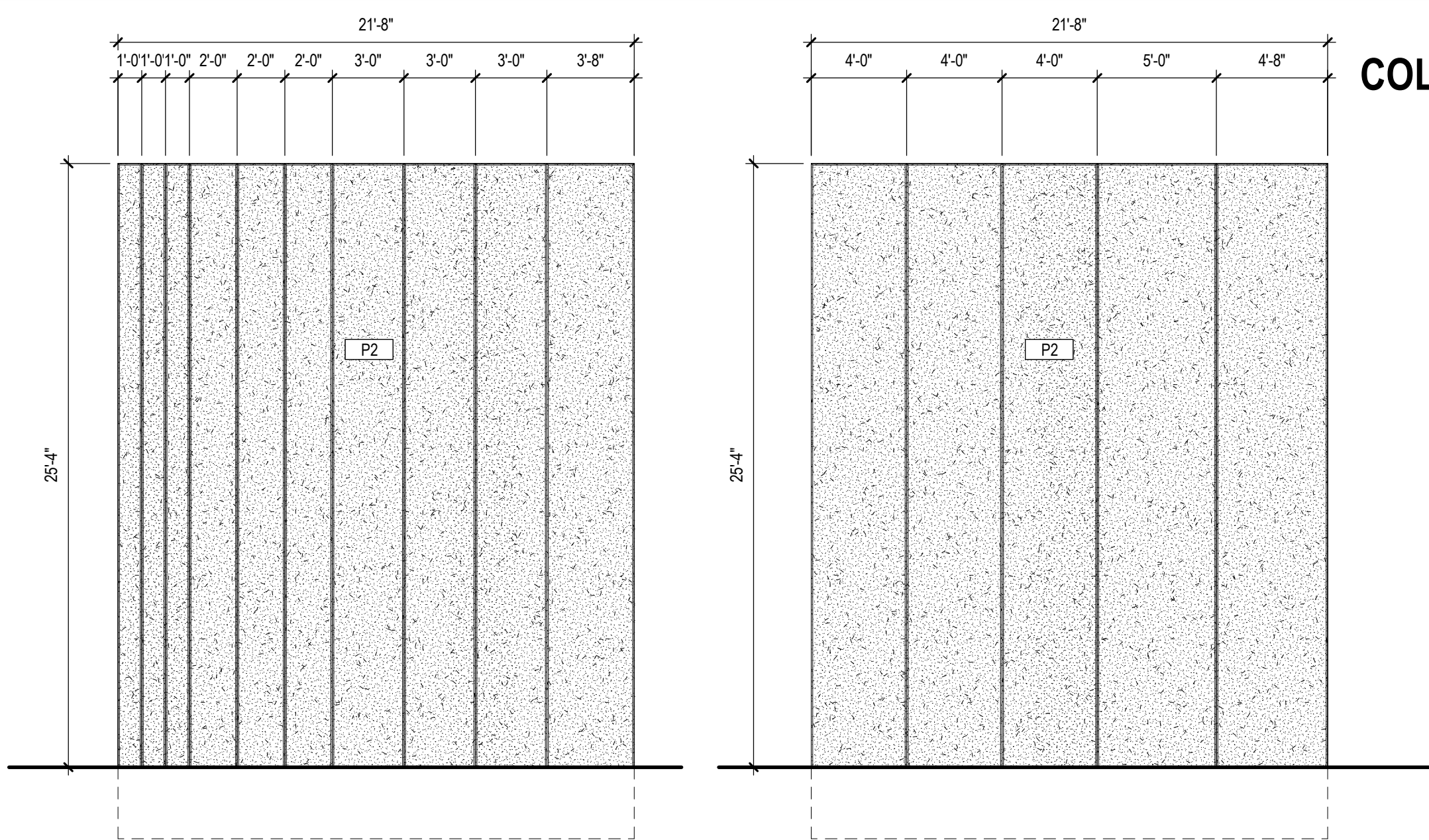


1 ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0"

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EXTERIOR MATERIAL SCHEDULE

Mark	Description	Material: Manufacturer	Material: Material Color	Material: Material Finish	Material: Model
07 THERMAL AND MOISTURE PROTECTION					
EIFS1	WATER-DRAINAGE EXTERIOR INSULATION AND FINISH SYSTEM- 1 1/2"	STO CORP	-	PAINTED	STOTHERM CI
08 OPENINGS					
AL1	ALUMINUM COLOR 1	KAWNEER	BLACK	PAINTED	TRIFAB 451T
GL1	GLAZING- INSULATED- 1" (GL1)	VITRO	-	-	SOLAR BAN 70
09 FINISHES					
P1	PAINT	BENJAMIN MOORE	LIGHT PEWTER	-	1464
P2	PAINT	BENJAMIN MOORE	CINDER	-	AF-705
P3	PAINT	BENJAMIN MOORE	HALE NAVY	-	HC-154

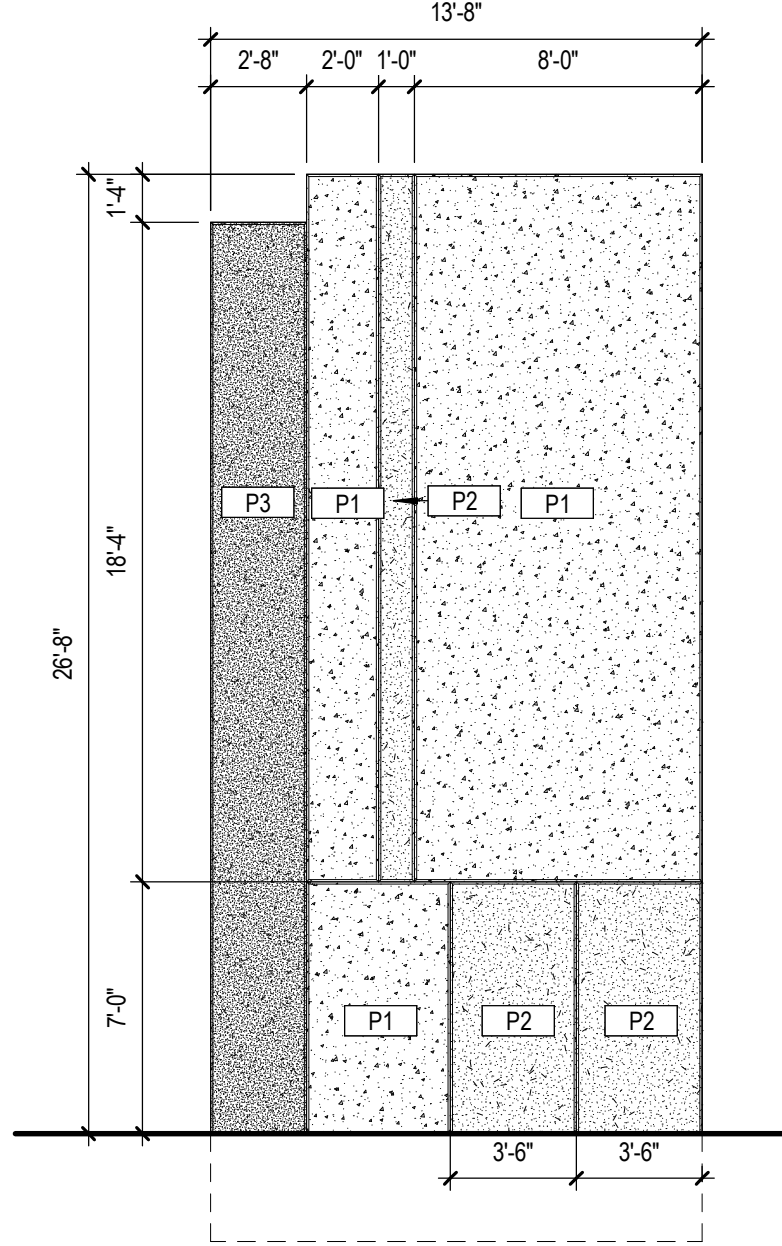


10 PANEL TYPE G1

SCALE: 3/16" = 1'-0"

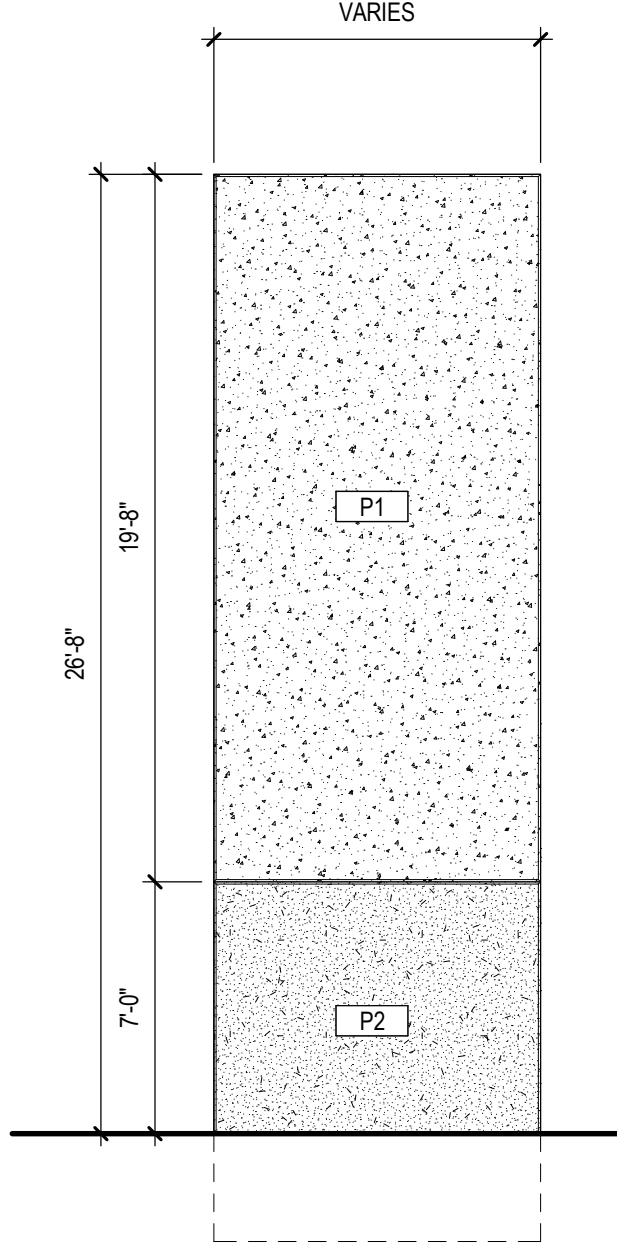
11 PANEL TYPE G2

SCALE: 3/16" = 1'-0"



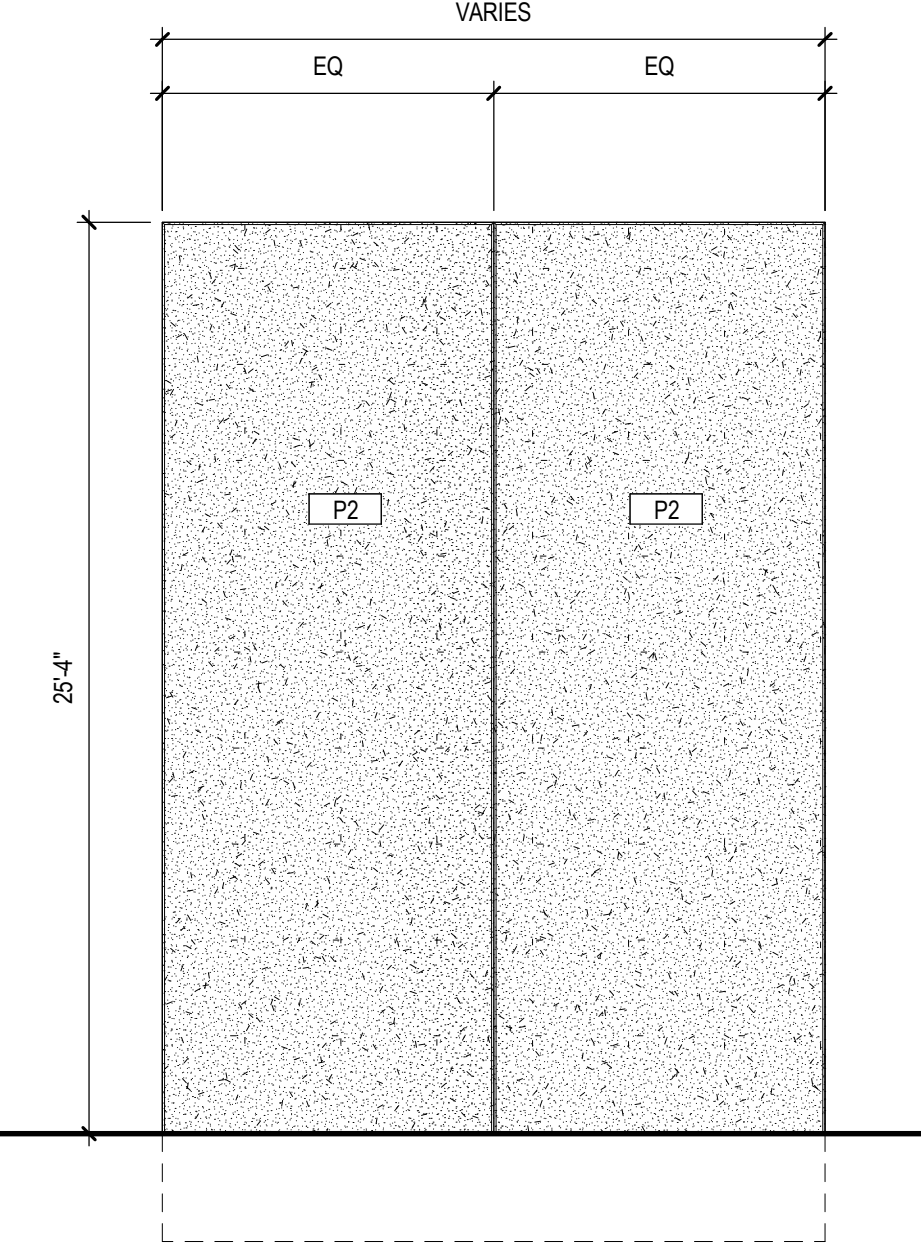
7 PANEL TYPE C

SCALE: 3/16" = 1'-0"



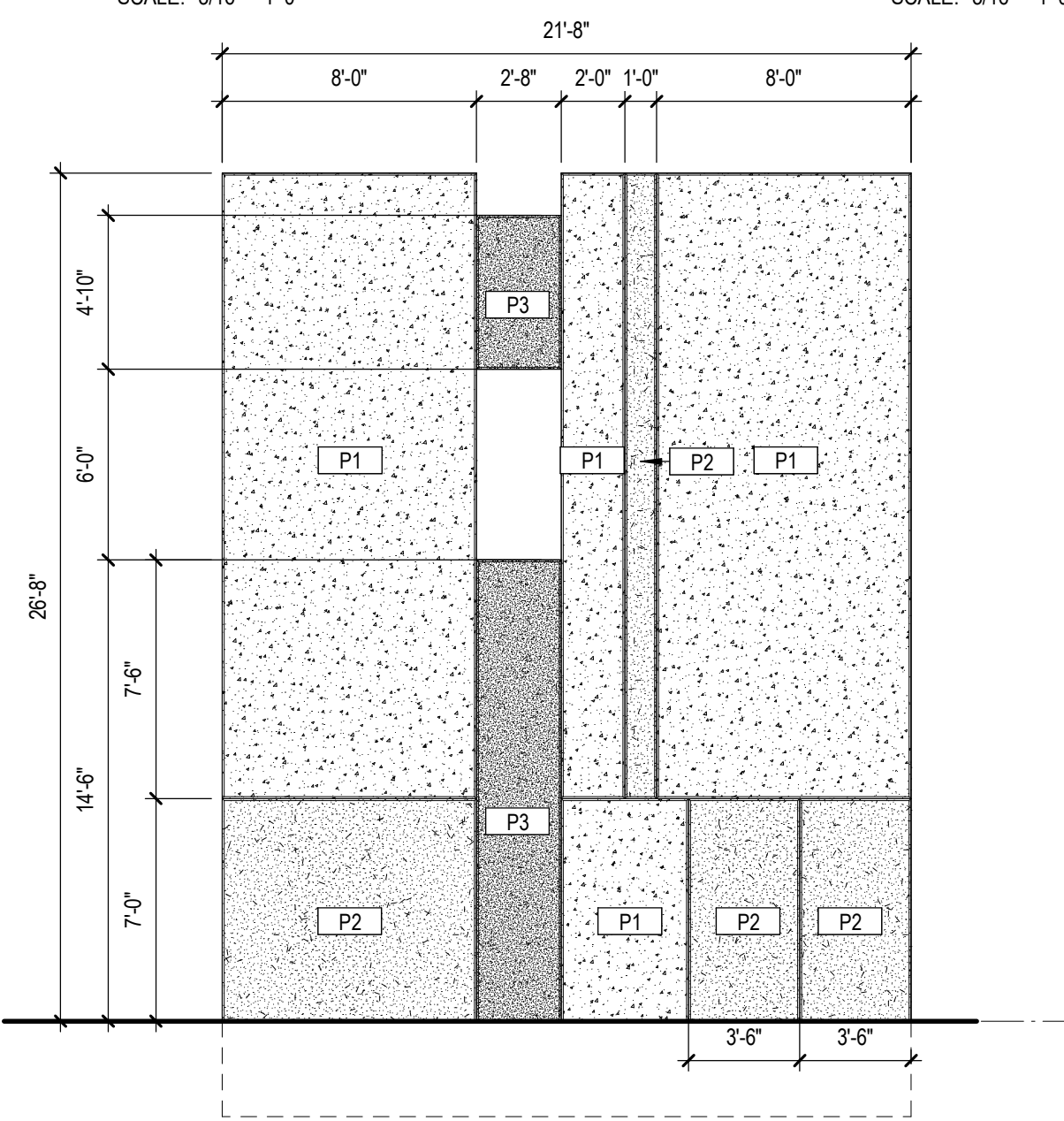
8 PANEL TYPE D

SCALE: 3/16" = 1'-0"



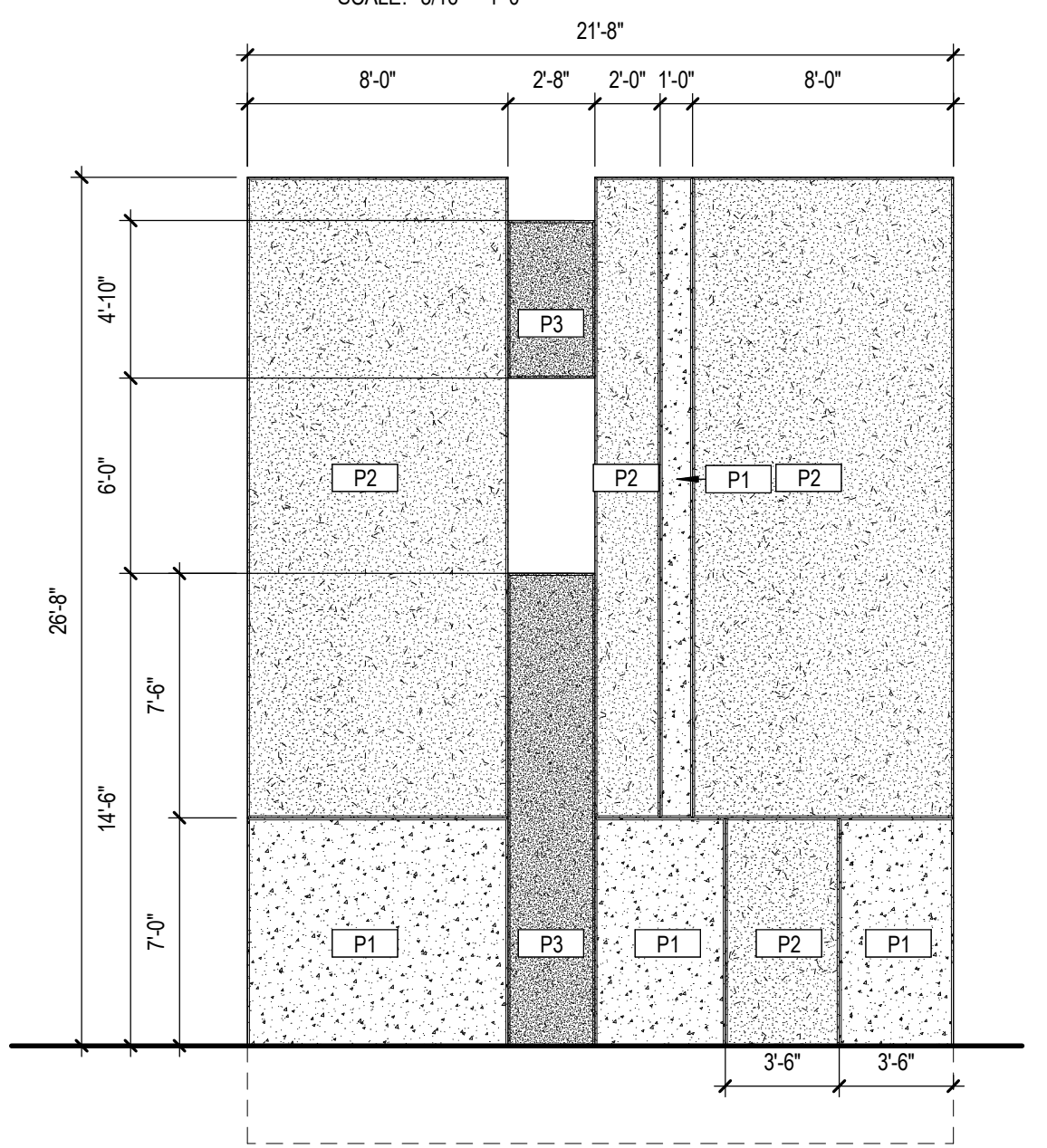
9 PANEL TYPE E

SCALE: 3/16" = 1'-0"



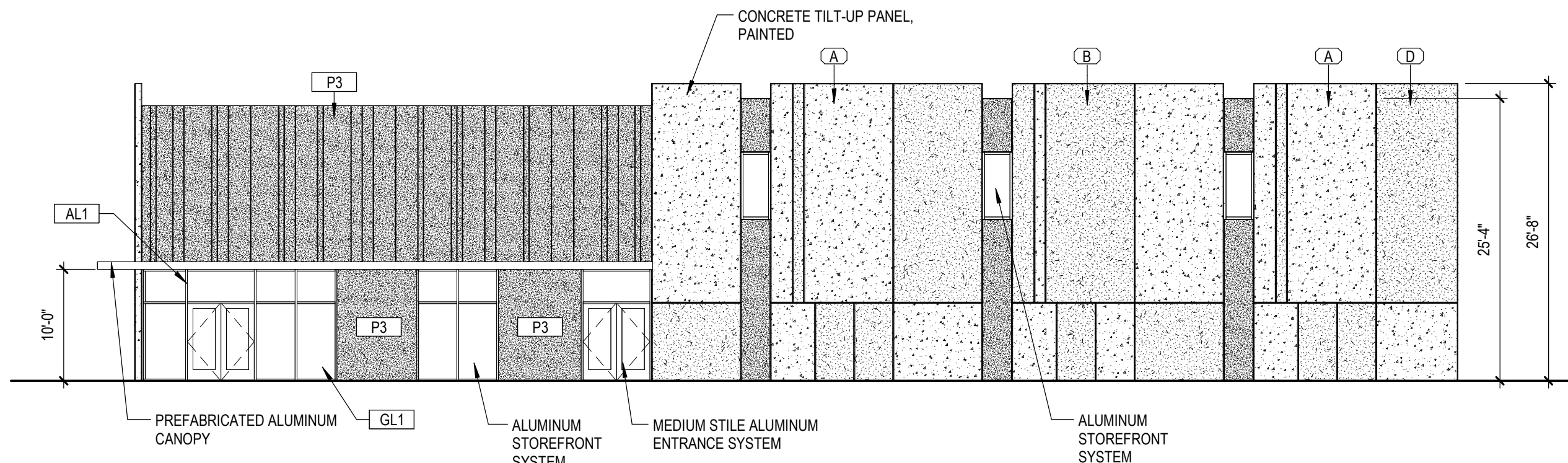
5 PANEL TYPE A

SCALE: 3/16" = 1'-0"



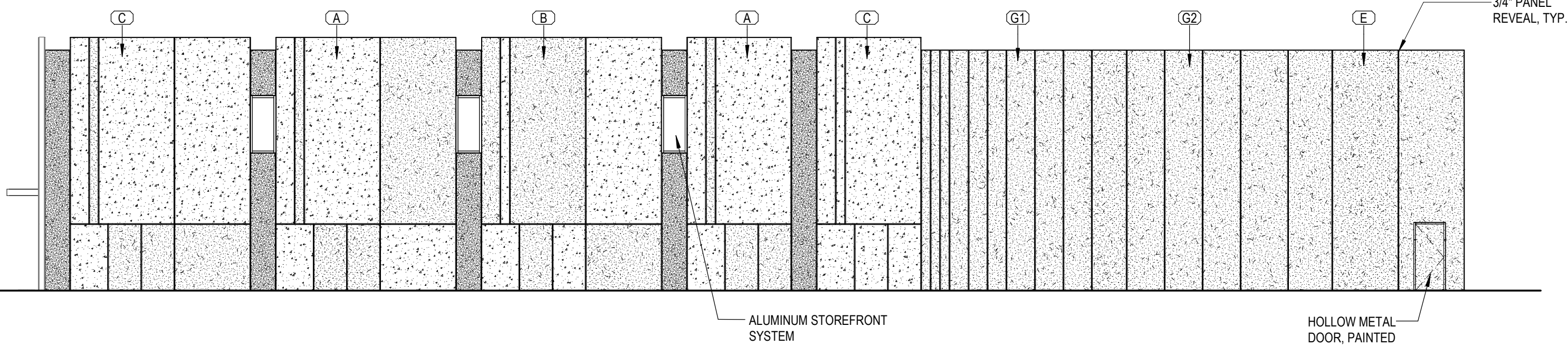
6 PANEL TYPE B

SCALE: 3/16" = 1'-0"



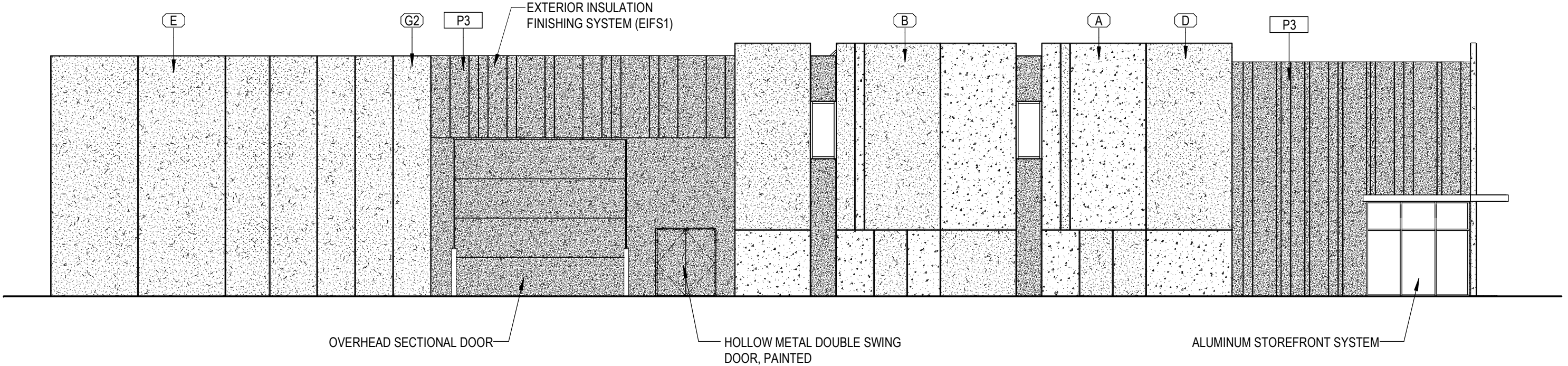
1 ELEVATION- EAST

SCALE: 3/32" = 1'-0"



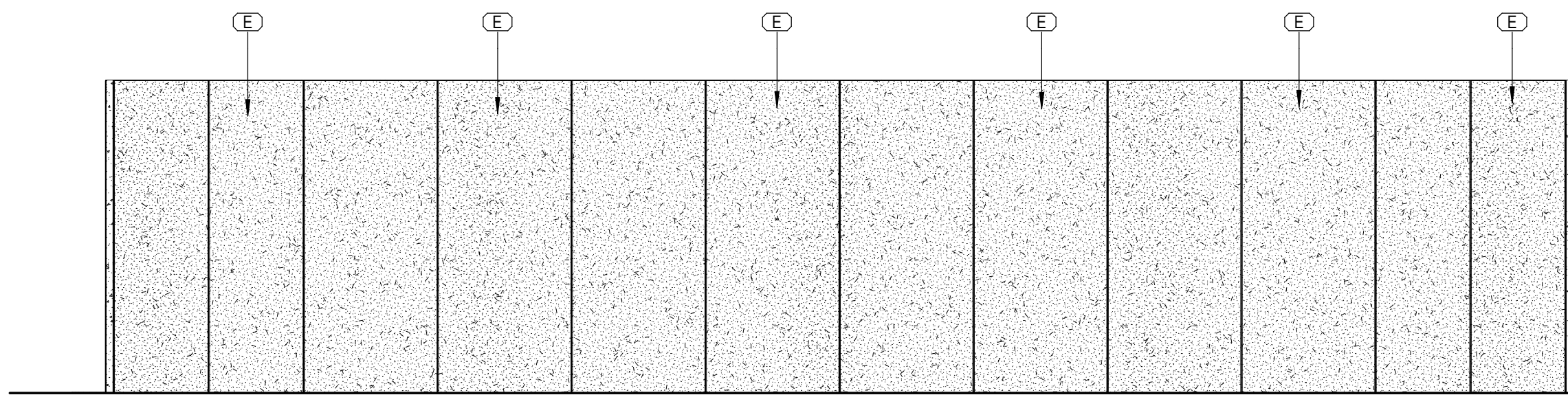
2 ELEVATION- NORTH

SCALE: 3/32" = 1'-0"



3 ELEVATION- SOUTH

SCALE: 3/32" = 1'-0"



4 ELEVATION- WEST

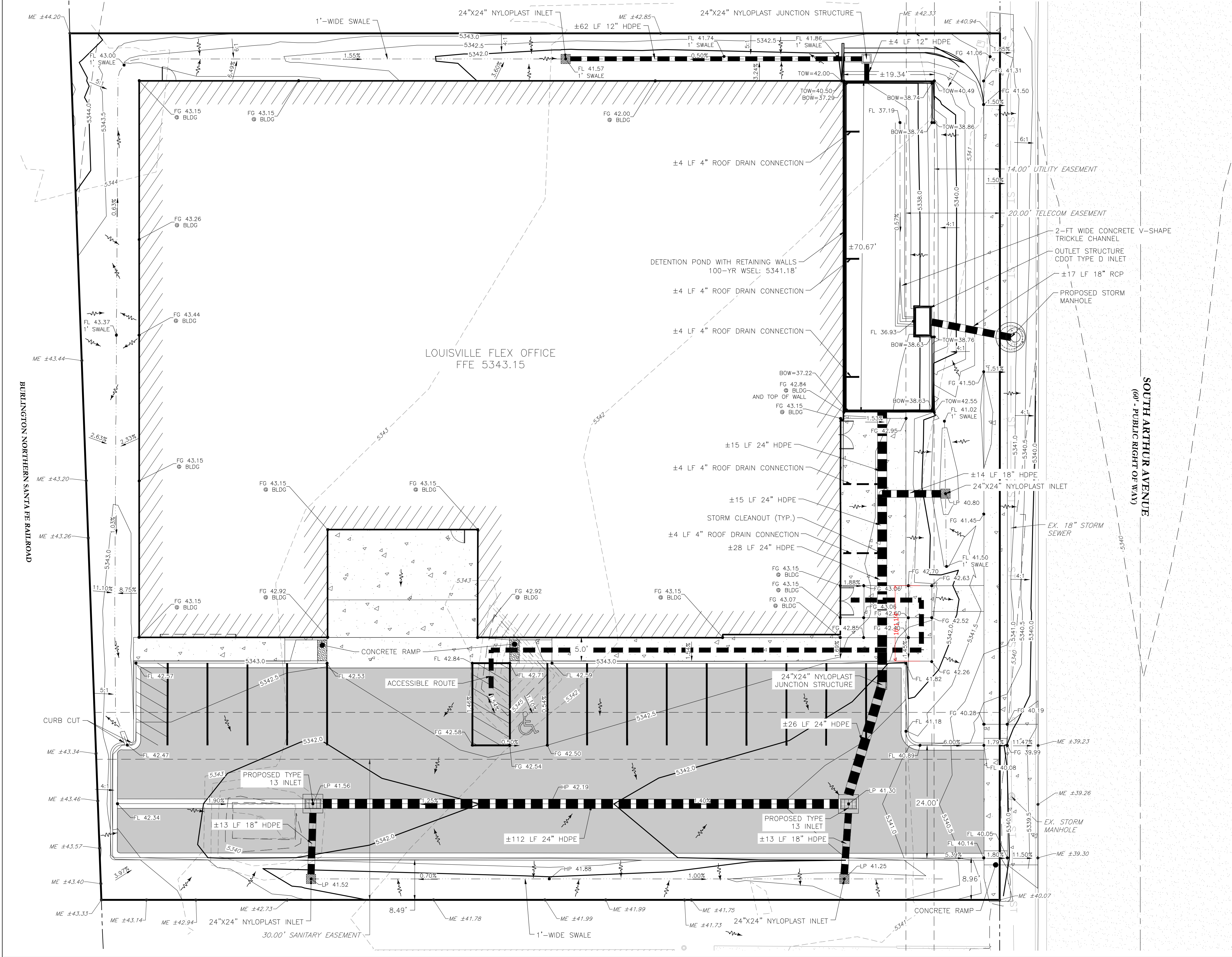
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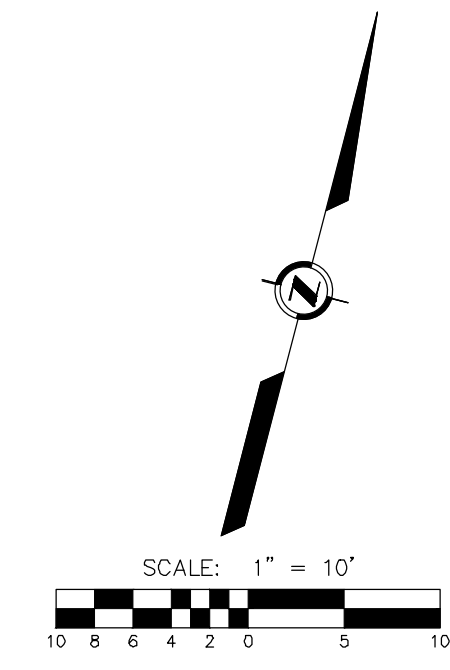


BUILDING ELEVATIONS

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EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	SUBDIVISION LINES	---
---	EASEMENT LINES	---
---	CATCH CURB & GUTTER	---
---	SPILL CURB & GUTTER	---
---	CONTOURS	---
---	CONCRETE PAVEMENT	---
---	ASPHALT PAVEMENT	---
---	BUILDINGS	---
---	STORM SEWER	---
---	ACCESSIBLE ROUTE	---



NOTES:
ALL SPOT GRADES ARE FLOW LINE UNLESS OTHERWISE NOTED.

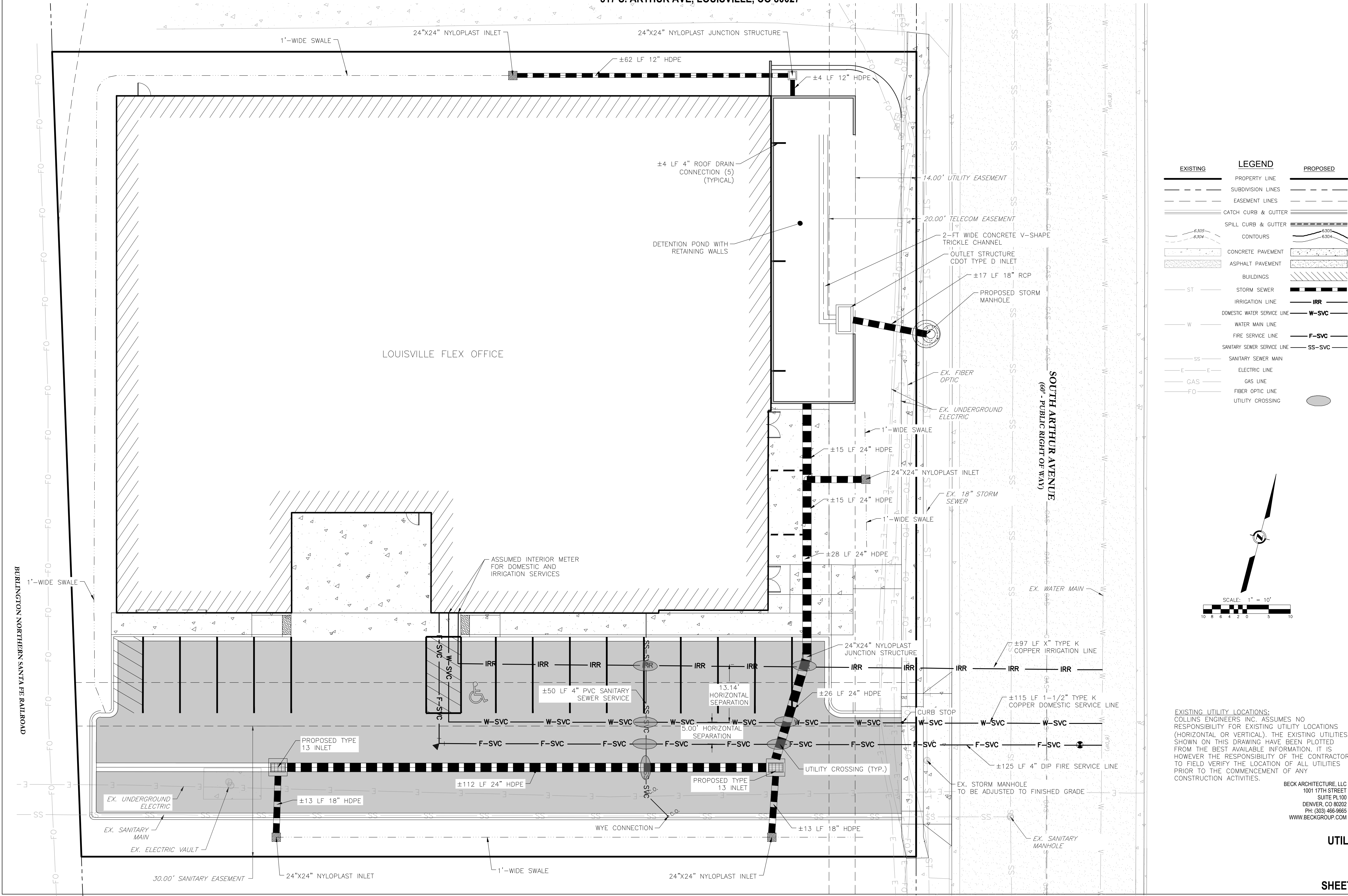
GRADING ABBREVIATION:
BOW - BOTTOM OF WALL
EOC - EDGE OF CONCRETE
FG - FINISHED GRADE
FL - FLOWLINE
HP - HIGH POINT
LP - LOW POINT
ME - MATCH EXISTING
TBOC - TOP BACK OF CURB
TOW - TOP OF WALL

EXISTING UTILITY LOCATIONS:
COLLINS ENGINEERS INC. ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL OR VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

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GRADING PLAN

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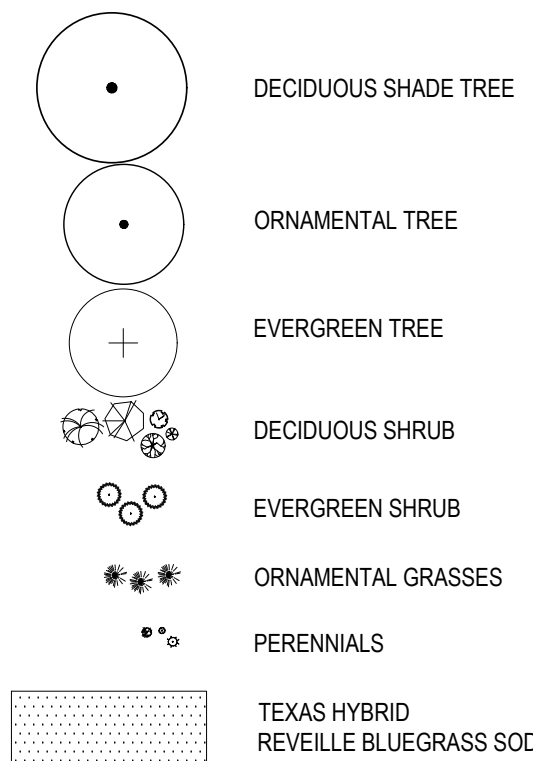
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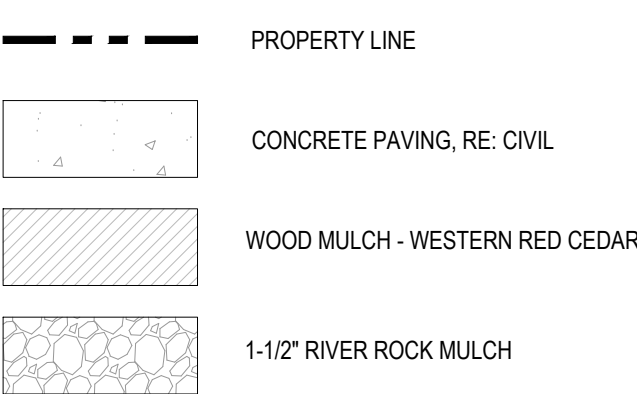
PLANTING SCHEDULE:

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	HEIGHT	WIDTH	WATER
DECIDUOUS TREES							
WCA	<i>Catalpa speciosa</i>	Western Catalpa	2.5" cal.	as shown	40-60'	30-50'	L
CHB	<i>Celtis occidentalis</i>	Common Hackberry	2.5" cal.	as shown	40-60'	40-60'	L
CKO	<i>Quercus muhlenbergii</i>	Chinkapin Oak	2.5" cal.	as shown	40 - 50'	40-50'	L
EVERGREEN TREES							
PIN	<i>Pinus edulis</i>	Pinon Pine	6'	as shown	20-30'	10-20'	L
VWP	<i>Pinus flexilis</i> 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Limber Pine	6'	as shown	20'	10'	M
EVERGREEN SHRUBS							
MZT	<i>Arctostaphylos x coloradensis</i> 'Panchito'	Panchito Manzanita	#5	4' o.c.	2'	4'	L
DECIDUOUS SHRUBS							
DBB	<i>Euonymus alata</i> 'Compacta'	Dwarf Burning Bush	#5	4' o.c.	4-6'	4-6'	M
RTD	<i>Cornus sericea</i>	Redtwig Dogwood	#5	6' o.c.	6-8'	6-10'	M
MKO	<i>Philadelphus lewisii</i> 'Cheyenne'	Cheyenne Mockorange	#5	6' o.c.	5-7'	4-6'	L
PBS	<i>Prunus besseyi</i> 'Pawnee Buttes'	Pawnee Buttes Sand Cherry	#5	3.5' o.c.	1-2'	4-6'	M
PLS	<i>Prunus x cistena</i>	Purple Leaf Sand Cherry	#5	6' o.c.	6-8'	4-6'	M
TLS	<i>Rhus trilobata</i>	Three-Leaf Sumac	#5	4' o.c.	3-4'	3-4'	L
CPL	<i>Syringa vulgaris</i>	Common Purple Lilac	#5	8' o.c.	15'	8'	M
MHV	<i>Viburnum lentana</i> 'Mohican'	Mohican Viburnum	#5	6' o.c.	6-8'	6-8'	L
ORNAMENTAL GRASSES							
BGG	<i>Bouteloua gracilis</i>	Blue Grama Grass	#1	24" o.c.	1-2'	1-2'	L
PERENNIALS							
YAR	<i>Achillea millefolium</i>	Common Yarrow	#1	24" o.c.	18-24"	2-3'	L

PLANTING LEGEND:



MATERIAL LEGEND:



GENERAL NOTES:

- THE BASE INFORMATION PROVIDED BY ENGINEER, REFER TO SURVEY, PLAT, ROADWAY AND UTILITY DRAWINGS AND OTHER AVAILABLE DOCUMENTS FOR PROPERTY LIMITS, EXISTING CONDITIONS, AND HORIZONTAL AND VERTICAL CONTROL. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL MATERIAL LOCATIONS AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES THAT ARE FOUND.
- THE CONTRACTOR SHALL HAVE ONE (1) APPROVED COPY OF PLANS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, THOROUGHLY REVIEW THE SITE CONDITIONS, DRAWINGS, AND TECHNICAL SPECIFICATIONS PRIOR TO CONSTRUCTION. COMPLETE THE WORK OF THIS PROJECT IN ACCORDANCE WITH APPROVED DRAWINGS.
- ANYTHING MENTIONED IN THE TECHNICAL SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE TECHNICAL SPECIFICATIONS SHALL NOT BE OF LIKE EFFECT AS IF SHOWN ON OR MENTIONED IN BOTH.
- NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES. REFERENCE TO NORTH REFERS TO TRUE NORTH. REFERENCE TO SCALE IS FOR FULL SIZED DRAWINGS ONLY. DO NOT SCALE FROM DRAWINGS.
- CONTRACTOR IS ADVISED THAT ALL EXISTING TREES AND SHRUBS ARE TO REMAIN UNLESS SPECIFICALLY NOTED TO BE REMOVED IN THE PLANS. CARE SHALL BE TAKEN TO PROTECT ALL TREES AND SHRUBS FROM DAMAGE DURING CONSTRUCTION. ALL DAMAGES CAUSED BY THE CONTRACTOR S SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL CONSTRUCTION BARRICADES, SIGNS, AND WARNING DEVICES NECESSARY DURING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON SITE AT ALL TIMES DURING CONSTRUCTION.
- LANDSCAPE CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
- CONTRACTOR SHALL COORDINATE AND OBTAIN ALL NECESSARY PERMITS TO PERFORM ALL PROPOSED WORK AND SHALL COMPLY WITH ALL NOTIFICATION AND INSPECTION REQUIREMENTS.
- CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- BEFORE COMMENCING WORK, CONTACT APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS, AND COORDINATE WITH THE GENERAL CONTRACTOR IN REGARD TO LOCATION OF PROPOSED UTILITIES, IRRIGATION SLEEVES, CONDUITS, (ETC). LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MODIFICATIONS OR DAMAGES TO THE UTILITY LINES, STRUCTURES OR INJURIES THEREFROM. FOR EXISTING UTILITY INFORMATION CONTACT "THE UTILITY NOTIFICATION CENTER OF COLORADO" AT 1-800-922-1987. A MINIMUM OF THREE (3) BUSINESS DAY NOTICE IN ADVANCE OF LOCATIONS NEEDED ARE REQUIRED.
- CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPE & HARDSCAPE MATERIALS TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, IE.: MULCH, EDGER, SANDSTONE BOULDERS (ETC).
- ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED AND MAINTAINED FOR ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE. ALL REPLACEMENT COSTS SHALL BE BORNE BY THE CONTRACTOR.
- ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONSTRUCTION HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTOR'S ASSOCIATION.

MAINTENANCE NOTES:

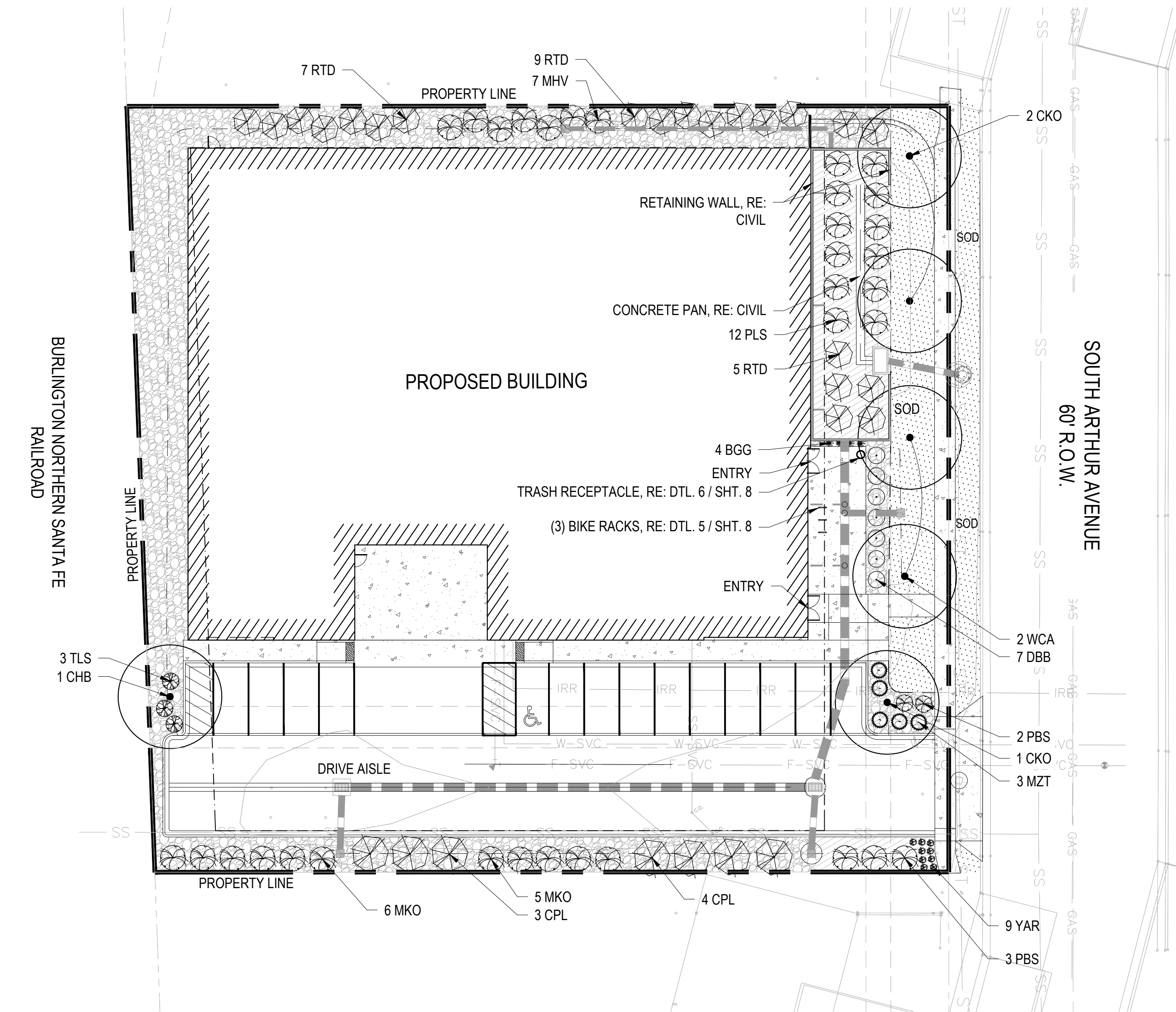
- ALL LANDSCAPING SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A NEAT AND ADEQUATE MANNER. REQUIRED MAINTENANCE ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO MOWING OF LAWNS, TRIMMING OF HEDGES, ADEQUATE IRRIGATION, REPLACEMENT OF DEAD, DISEASED OR UNSIGHTLY PLANT MATERIAL, REMOVAL OF WEEDS FROM PLANTED AREAS, AND APPROPRIATE PRUNING OF PLANT MATERIALS UNTIL FINAL COMPLETION.

IRRIGATION NOTES:

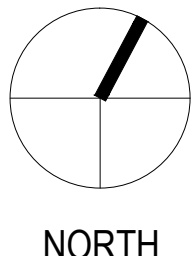
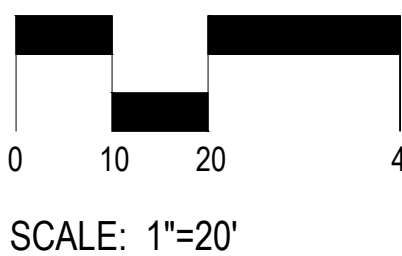
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. SHRUBS WILL BE DRIP IRRIGATED. CONTRACTOR SHALL BE RESPONSIBLE FOR TAPS, BACKFLOW PREVENTION AND WINTERIZATION SYSTEMS, SLEEVING UNDER PAVED AREAS, WALLS, AND ALL SPRINKLER COMPONENTS NECESSARY FOR A FULLY FUNCTIONAL SYSTEM. TREES SHALL BE ON A SEPARATE ZONE FROM SHRUBS. ELECTRIC SERVICES FOR THE IRRIGATION CONTROLLERS ARE INSTALLED, OWNED AND MAINTAINED BY THE OWNER OR LEGAL ENTITY CREATED FOR COMMON AREA MAINTENANCE.
- THE IRRIGATION CONTROLLER'S METERED ELECTRIC SERVICE MUST BE BUILT TO THE NATIONAL ELECTRIC CODE (NEC), REQUIRE A BUILDING PERMIT AND A ONE-LINE DIAGRAM. THE ONE-LINE DIAGRAM MUST BE SHOWN AS COLD SEQUENCED AND LABELED WITH THE SERVICE SIZE & VOLTAGE REQUIREMENTS.

PLANTING NOTES:

- ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE IN SCHEDULES. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED FOR THE PROJECT. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL SHAPED HEADS, ALL EVERGREEN TREES SHALL BE UNSHEARED AND FULL TO THE GROUND. PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1.
- SEE PLANTING DETAILS FOR PLANT PIT DIMENSIONS, BACKFILL REQUIREMENTS, AND INSTALLATION NOTES. ALL TREES TO BE STAKED OR GUYED PER DETAILS ON SHEET L4.2
- ALL PLANTS WILL BE INSPECTED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE DELIVERY TO THE SITE. ALL TREE LOCATIONS AND EDGES OF NEW PLANTING BEDS ARE TO BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- LANDSCAPE CONTRACTOR SHALL PROVIDE PER-UNIT COSTS FOR EVERY SIZE OF PLANT MATERIALS, AND BY TYPE AS CALLED OUT ON PLANS. UNIT COSTS TO INCLUDE THE PLANT MATERIAL ITSELF AND INSTALLATION, INCLUDING ALL LABOR, AMENDMENTS, FERTILIZERS, ETC. AS DETAILED AND SPECIFIED FOR EACH SIZE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKEOFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS.
- COORDINATE INSTALLATION OF LARGE PLANT MATERIAL WITH FOOTINGS AND PAVEMENTS. ANY DAMAGE TO IMPROVEMENTS BY OTHERS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL ALLOW FOR THE ADDITION OF SPECIFIED QUANTITIES OF SOIL AMENDMENTS, CONDITIONERS AND MULCH IN SOIL PREPARATION AND FINISH GRADING.
- IMPORTED SOIL SHALL BE USED TO SUPPLEMENT EXISTING SOIL AS NECESSARY TO MEET THE FINISHED GRADING REQUIREMENTS OF PLANTING AREAS.
- THE LANDSCAPE CONTRACTOR SHALL PERFORM A STANDARD AGRICULTURAL SUITABILITY ANALYSIS OF EXISTING SOIL PROPOSED FOR PLANTING AT HIS EXPENSE AND INCORPORATE RECOMMENDATIONS PER DENVER WATER AMENDMENT REQUIREMENTS PRIOR TO PLANTING.
- INSTALL A MINIMUM OF 4 CUBIC YARDS OF SOIL AMENDMENT PER 1000 SQUARE FEET OF PERMEABLE AREA TO BE PLANTED WITH SOD, SHRUBS, GRASSES, OR PERENNIALS. AMENDMENT SUPPLIER SHALL BE A1 ORGANICS OF EATON, COLORADO.
- ALL TREES, SHRUBS, PERENNIALS, SOD AND SEEDED AREAS SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY FOR A 12-MONTH PERIOD AFTER INITIAL ACCEPTANCE. REPLACEMENTS SHALL BE GUARANTEED AN ADDITIONAL 12-MONTHS UNTIL FINAL ACCEPTANCE. ALL REPLACEMENT COSTS SHALL BE BORNE BY THE CONTRACTOR.
- TAKE ALL DIMENSIONS PERPENDICULAR TO ANY REFERENCE LINE, CENTERLINE, OR BACK OF CURB.
- STREET TREES SHALL BE PLACED 5'-0" MIN. FROM BURIED UTILITIES.
- TREE WRAPPING MATERIAL SHALL BE FOUR INCHES WIDE, BITUMINOUS IMPREGNATED TAPE, CORRUGATED OR CREPE PAPER, BROWN IN COLOR, SPECIFICALLY MANUFACTURED FOR TREE WRAPPING. TREES SHALL BE WRAPPED BETWEEN OCTOBER 15 AND NOVEMBER 1 OF THE YEAR THEY ARE PLANTED. NO TREE WRAPPING SHALL BE PERMITTED UNTIL A LICENSED LANDSCAPE CONTRACTOR OR CERTIFIED ARBORIST HAS INSPECTED THE TREE. IT IS THE DUTY OF THE CONTRACTOR TO WRAP DECIDUOUS TREES DURING THE ONE-YEAR WARRANTY PERIOD.
- WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.



1
7
LANDSCAPE PLAN
SCALE: 1" = 20"



BECK ARCHITECTURE, LLC
1001 17TH STREET
SUITE PL100
DENVER, CO 80202
PH: (303) 466-9665
WWW.BECKGROUP.COM

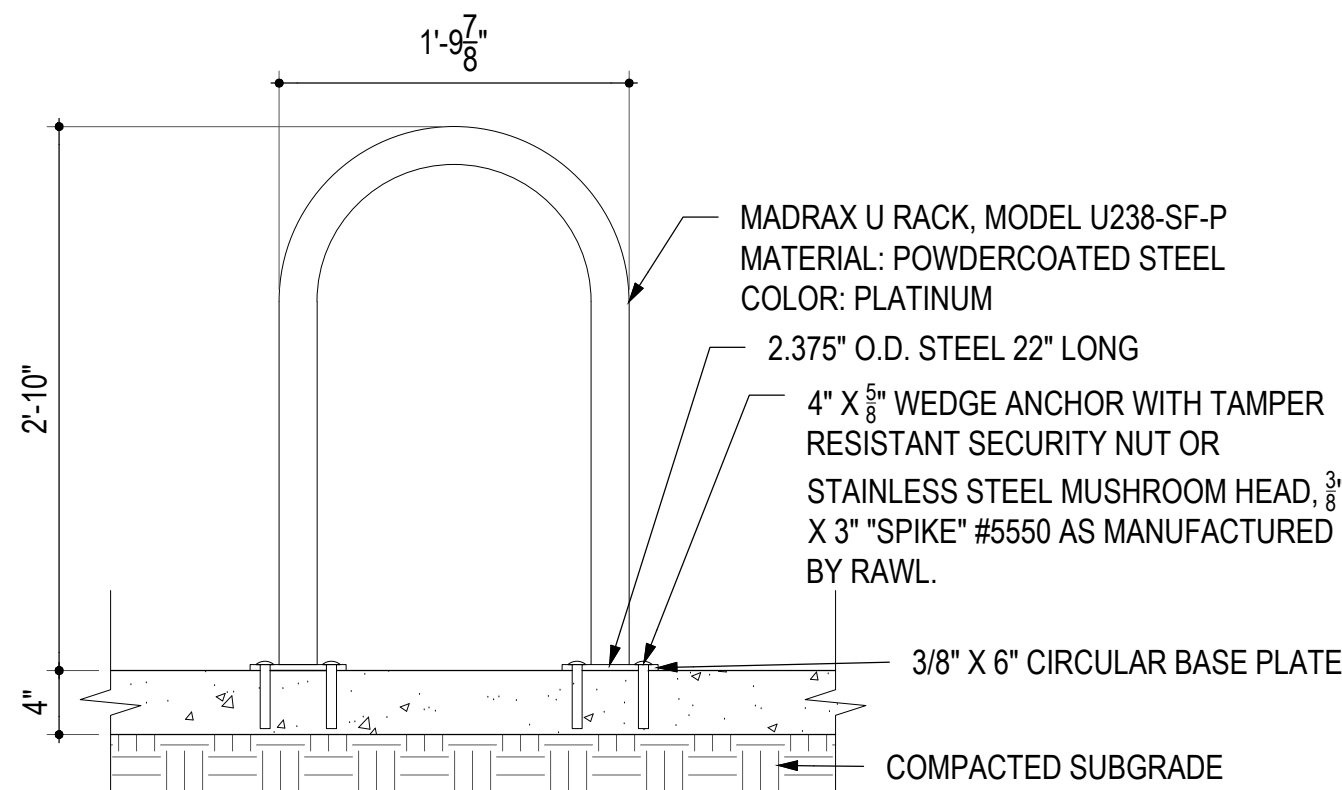
BECK

LANDSCAPE PLAN

7
SHEET 7 OF 12

LOT 9, BLOCK 1
COLORADO TECHNOLOGICAL CENTER, FIRST FILING

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING,
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.
517 S. ARTHUR AVE, LOUISVILLE, CO 80027

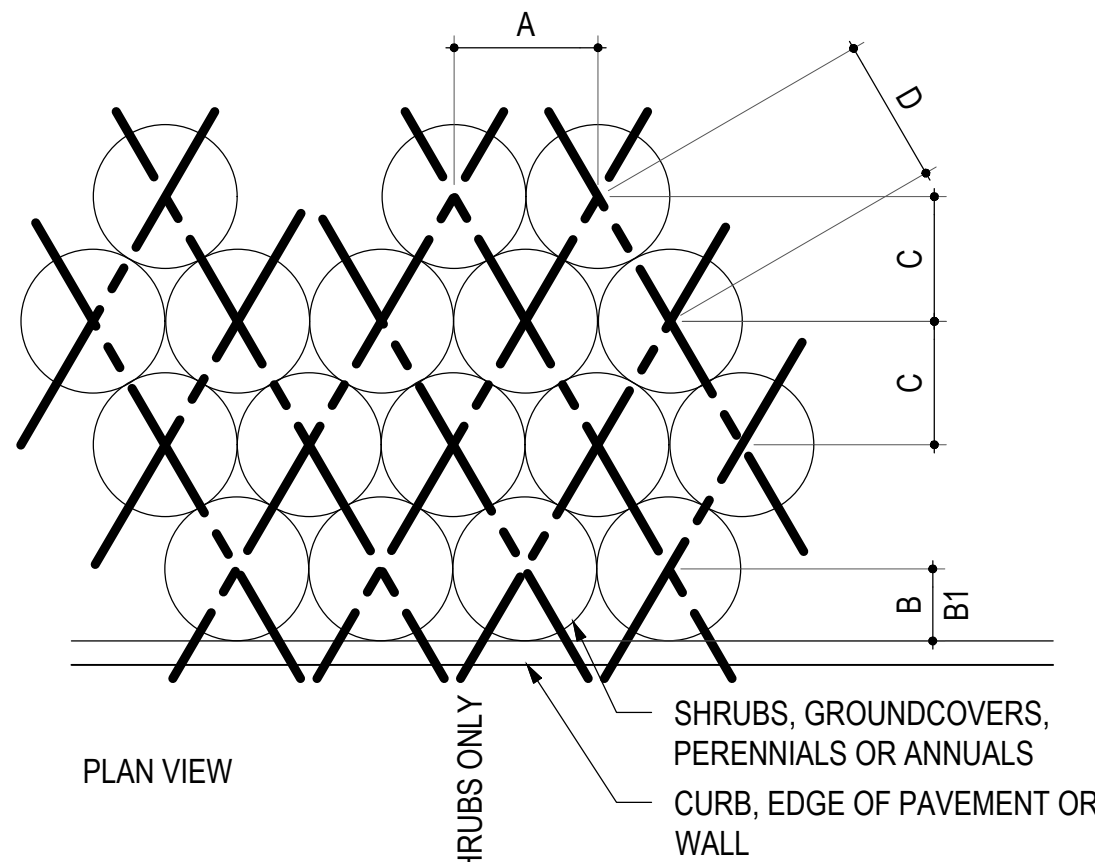


NOTES:

1. BASE PLATE SHALL BE MOUNTED TO CONCRETE VIA EXPANSION ANCHOR: 4" X $\frac{5}{8}$ " WEDGE ANCHOR W/ TAMPER RESISTANT SECURITY NUT OR STAINLESS STEEL MUSHROOM HEAD, $\frac{3}{8}$ " X 3" "SPIKE" #5550 AS MANUFACTURED BY RAWL.
2. RACK SHALL BE SET FIRM AND ALIGNED WITH A TOLERANCE PLUS OR MINUS $\frac{1}{4}$ " FROM PLUMB.
3. STEEL SHIMS SHALL BE INSTALLED PRIOR TO ANCHORING IN PLACE WHEN NEEDED.

BIKE RACK DETAIL

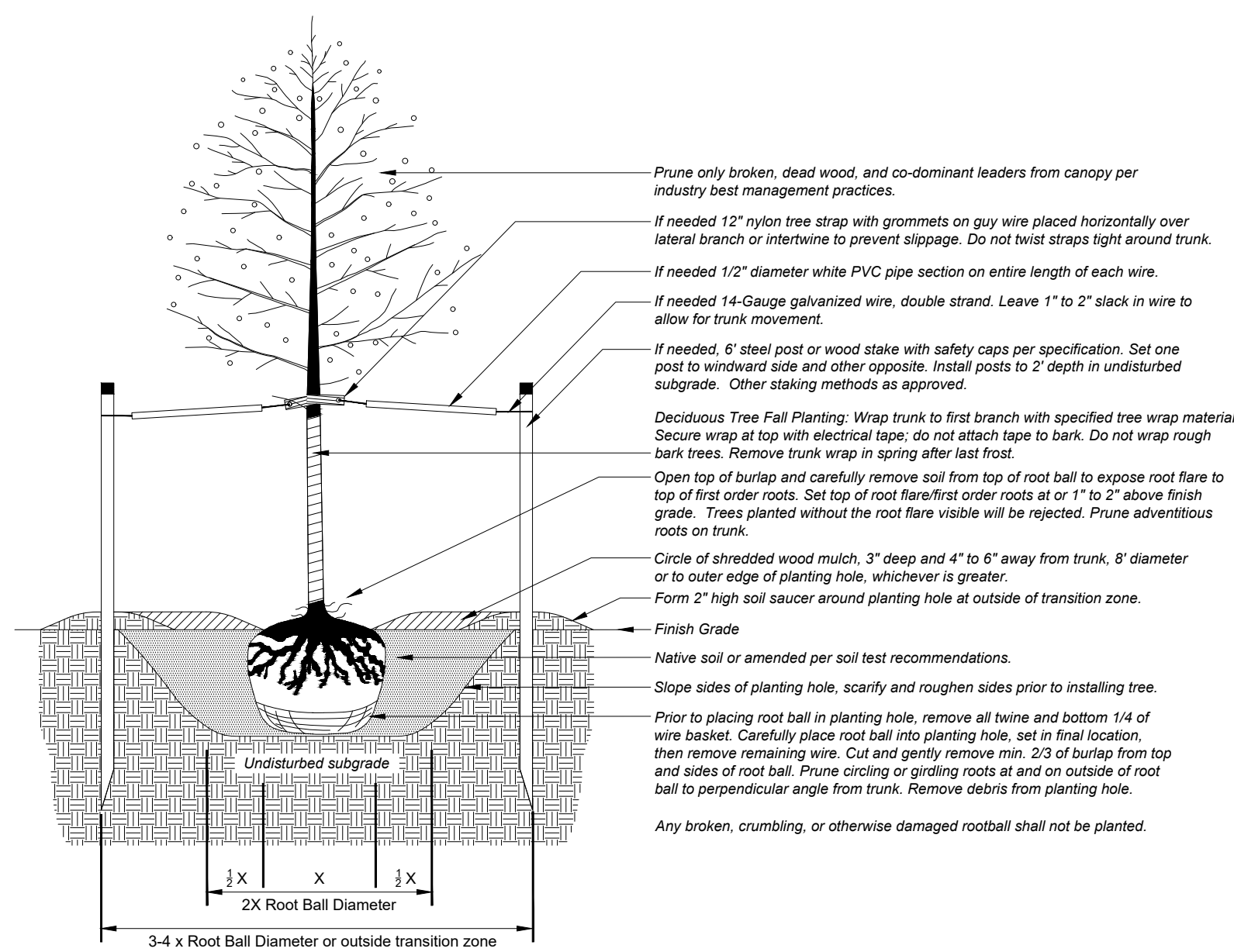
SCALE: 1/2" = 1'-0"



PLANT SPACING	A	B	B1	C	D
6"	6"	6"	6"	5"	6"
8"	8"	6"	8"	7"	8"
12"	12"	6"	12"	10"	12"
18"	18"	8"	18"	15"	18"
24"	24"	18"	24"	20"	24"
30"	30"	18"	30"	26"	30"
36"	36"	24"	36"	31"	36"
48"	48"	24"	48"	41"	48"

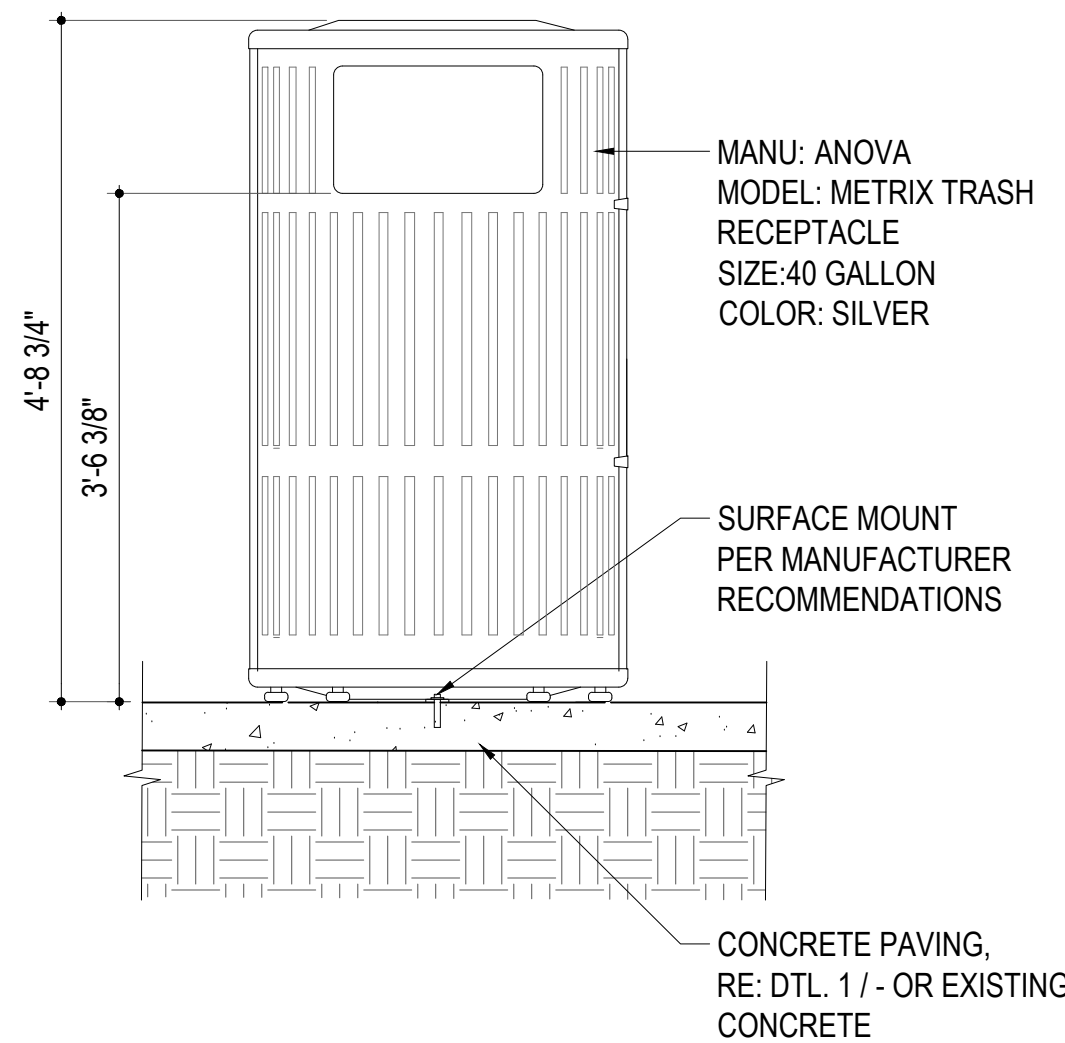
PLANT SPACING DETAIL

SCALE: 3/4" = 1'-0"



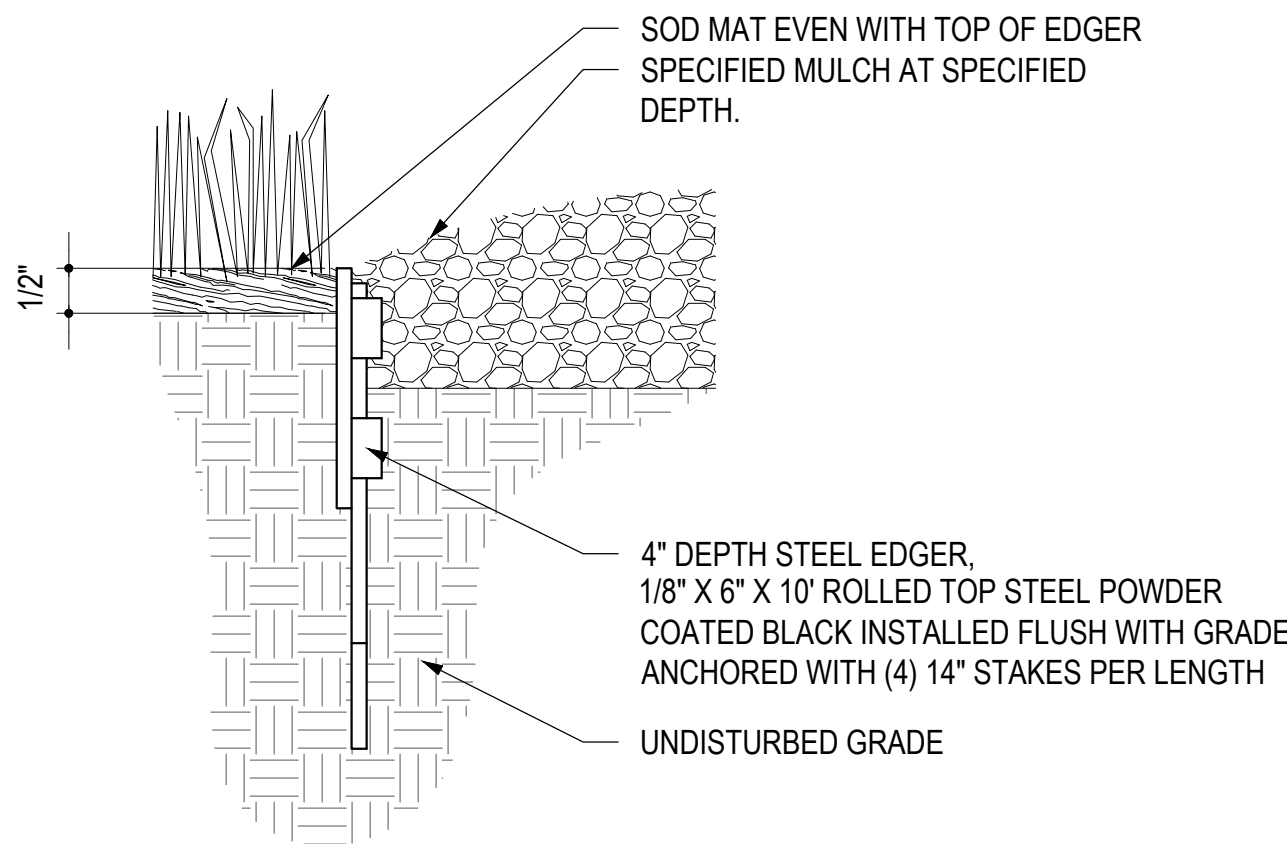
TREE PLANTING DETAIL

SCALE: NTS



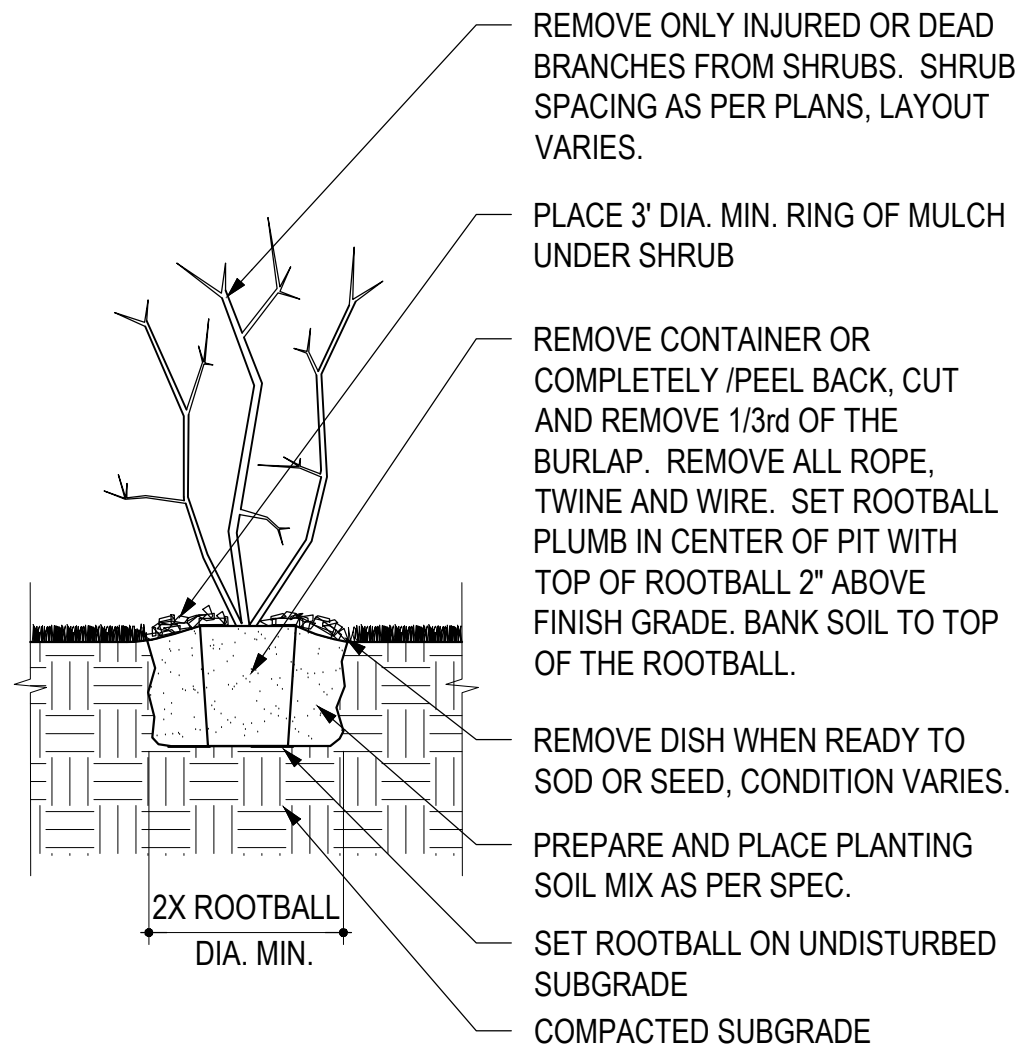
TRASH RECEPTACLE DETAIL

SCALE: 3/4" = 1'-0"



STEEL EDGER DETAIL

SCALE: 3/4" = 1'-0"



SHRUB PLANTING DETAIL

SCALE: 1/2" = 1'-0"

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SITE AMENITIES/ DETAILS

LOT 9, BLOCK 1
COLORADO TECHNOLOGICAL CENTER, FIRST FILING
LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING,
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.
517 S. ARTHUR AVE, LOUISVILLE, CO 80027

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Property Line	Illuminance	Fc	0.12	1.1	0.0
Site Calcs	Illuminance	Fc	0.43	2.5	0.0

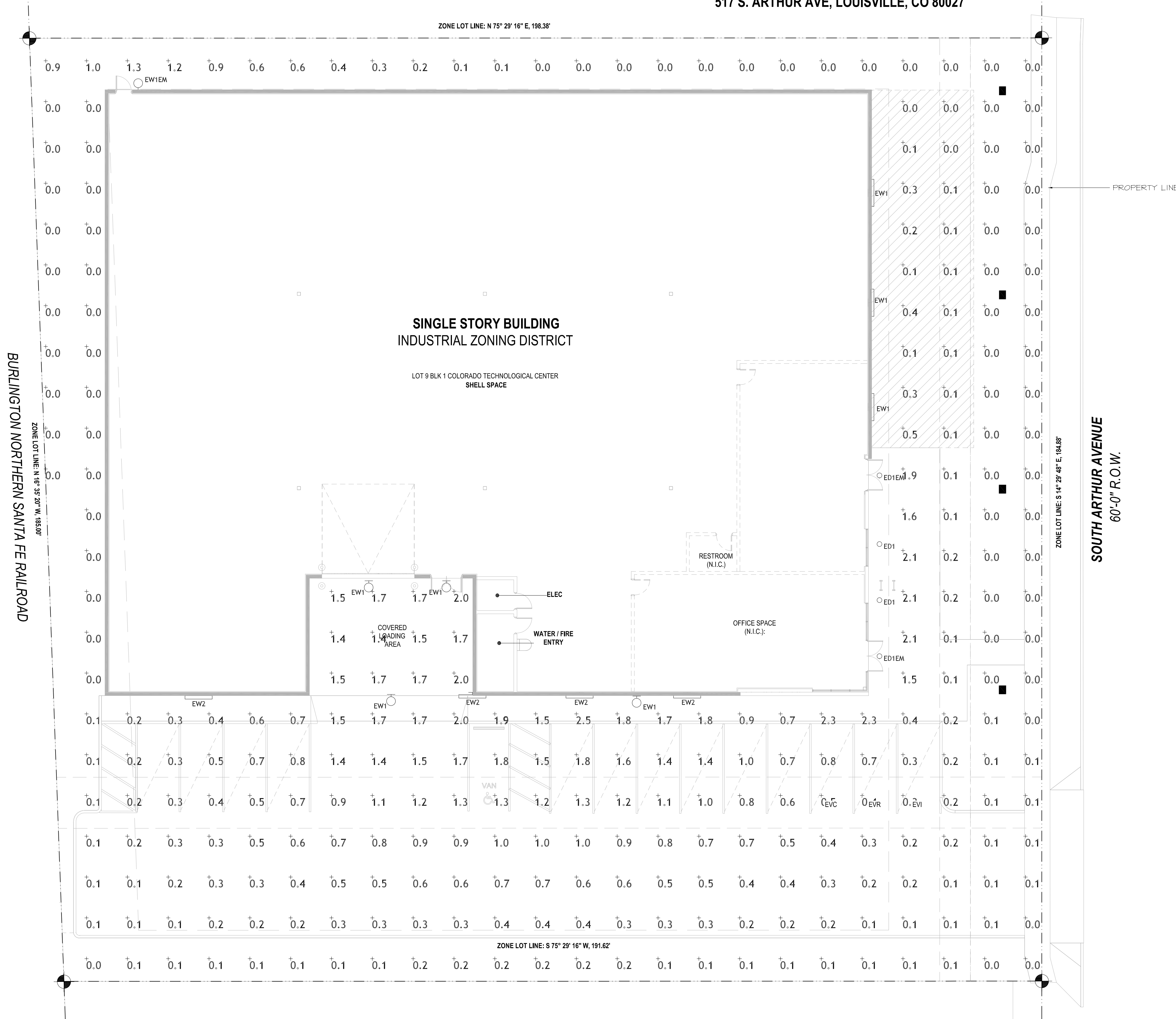
LIGHTING GENERAL NOTES

- A. LIGHTING CALCULATIONS WERE MADE USING A LIGHT LOSS FACTOR OF 1.0
- B. CALCULATION POINTS WERE TAKEN AT GRADE LEVEL ON A 10'X10' GRID. CALCULATIONS DO NOT REPRESENT ANY SLOPE OF ELEVATION CHANGE
- C. ILLUMINANCE CONTRIBUTIONS FROM STREET LIGHTING AND ADJACENT ARE NOT INCLUDED.
- D. ALL LIGHT FIXTURES WILL BE CONTROLLED BY ASTRONOMICAL TIME CLOCK AND/OR PHOTOCELL.

A1 LUMINAIRE TYPE, REFERENCING LUMINAIRE SCHEDULE, TYPICAL ALL FIXTURES. SUBSCRIPT, IF SHOWN, REFERENCES WALL SWITCH OR RELAY/ZONE CONTROL.

WALL MOUNTED LUMINAIRE

DOWNLIGHT LUMINAIRE



1 | SITE PHOTOMETRIC
1 | SCALE: 3/32" = 1'0"

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AEDESIGN

Integrated Lighting, Technology, and Electrical Solutions
1900 Wazee Street #205 | Denver, CO 80202 | 303.296.3034
aedesign-inc.com Project # 6768.00

PHOTOMETRIC PLAN

9

SHEET 9 OF 12

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING,
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.
517 S. ARTHUR AVE, LOUISVILLE, CO 80027

WDGE2 LED

Architectural Wall Sconce

Visual Comfort Optic

Catalog Number	
Notes	
Type	

Click on the links above to view the full product information.

Specifications

Depth (D1):	7"
Depth (D2):	1.5"
Height:	9"
Width:	11.5"
Weight:	13.5 lbs (without options)

Introduction

The WDGE2 family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE2 family provides additional energy savings and code compliance.

WDGE2 delivers up to 4,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
*See ordering tree for details

WDGE LED Family Overview

Luminaire	Optics	Standard @ 0°C	Cold DM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)							
					P0	P1	P2	P3	P4	P5	P6	
WDGE1 LED	Visual Comfort	4W		—	750	1,200	2,000	—	—	—	—	—
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	—	1,200	2,000	3,000	4,500	6,000	—	—
WDGE2 LED	Precision Reflective	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	—	—	—
WDGE3 LED	Precision Reflective	15W	18W	Standalone / nLight	6,000	7,500	8,500	10,000	12,000	—	—	—
WDGE4 LED	Precision Reflective	—	—	Standalone / nLight	—	12,000	16,000	18,000	20,000	22,000	25,000	—

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBX DB

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE2 LED	P1	P15W	27K 2700K	80CRI	347°	MYUL
	P2	P25W	35K 3500K	90CRI	480°	SPW
	P3	P35W	35K 3500K	90CRI	480°	ICW
	P4	P45W	40K 4000K	90CRI	480°	ICW
	P5	P55W	50K 5000K	90CRI	480°	ICW
						Shipped included SPW Surface mounting bracket ICW Indirect Casing/Chasing Washer bracket (dry/damp locations only)
						Shipped separately AWS 3" x 3" rectangular wall spacer PRBR Surface-mounted back box (top, left, right, center entry). Use when there is no junction box available.

Options

E4WH	Emergency battery backup, Certified in CA Title 20 MAESB (49K, 0°C min)
E10WH	Emergency battery backup, Certified in CA Title 20 MAESB (100K, 0°C min)
E20WC	Emergency battery backup, Certified in CA Title 20 MAESB (18W, -20°C min)
PE	Photo-cell, Button Type
DS	Dual switching (comes with 2 drivers and 2 light engines, see page 3 for details) 0-10V dimming wires pulled outside fixture (for use with an dimming control, ordered separately)
BCE	Bottom conduit entry for (P580), Total of 4 entry points.
DLE	Dual Switching (1 Drive, 2 Light Engines)
CCE	Conduit Connection

Standalone Sensors/Controls

(only available with P15W P25W & P35W)

P1R	Bi-level (100/50%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.
P1RH	Bi-level (100/50%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.
P1R1FCV	Bi-level (100/50%) motion sensor for 15-30' mounting heights, with photo-cell pre-programmed for dusk to dawn operation.
P1R1HFCV	Bi-level (100/50%) motion sensor for 15-30' mounting heights with photo-cell pre-programmed for dusk to dawn operation.

Networked Sensors/Controls

(only available with P15W P25W & P35W)

N1AR2 PIR	Embedded wireless controls by nLight with Passive Infrared (PIR) sensor and on/off photocell for 8-15' mounting heights.
N1AR2 PIR	Embedded wireless controls by nLight with Passive Infrared (PIR) sensor and on/off photocell for 15-30' mounting heights.
N1AR2EM PIR	Embedded wireless controls by nLight with UL924 listed emergency operation, Passive Infrared (PIR) sensor and on/off photocell for 8-15' mounting heights.
N1AR2EM PIR	Embedded wireless controls by nLight with UL924 listed emergency operation, Passive Infrared (PIR) sensor and on/off photocell for 15-30' mounting heights.

See page 4 for full functionality

COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-755-SERV (7378) • www.lithonia.com

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WDGE2 LED
Rev. 05/20/24

1	EW2
2	SCALE: N.T.S.

FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.
CONSTRUCTION — Galvanized steel mounting/plaster frame, galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs.

Vertically adjustable mounting brackets with commercial bar hangers provide 3-1/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12" 24" joist spacing.
 Passive cooling thermal management for 25° standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max. ceiling thickness 1-1/2".

OPTICS — LEDs are bonded to a 3-step Macadam Ellipse; 80 CRI minimum. 90 CRI optional.

LED light source concealed with diffusing optical lens.

General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image. Self-ranged adjustable reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

A+ CAPABLE LUMINAIRE — This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning when used with Acuity Brands controls products. All configurations of this luminaire are calibrated and tested to meet the Acuity Brands' specifications for chromatic consistency — including color rendering, color fidelity and color temperature tolerance around standard CIE chromaticity coordinates. To learn more about A+ standards, specifications, and testing visit www.acuitybrands.com/a+info

UGR — UGR is zero for fixtures aimed at nadir with a cut-off equal to or less than 60deg per CIE 117:1996 Discomfort Glare in Interior Lighting. [UGR Table](#)

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.

0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.

LUMEN MAINTENANCE — 70% lumen maintenance at 60,000 hours.

LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. ENERGY STAR® certified product. Drivers are RoHS compliant

GOVERNMENT PROCUREMENT — BAA — Product with the BAA option qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product with the BAA option also qualifies as manufactured in the United States under DOT Buy America regulations.

BABA — Build America Buy America: Product with the BAA option also qualifies as produced in the United States under the definitions of the Build America, Buy America Act.

To learn more, visit www.acuitybrands.com/buy-america for additional information.

WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are results of typical values, measured under laboratory conditions at 25°C.

Specifications subject to change without notice.

PERFORMANCE DATA

LDN4	Nominal Lumens	Wattage	Lm/W
500	523.6	5.74	91.2
750	751.1	8.6	87.3
1000	1045	10.58	98.8
1500	1512	17.5	86.4
2000	2096	22.12	90.7
2500	2551	26.1	97.7
3000	3007	32.1	93.7
4000	4212	43	98.0

Notes

Tested in accordance with IESNA LM-79-08

Tested for current ETL and NEMA standards under stallholder

lighting conditions

Based on LDN4 LR LSS 355 ROCHI

Catalog Number	
Notes	
Type	

LDN4 STATIC WHITE

4" Open and Wallwash LED

Non-IC

New Construction Downlight

Open Trim

Wallwash Trim

DISTRIBUTIONS

DIMENSIONS

LDN4 500-2000 Lumens

Acuity: 48" x 48" (1219 mm)
 Color: 48" x 48" (1219 mm) Not Requested
 Shipping Item: 48" x 48" (1219 mm)
 Color: 48" x 48" (1219 mm) Not Requested

See page 4 for other fixture dimensions

DOWNLIGHTING

LDN4

AE DESIGN
Integrated Lighting, Technology, and Electrical Solutions
1900 Wazee Street #205 | Denver, CO 80202 | 303.296.3034
aedesign-inc.com Project #: 6768.00

IMPROVEMENT SURVEY PLAT

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING (517 SOUTH ARTHUR AVENUE)
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



LEGAL DESCRIPTION

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.

GENERAL NOTES

- ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON. (COLORADO REVISED STATUTES TITLE 13, ARTICLE 80, SECTION 105 [C.R.S. § 13-80-105])
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY R&R ENGINEERS-SURVEYORS TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. EASEMENT RESEARCH AND OWNERSHIP INFORMATION WERE PROVIDED BY CLIENT IN THE TITLE COMMITMENT OR TITLE REPORT REFERENCED HEREON.
- UTILITY INFORMATION WAS OBTAINED FROM VISIBLE FIELD OBSERVATION AND UTILITY LOCATE SERVICES PROVIDED BY TOM RICHARDSON, LLC. THE LOCATION OF UNDERGROUND UTILITIES ARE SHOWN BASED ON VISIBLE ABOVE GROUND EVIDENCE ONLY AND NO RESPONSIBILITY IS ACCEPTED FOR THEIR ACCURACY. THE LOCATIONS OF UNDERGROUND UTILITIES MUST BE FIELD VERIFIED PRIOR TO ANY DIGGING ON OR ADJACENT TO THE SUBJECT PROPERTY. UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987
- BASIS OF BEARINGS (ASSUMED): BEARINGS ARE BASED ON THE NORTH LINE OF SAID LOT 9 HAVING AN ASSUMED BEARING OF NORTH 75° 29' 16" EAST, SAID LINE MONUMENTED AT EACH END AS SHOWN HEREON.
- BENCHMARK: NGS DESIGNATION Q 413, A STAINLESS STEEL ROD IN A MONUMENT BOX LOCATED NORTH OF DILLON ROAD AND EAST OF S 104TH ST. ELEVATION = 5296.06 (NAVD88)
- UNITS SHOWN ARE U.S. SURVEY FEET.
- DATE OF FIELDWORK: 04/08/2024.

SURVEYOR'S CERTIFICATION

I, BASIL MICAH HANSON, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, HAVE AFFIXED MY STAMP AND SIGNATURE REPRESENTING THAT THE SURVEYING SERVICES ADDRESSED HEREON HAVE BEEN PERFORMED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND ARE BASED UPON THE PROFESSIONAL SURVEYOR'S KNOWLEDGE, INFORMATION, BELIEF AND IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE.

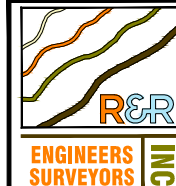


BASIL MICAH HANSON, P.L.S.
COLORADO REG. NO. 38020
FOR AND ON BEHALF OF
R&R ENGINEERS-SURVEYORS, INC.

THE WORD "CERTIFICATION" AND/OR "CERTIFY" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

LEGEND

(M)	MEASURED	(FB)	FIBER OPTIC BOX (ON CONCRETE PAD)
(C)	CALCULATED	(FP)	FIBER OPTIC PEDESTAL
(R)	RECORD	*	BOLLARD, CONCRETE OR STEEL
---	CURB AND GUTTER	⊕	ELECTRIC MANHOLE
---	MAJOR CONTOUR	⬮	TRANSFORMER BOX (ON CONCRETE PAD)
---	MINOR CONTOUR	---	UNDERGROUND STORM DRAIN LINE
---	EXISTING BUILDING EDGE	⊙	STORM DRAIN MANHOLE
---	ASPHALT SURFACE	---	UNDERGROUND SANITARY SEWER LINE
---	CONCRETE SURFACE	⊙	SANITARY SEWER MANHOLE
---	SURVEYED PROPERTY BOUNDARY LINE	---	UNDERGROUND WATER LINE
---	PLATTED LOT LINE	DIP	DUCTILE IRON PIPE
---	UNDERGROUND FIBER OPTIC LINE, AS MARKED	⊕	FIRE HYDRANT
---	SIGN, SINGLE POLE		
---	UNDERGROUND ELECTRIC		



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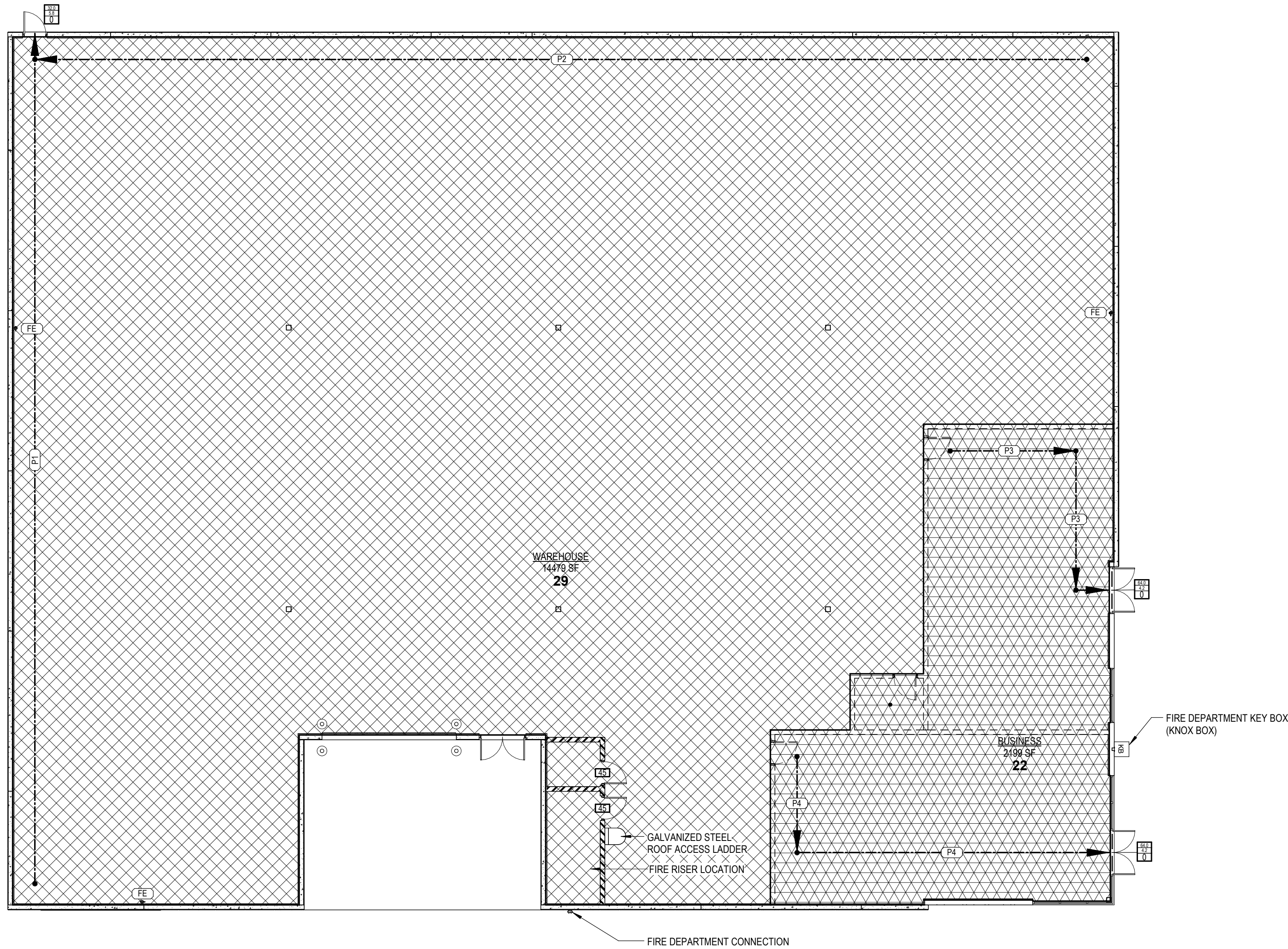
REVISIONS		File: TD24047
9/10/2024	Added topo north & south of subj property	Orig. Issue Date: 4/1/2024
9/10/2024	REVIEW TITLE COMMITMENT AND ADD EASEMENTS	Drawn By: JDM
		Checked By: BPH
		Project No.
		TD24047

IMPROVEMENT SURVEY PLAT

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING (517 SOUTH ARTHUR AVENUE) LOCATED IN THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

Sheet 1 of 1

LOT 9, BLOCK 1
COLORADO TECHNOLOGICAL CENTER, FIRST FILING
LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING,
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.
517 S. ARTHUR AVE, LOUISVILLE, CO 80027



AREA OCCUPANCY LEGEND

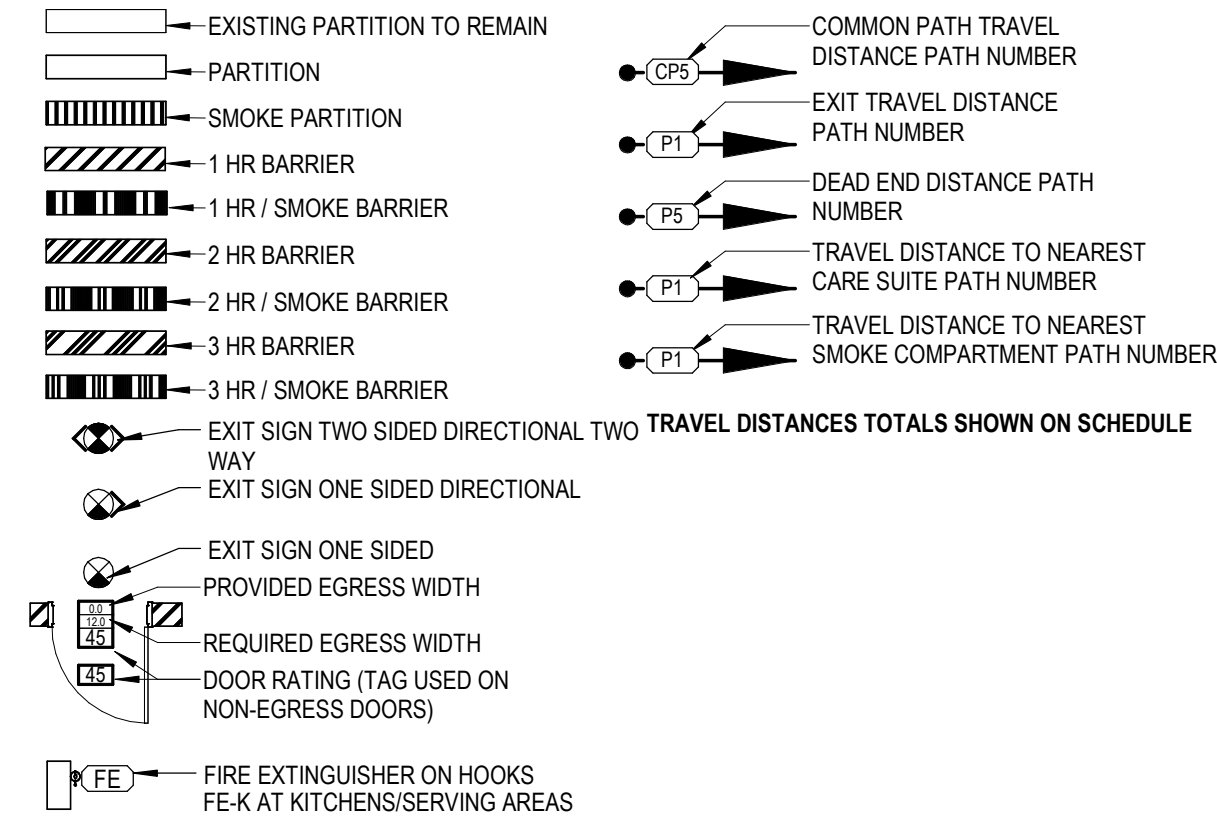
- Business
Warehouses

1 CODE COMPLIANCE AREA PLAN- LEVEL 1
SCALE: 3/32" = 1'-0"

APPLICABLE BUILDING CODES

- BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE (IBC) w/ LOCAL AMMENDMENTS
MECHANICAL CODE: 2018 INTERNATIONAL MECHANICAL CODE (IMC) w/ LOCAL AMENDMENTS
PLUMBING CODE: 2018 INTERNATIONAL PLUMBING CODE (IPC) w/ LOCAL AMENDMENTS
ELECTRIC CODE: 2023 NATIONAL ELECTRIC CODE (NEC) w/ LOCAL AMENDMENTS
FIRE CODE: 2018 INTERNATIONAL FIRE CODE (IFC) w/ LOCAL AMENDMENTS
ENERGY CODE: 2018 INTERNATIONAL ENERGY CONSERVATION CODE w/ LOCAL AMENDMENTS
FUEL GAS CODE: 2018 INTERNATIONAL FUEL GAS CODE (IFGC) w/ LOCAL AMENDMENTS
LOCAL CODE: LOUISVILLE MUNICIPAL CODE: CHAPTER 15 - BUILDINGS AND CONSTRUCTION
OTHER CODE(S): 1997 UNIFORM CODE FOR THE ABATEMENT OF DANGEROUS BUILDING CODE

CODE COMPLIANCE GRAPHICS



TRAVEL DISTANCE PATHS		
PATH	LENGTH	IBC MAX TRAVEL DISTANCE
P1	115'-0"	250'-0" (S-1, PER TABLE IBC §1017.2)
P2	145'-9"	250'-0" (S-1, PER TABLE IBC §1017.2)
P3	40'-2"	250'-0" (B, PER TABLE IBC §1017.2)
P4	55'-2"	250'-0" (B, PER TABLE IBC §1017.2)

BUILDING OCCUPANT LOADS					
Area Information		Area Per Occupant	Percentage	Seating Occupancy	Occupancy Calculated Rounded
Area Occupancy Key	Area				
LEVEL 1					
Business	2199 SF	100 SF	13%		22
Warehouses	14479 SF	500 SF	87%		29
	16678 SF		100%		51

OCCUPANCY TYPE & ALLOWABLE AREA/HEIGHT

CONSTRUCTION TYPE: TYPE IIB
PRIMARY BUILDING OCCUPANCY: S-1 - STORAGE/WAREHOUSE
SECONDARY BUILDING OCCUPANCIES: B - BUSINESS
MIXED-USE SEPARATION: ACCESSORY OCCUPANCIES - NO
NON-SEPARATED OCCUPANCIES - YES
SEPARATED OCCUPANCIES (SEE TABLE) - NO
**SPECIAL PROVISIONS (PER IBC 510) - NO

ALLOWABLE BUILDING AREA (TABLE 506.2)	TABULAR	ACTUAL
LEVEL 1: S-1, SPRINKLED SINGLE STORY 15,000 SF (15,000 SF / 100 SF PER LEVEL)	70,000 SF PER LEVEL	16,678 SF PER LEVEL
ALLOWABLE BUILDING HEIGHT		
BUILDING HEIGHT (IBC TABLE 504.3) S-1, SPRINKLED SINGLE STORY	75'-0" ABOVE GRADE PLANE	26'-8" ABOVE GRADE PLANE
BUILDING HEIGHT (IBC TABLE 504.4) S-1, SPRINKLED SINGLE STORY	4 STORIES ABOVE GRADE PLANE	1 STORY ABOVE GRADE PLANE

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FIRE AND LIFE SAFETY PLAN