

Historic Preservation Commission Agenda

**Monday, December 16, 2024
City Hall, 2nd Floor Council Chambers
749 Main Street
6:30 PM**

Members of the public are welcome to attend and give comments remotely; however, the in-person meeting may continue even if technology issues prevent remote participation.

- You can call in to **+1 253 215 8782, Webinar ID # 827 0375 4963**
Webinar ID **#575287**
- You can log in via your computer. Please visit the City's website here to link to the meeting: www.louisvilleco.gov/hpc.

The Commission will accommodate public comments during the meeting. Anyone may also email comments to the Commission prior to the meeting at Planning@LouisvilleCO.gov.

1. Call to Order
2. Roll Call
3. Approval of Agenda
4. Public Comments on Items Not on the Agenda
5. Probable Cause: 833 LaFarge Avenue
6. Probable Cause: 1237 Grant Avenue
7. Discussion: HSA process and grant funds
8. Discussion: Annual work plan 2024 review
9. Updates from staff
10. Updates from Commission Members
11. Adjourn

Persons planning to attend the meeting who need sign language interpretation, translation services, assisted listening systems, Braille, taped material, or special transportation, should contact the City Clerk's Office at 303 335-4536 or MeredythM@LouisvilleCO.gov. A forty-eight-hour notice is requested.

Si requiere una copia en español de esta publicación o necesita un intérprete durante la reunión, por favor llame a la Ciudad al 303.335.4536 o 303.335.4574.

ITEM: 833 LaFarge Probable Cause Determination

APPLICANT: Andy Johnson, DAJ Design
922A Main Street
Louisville, CO 80027

OWNER: Rónán Ó'Maitiú
TWSS Main St
833 LaFarge Ave
Louisville, CO 80027

PROJECT INFORMATION:
ADDRESS: 833 LaFarge Avenue
LEGAL DESCRIPTION: Lots 10 & 11 & Lot 9 except S 15 ft of Lot 9, Block 5
Jefferson Place
DATE OF CONSTRUCTION: ca. 1947-1949

REQUEST: A request to find probable cause for a landmark designation to allow for funding of a historic structure assessment for 833 LaFarge Avenue.

VICINITY MAP:



SUMMARY:

The applicant requests finding probable cause for landmark designation to allow for funding of a historic structure assessment for 833 LaFarge Avenue. Under Resolution No. 17, Series 2019, a property may be eligible for reimbursement for a historic structure assessment (HSA) from the Historic Preservation Fund (HPF) if the Historic Preservation Commission finds *“probable cause to believe the building may be eligible for landmarking under the criteria in section 15.36.050 of the Louisville Municipal Code.”* Further, *“a finding of probable cause under this Section is solely for the purposes of action on the pre-landmarking building assessment grant request, and such finding shall not be binding upon the HPC, City Council or other party to a landmarking hearing.”*

HISTORICAL BACKGROUND:

Information from Gigi Yang and Bridget Bacon, Louisville Historical Museum

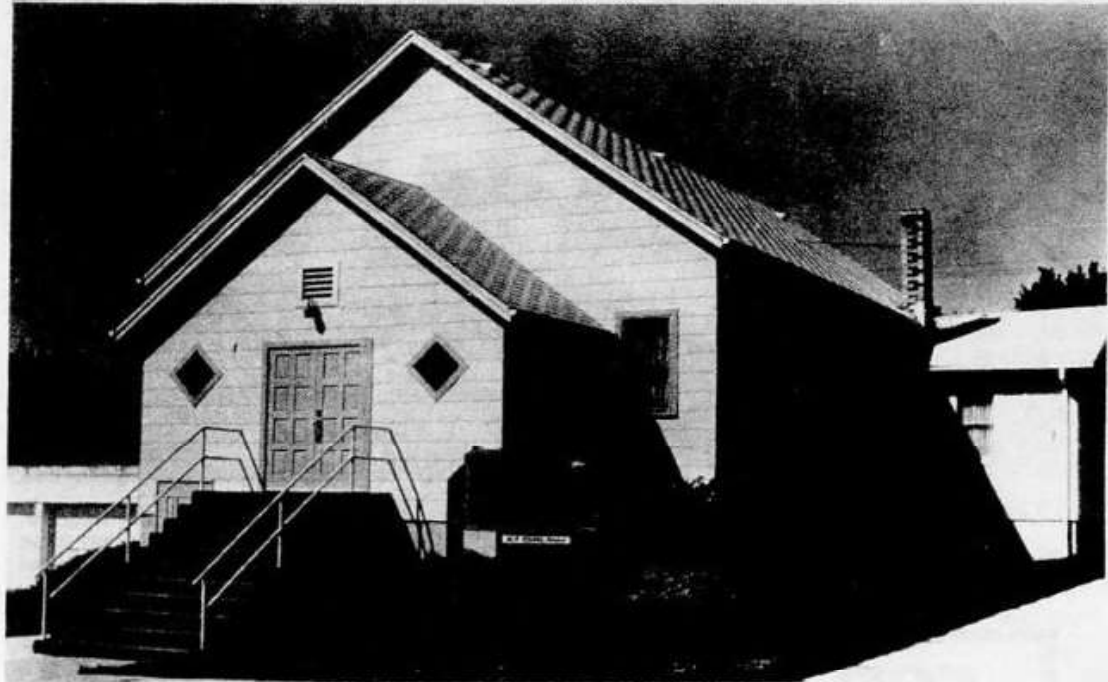
The history of 833 La Farge provides significant insight into the religious and community life of Louisville residents. This location was the original site for the St. Louis Catholic Church and later for the United Pentecostal Church of Louisville. Most notable is the construction of the Pentecostal (Apostolic) Church which was built completely by members of the Parish over several years.

The current property at 833 La Farge was built for the Apostolic Church between 1947-1949. However, the site was the original home of the St. Louis Catholic Church between 1884-1944. Louisville's original St. Louis Catholic Church was located on this parcel and contributed to the community life of this block of Jefferson Place on which so many Italian Catholic families lived. The new St. Louis Church was constructed and relocated to 902 Grant in 1940-42 after years of fundraising.

The old St. Louis Church at 833 LaFarge was torn down in 1945 and work began by the United Pentecostal Church to build a new building on the site from the ground up. Under the direction of pastor Mark Baughman, the building was primarily constructed by ten men and boys of the parish who volunteered their time and worked on the construction of the building in the evenings and on Saturdays. Women in the parish also worked to raise financial support. The first service was held in the basement in October of 1948. Construction on the upstairs began in 1949 and was completed in time for Christmas in 1950. The parish consisted of 42 members in 1948. According to a Louisville Times article from 1952, the building was 30' x 50' and included baptistry, Sunday School rooms, and a parsonage.

As late as 2000, the First Pentecostal Church was listed in the Louisville Times as a place of worship, however, information on exactly when it stopped being used for services could not be identified. The Apostolic, or Pentecostal, Church owned this property until 2004 when the property was sold to Forrestine C Sutton. In 2008, Louisville City Council approved an adaptive reuse of 833 La Farge as a private residence.

Please see the attached Social History Report for a more detailed history.



A new look

AMONG THE PROPERTY owners and businesses in the city sprucing up their lots this summer is the First

—PHOTO BY ANNE MARIE ROBERTS

Pentecostal Church at the corner of Walnut St. and LaFarge in Louisville. The church has added flowers of all shades to its lot, brightening the area.

Photo of 833 LaFarge Avenue as the First Pentecostal Church c. 1988.



Street view of 833 LaFarge Avenue (2023).



Street view of 833 LaFarge Avenue (2023).



Street view of 833 LaFarge Avenue from Walnut Street (2023).

ARCHITECTURAL INTEGRITY:

The Colorado Cultural Resource Survey of the property contains the following architectural description:

The foundation is a painted, board-formed concrete foundation. Roofing consists of tan-colored asphalt shingles and eaves are boxed. The south face of the roof is covered with solar collectors. Basement windows were replaced in 2011 with white vinyl-clad windows. The east entry has been

remodeled with the original entry doors moved back to the main façade. An unenclosed vestibule was created on the east side, finished with tan stucco. The vestibule has white vinyl-clad fixed arched windows with stucco surrounds. There are two arched windows each on the north and south sides of the vestibule; one on each side is an operable casement. There are two arched windows flanking the main entrance, facing east. The front porch has a gabled corrugated metal porch roof supported by unpainted timber framing. South of the entrance stairs, a new basement entrance has been created with a natural-finish wood door. The addition on the west side of the building has been remodeled or possibly rebuilt after 2000. Its gable roof was removed and replaced with a flat roof, and exterior siding replaced with stucco.

Building permit records support the above description and include records of re-shingling the gabled roof, enlargement of the basement egress and windows, and minor changes to the front railing. Aside from previous additions, the structure appears to have maintained much of the original building footprint.



Photo of 833 LaFarge Avenue from the 1973 Assessor's Card.

HISTORICAL SIGNIFICANCE ANALYSIS AND CRITERIA FOR FINDING PROBABLE CAUSE FOR LISTING AS LOCAL LANDMARK:

Under Resolution No. 17, Series 2019, a property may be eligible for reimbursement for a historic structure assessment (HSA) from the Historic Preservation Fund (HPF) if the Historic Preservation Commission finds “*Probable cause to believe the building may be eligible for landmarking under the criteria in section 15.36.050 of the Louisville Municipal Code.*” Further, “*A finding of probable cause under this Section is solely for the purposes of action on the pre-landmarking building assessment grant request, and such finding shall not be binding upon the HPC, City Council or other party to a landmarking hearing.*”

Staff analysis of the criteria is as follows:

CRITERIA	FINDINGS
<i>Landmarks must be at least 50 years old</i>	833 LaFarge was constructed ca. 1947, making it approximately 77 years old. Staff find the age of the structure meets the criteria.
<i>Landmarks must meet one or more of the criteria for architectural, social or geographic/environmental significance</i>	<u>Social Significance</u> - <i>Exemplifies cultural, political, economic, or social heritage of the community.</i> The social history of 833 LaFarge Avenue includes association with: - Religious community in Louisville. Staff find that the structure meets the cultural and social heritage of the community and there is probable cause to meet the criterion for social significance. <u>Architectural Significance</u> – <i>exemplifies specific elements of an architectural style or period.</i> - The building exhibits unusual architectural features for a residential property, including its large volume and tall flight of exterior stairs leading up to the front door. Staff find that the location of the structure does have probable cause to meet the criteria for architectural significance in its current form.
<i>Landmarks should meet one or more criteria for physical integrity</i>	Physical Integrity - <i>Shows character, interest or value as part of the development, heritage or cultural</i>

	<i>characteristics of the community, region, state, or nation.</i> • 833 LaFarge appears to have maintained its historic footprint from 1947. <i>Remains in its original location, has the same historic context after having been moved, or was moved more than 50 years ago.</i> • The house appears to have remained in the same location and setting since its construction. Staff find probable cause that the structure meets the criteria for physical integrity.
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PRESERVATION MASTER PLAN:

The [Preservation Master Plan](#) was adopted in 2015 and includes goals and objectives for the historic preservation program moving forward. A finding of probable cause would meet the following goals and objectives:

Goal #3: Encourage voluntary preservation of significant archaeological, historical, and architectural resources

Objective 3.3 - Encourage voluntary designation of eligible resources

Objective 3.4 - Promote alternatives to demolition of historic buildings

Goal #5: Continue leadership in preservation incentives and enhance customer service

Objective 5.1 - Promote availability of Historic Preservation Fund grants and other incentives

FISCAL IMPACT:

The finding of probable cause allows for a grant of up to \$4,000 for a Historic Structure Assessment from the Historic Preservation Fund.

RECOMMENDATION:

Staff recommends a finding of Probable Cause under the criteria in section 15.36.050 of the LMC, making the properties eligible for the cost of a historic structure assessment. The current maximum amount available for an HSA is \$4,000. Staff recommends the HPC approve a grant not to exceed \$4,000 to reimburse the costs of a historic structure assessment.

ATTACHMENTS:

1. Application
2. 833 LaFarge Avenue Social History

HISTORIC PRESERVATION APPLICATION

CASE NO. _____

PROPERTY INFORMATION

Address: 833 LAFARGE AVE

Date of construction (if known): 1950

Legal Description: Lot 11, 10, 9 Blk 5
EXCEPT S 15FT OF LOT 9
Subdivision JEFFERSON PLACE

(attach separate sheet if necessary)

Landmarked Name and Resolution (if
applicable): NA

APPLICANT INFORMATION

Name: ANDY JOHNSON

Company: DAJ DESIGN

Address: 922A MAIN ST, LOUISVILLE, CO 80027

Telephone: 303-527-1100

Email: ANDY@DAJDESIGN.COM

TYPE (S) OF APPLICATION

- ☒ Historic Structure Assessment
- ☐ Landmark
- ☐ Historic Preservation Fund Grant
- ☐ Historic Preservation Fund Loan
- ☐ Alteration Certificate
- ☐ Demolition Review
- ☐ Pre-filing Conference with Historic
Preservation Commission

PROJECT INFORMATION

Summary: REQUEST FOR HSA GRANT FUNDING

OWNER INFORMATION *(if not applicant)*

Name: Rónán Ó'Maitiú

Company: TWSS MAIN ST

Address: 833 LAFARGE AVE, LOUISVILLE, CO 80027

Telephone: 970-368-0059

Email: ronanomaitiu@gmail.com

SIGNATURES & DATE

Applicant Name (please print):

ANDY JOHNSON

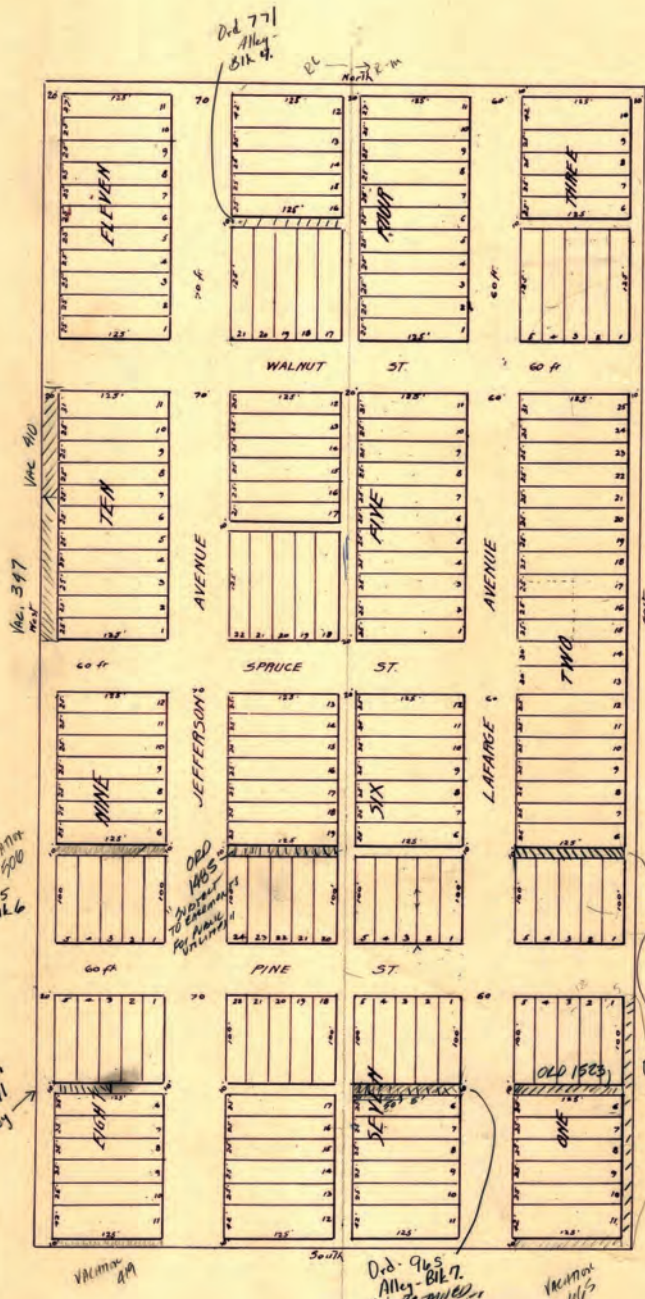
Applicant Signature:

 _____

Owner Name (please print):

Rónán Ó'Maitiú

Owner Signature:



PLAT OF THE TOWN
JEFFERSON PLACE
BOULDER COUNTY
SCALE: 100 FT. TO 1 INCH
Sept. 23, 1880

Louisville, Boulder Co., State of Colorado,
October 15th 1880.
I, Charles C. Welch, do hereby place on file and record in the records of Boulder County, Colorado, the map of a piece or parcel of land lying on the North-west one-fourth of the South-east one-fourth of section numbered eight (8) in Township numbered one (1) South of range number sixty-nine (69) West, 6th Meridian, state of Colorado, and also do further declare that the name of said piece or parcel of land as plotted and marked and surveyed of above-mentioned fully in and part, is Jefferson Place, and that I, Charles C. Welch do hereby place on record and dedicate to the use of the public the streets and alleys therein marked and laid out.
Witness my hand and seal this 15th day of October, A.D. 1880.
CHARLES C. WELCH

Louisville, Boulder County, State of Colorado.
DESCRIPTION
Pine Street, Spruce Street, Walnut Street and Larch Avenue are each sixty feet wide.
The alley on the west boundary is 20 feet wide.
The alley on the east boundary is 10 feet wide.
All other alleys are 10 feet and 10 feet wide as shown in plat.
Lots are numbered 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11.
Lots are all 100 feet and 125 feet long. Their front or width on the street are indicated in numbers.
Jefferson Avenue is seventy (70) feet wide.

[State of Colorado]
County of Jefferson
Personally appeared before me, Edward L. Berthoud, a notary public in and for Jefferson County, Colorado, Charles C. Welch, he declared to be the person who signed sealed and executed the within instrument as writing as his act and deed for the said and purposes therein set forth, and does hereby certify that he has divided said land and dedicated it for the use and in the manner as set forth in the description and plat herein attached.
Witness my official seal this twenty day of October, 1880.
EDWARD L. BERTHOUD



Drd. 1356; Series 2001
"EXEMPTED" RESERVED
FOR PUBLIC UTILITY."

Drd. 965
Ally-Bk 7
"NO REMAINED"
BROCKBELL
State of Colorado
County of Boulder
I hereby certify that this instrument was filed for record in my office this 27th day of Dec. A.D. 1880 at 12 o'clock m. and duly recorded in Book of Plats on page 280.
Notary
N. S. S. S.

JEFFERSON PLACE

COLORADO CULTURAL RESOURCE SURVEY

Architectural Inventory Form

(Page 1 of 5)

I. IDENTIFICATION

1. Resource number: **5BL7994**
2. Temporary number: **N/A**
3. County: **Boulder**
4. City: **Louisville**
5. Historic building name: **Apostolic Church**
6. Current building name: **First Pentecostal Church**
7. Building address: **833 LaFarge Avenue**
8. Owner name: **United Pentecostal Church of Louisville**
Owner address: **P.O. Box 126**
Louisville, CO 80027

II. GEOGRAPHIC INFORMATION

9. P.M. **6th** Township **1S** Range **69W**
SE of **NE** of **NW** of **SE** of section **8**
10. UTM reference
Zone **13**
Easting: **488640**
Northing: **4425180**
11. USGS quad name: **Louisville, Colorado**
Year: **1965 (Revised 1994) 7.5'**
12. Lot(s): **9-11** Block: **5**
Addition: **Jefferson Place** Year of Addition **1880**
13. Boundary Description and Justification: **This legally defined parcel encompasses but does not exceed the land historically associated with this property.**

22. Architectural style /
building type:

Other Style
(Wood-Frame Front
Gable Church)

Official Eligibility Determination

(OAHP use only)

- Date _____ Initials _____
- ☐ Determined Eligible - National Register
- ☐ Determined Not Eligible - National Register
- ☐ Determined Eligible - State Register
- ☐ Determined Not Eligible - State Register
- ☐ Needs Data
- ☐ Contributes to eligible National Register District
- ☐ Noncontributing to eligible National Register District

III. ARCHITECTURAL DESCRIPTION

14. Building plan (footprint, shape):
Rectangular Plan
15. Dimensions in feet: **2369 square feet**
16. Number of stories: **one**
17. Primary external wall material
Asbestos
18. Roof configuration (enter one):
Gabled Roof / Front Gabled Roof
19. Primary external roof material (enter one):
Asphalt Roof
20. Special features (enter all that apply):
Chimney
Porch



21. General Architectural Description

The First Pentecostal Church is a wood-frame building supported by a painted brown concrete foundation which ranges in height from 4½' above grade on the south elevation, to 3' above grade on the north elevation. A small planted grass front yard, landscaped with cedar bushes, is to the east of the church, while narrow side yards are to the north and south. An asphalt parking lot extends to the alley, behind the building to the west. The building's exterior walls are comprised of beige color undulated asbestos shingle siding, and the roof is a tall moderately-pitched front gable, with grey asphalt shingles and exposed rafter ends. A red and blond brick chimney is located on the ridge. Windows are primarily 1/1 double-hung sash with painted white wood frames and painted brown wood surrounds, and with exterior metal storm windows. The church also has multiple 2-light basement windows on the north and south elevations. Paired, painted brown, wood-paneled doors enter the church's gabled roof vestibule on the east elevation. The entry doors are flanked by diamond-shaped windows, and are approached by an 11-step concrete porch, with pipe railings flanking the stairs. Two gabled additions have been built onto the original structure: one addition is located at the west end of the north elevation; the other addition is to the west (rear) elevation. Both additions feature painted beige board-and-batten walls, and painted brown concrete block foundations. A wooden signboard located northeast of the building is inscribed: **First Pentecostal Church 833 LaFarge Ave.**

23. Landscape or setting special features:

The First Pentecostal Church is located at the southwest corner of LaFarge Avenue and Walnut Street, in Louisville's oldest residential neighborhood, to the west of downtown.

24. Associated buildings, features, or objects
n/a**IV. ARCHITECTURAL HISTORY****25. Date of Construction:**

Estimate

Actual 1947-1949

Source of information:

"First Pentecostal Church of Louisville"**26. Architect:**

n/a

Source of information:

n/a

27. Builder/ Contractor:

unknown

Source of information:

n/a

28. Original owner:

**Apostolic Church c/o Mark Baughman,
Pastor.**

Source of information:

"First Pentecostal Church of Louisville"**30. Original location: yes**

Moved no

Date of move(s) n/a

29. Construction History (include description and dates of major additions, alterations, or demolitions:

Construction of the Apostolic Church was begun in August 1947, and completed in the spring of 1949. In more recent years (in the late 1980s), gabled additions were built onto the west (rear) elevation, and onto the west end of the north elevation. In earlier years, Louisville's Catholic Church was located here. Built prior to 1893, the Catholic Church was razed in 1946 so that this church could be built.

V. HISTORICAL ASSOCIATIONS

31. Original use(s): **Religion / Church**

32. Intermediate use(s): **Religion / Church**

33. Current use(s): **Religion / Church**

34. Site type(s): **Church**

35. Historical Background

This lot was first developed prior to 1893, when Louisville's Catholic Church was built here. The Catholic Church was torn down in 1946 to make way for the present structure. According to oral sources, Joe Beauprez carried away at least some of the lumber from the old church and used it to build a barn or an outbuilding on his farm on North 95th Street, north of Louisville.

The Apostolic Church in Louisville was created in 1938, with services initially held in a small building on Main Street. After outgrowing this location, and one other location, Pastor Mark Baughman began to look for a site to build a new church. This property was purchased from Anthony LaSalle in 1946, and efforts to raze the old Catholic Church and build a new church soon began. Construction of this building was started on May 31, 1947. The first service was held in the basement in October 1948, and the interior work on the building was completed in April 1949. A dedication ceremony was held on July 6, 1952. The church's name was changed from the Apostolic Church to the First Pentecostal Church of Louisville, in 1974.

36. Sources of Information

(Boulder County) "Real Estate Appraisal Card - Urban Master", on file at the Boulder Carnegie Library.

Buffo, William (Bill, and Buffo, Betty. Oral interview with Carl McWilliams, May 5, 2000.

"First Pentecostal Church of Louisville." Manuscript on file at the Louisville Historical Museum, n.d. (circa 1988).

Polk's Boulder County Directory [generally published annually], Denver, Kansas City, and Salt Lake City: R.L. Polk and Company Publishers.

Polk's Longmont City Directory, [generally published annually], Denver, Kansas City, and Salt Lake City: R.L. Polk and Company, Publishers, 1966 - 1997.

Sanborn Fire Insurance Maps, dated August 1893, November 1900, and August 1908.

Architectural Inventory Form

(Page 4 of 5)

VI. SIGNIFICANCE

37. Local landmark designation:

Yes

No **xx**

Date of Designation: n/a

38. Applicable National Register Criteria

xx A. Associated with events that have made a significant contribution to the broad patterns of our history;

B. Associated with the lives of persons significant in our past;

C. Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or that possess high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction;

D. Has yielded, or may be likely to yield information important in history or prehistory;

Qualifies under Criteria Considerations A through G (see Manual).

Does not meet any of the above National Register criteria.

39. Area(s) of Significance:

Religion; Community Planning and Development

40. Period of Significance: 1947 - 1950

41. Level of Significance:

National:

State:

Local: **xx****42. Statement of Significance**

This church is historically significant for its representation of the theme of religion, as it relates to the development of Louisville's residential community in the mid-to-late twentieth century. The building's significance, in this regard, is probably not to the extent that would qualify it for individual listing in the National Register of Historic Places. The property, though, would be eligible for inclusion in the National Register, as a contributing resource with a proposed National Register historic district.

43. Assessment of historic physical integrity related to significance:

After it was constructed in 1948, two additions were built onto the original structure in the late 1980s. These additions are architecturally compatible with the original construction, in terms of their materials, massing, and scale. As a result, this building has retained sufficient historical integrity to qualify as a contributing resource within a potential National Register historic district.

VII. NATIONAL REGISTER ELIGIBILITY ASSESSMENT

44. National Register eligibility field assessment:

Eligible: xx

Not Eligible:

Need Data:

45. Is there National Register district potential?

Yes: xx

No:

Discuss: **Platted in 1880 as the Jefferson Place Addition, the neighborhood, along Lafarge and Jefferson Avenues, is Louisville's oldest residential neighborhood. Historic houses, and other buildings, in this area, which have retained a sufficient degree of historical integrity, could comprise a National Register historic district.**

If there is National Register district potential, is this building:

Contributing: xx

Noncontributing:

46. If the building is in an existing National Register district, is it:

Contributing: n/a

Noncontributing: n/a

VIII. RECORDING INFORMATION

47. Photograph numbers:

Roll: **CM-4**

Frame(s): **9-12**

Negatives filed at: **City of Louisville, Administration
749 Main Street
Louisville, Colorado 80027**

48. Report title: **"Old Town" Louisville Historical Building Survey**

49. Date: **March 27, 2000**

50. Recorder(s): **Carl McWilliams**

51. Organization: **Cultural Resource Historians**

52. Address: **1607 Dogwood Court
Fort Collins, Colorado 80525**

53. Phone number: **970/493-5270**

Walnut Street

Alley

833

825

821

817

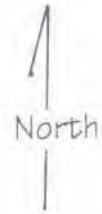
815

809

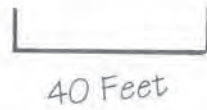
805

801

LaFarge Avenue



Approximate Scale



Spruce Street

. . .

SKETCH MAP

. . .

833 LaFarge Avenue, Louisville, Colorado

496411 SE
(ERIE)



833 LaFarge Avenue, Louisville, Colorado



STYLE NO. 48-09

833 LaFarge Avenue

ADO PT 23890 - (403) 886-3100



5BL7994 833 LaFarge Avenue, Louisville
First Pentecostal Church
25 April 2000
Negative located at: City of Louisville
749 Main Street, Louisville, CO 80027
Photographed by Carl McWilliams
Roll CM-4 Frame 10
View to NW

Resource Number: 5BL 7994
Temporary Resource Number: 157508414001

COLORADO CULTURAL RESOURCE SURVEY
OAH P1405
Cultural Resource Re-evaluation Form
Rev. 9/98

1. Resource Number: 5BL 7994 2. Temp. Resource Number: 157508414001
- 2A. Address: 833 La Farge Avenue, Louisville, CO 80027
Previous address prior to 1953: 827 and 829 La Farge. Louisville addresses were changed in 1939.
LaFarge is sometimes spelled La Farge.

3. Attachments
(check as many as apply)
☒ Photographs
☒ Site sketch map
☒ U.S.G.S. map photocopy
☐ Other _____
☐ Other _____
4. Official determination
(OAH P USE ONLY)
☐ Determined Eligible
☐ Determined Not Eligible
☐ Need Data
☐ Nominated
☐ Listed
☐ Contributing to N.R. District
☐ Not Contributing to N.R. Dist

5. Resource Name:
Historic Name: United Pentecostal Church
Current name: Sutton House

6. Purpose of this current site visit
(check as many as apply)
☐ Site is within a current project area
☒ Resurvey
☒ Update of previous site form(s)
☐ Surface collection
☐ Testing to determine eligibility
☐ Excavation
☐ Other _____

Describe This property is within the Jefferson Place Subdivision in Louisville, which is being evaluated for historic district potential in 2010 – 2012. This resurvey is part of the historic district evaluation process.



7. Previous Recordings: Architectural Inventory Form 2000, as part of "Old Town" Louisville Historical Building Survey by Carl McWilliams of Cultural Resource Historians.
8. Changes or Additions to Previous Descriptions:

Construction History:

The building's use has been changed from a church to its current use as a single-family residence. The addition to the rear (west) was built in 1983. A handicap-accessible entrance was constructed in 1983. The front porch and exterior stairs were remodeled in 2005. Solar panels were added to the roof in 2010.

The architectural description is modified as follows. The foundation is a painted, board-formed concrete foundation. The front yard is landscaped with maple trees planted in 2010. Roofing

consists of tan-colored asphalt shingles and eaves are boxed. The south face of the roof is covered with solar collectors. Basement windows were replaced in 2011 with white vinyl-clad windows. The east entry has been remodeled with the original entry doors moved back to the main façade. An unenclosed vestibule was created on the east side, finished with tan stucco. The vestibule has white vinyl-clad fixed arched windows with stucco surrounds. There are two arched windows each on the north and south sides of the vestibule; one on each side is an operable casement. There are two arched windows flanking the main entrance, facing east. The front porch has a gabled corrugated metal porch roof supported by unpainted timber framing. South of the entrance stairs, a new basement entrance has been created with a natural-finish wood door. The addition on the west side of the building has been remodeled or possibly rebuilt after 2000. Its gable roof was removed and replaced with a flat roof, and exterior siding replaced with stucco.

Landscape or special setting description: 833 LaFarge is unique in Jefferson Place. The building was constructed on a large corner lot as a church but it has been converted to a single-family residence. It is unusual for its large volume and tall flight of exterior stairs leading up to the front entrance. The front and side yards are grassy and unenclosed. The large rear yard is enclosed with a six foot wood privacy fence.

9. Changes in Condition: None.
10. Changes to Location or Size Information: None.
11. Changes in Ownership: Boulder County Assessor records Indicate the owner lives at 2335 Mt. Hood Ct, Lacy, WA 98305 .
12. Other Changes, Additions, or Observations:

Further research has yielded new information about the history of 833 La Farge.

This building was constructed to be, and was used as, a church. It is now a private residence. The property was previously the original site of the St. Louis Catholic Church building (now gone). These two churches were two out of three churches located on this particular block of Jefferson Place, the third being the Pillar of Fire Church located across the street at 804 Walnut (5BL11308).

Louisville's original St. Louis Catholic Church, on which construction was finished in 1884, was located on this parcel and obviously contributed to the community life of this block of Jefferson Place on which so many Italian Catholic families lived. The Catholic Church building on this site served Louisville's many Catholic immigrants, Italian and otherwise, for nearly sixty years. In the 1930s, efforts were being made to raise money to fund a new Catholic Church in Louisville, and the new St. Louis Church at 902 Grant was constructed in 1940-41 and dedicated in 1942.

This property, when it was used for the Catholic Church building, consisted of Lots 9, 10, and 11 of Block 5. In 1943, Santino and Mary Biella, owners of 825 La Farge (5BL7993) just to the south, purchased part of Lot 9 from the Roman Catholic Congregation of St. Louis to add to their property. Today, this is in the vicinity of the driveway and garage at 825 La Farge.

The following photos from the Louisville Historical Museum show the Church exterior (undated) and the interior (circa early 1940s, after the Catholic Church vacated it):

Resource Number: 5BL 7994
Temporary Resource Number: 157508414001



Resource Number: 5BL 7994
Temporary Resource Number: 157508414001

The old Catholic Church building at this location was torn down and the Church congregation sold the property to Anthony and Amelia La Salle in 1945, who then sold the property to Mark Baughman for the construction of an Apostolic Church in 1946. That Church congregation had been meeting in other places in Louisville since 1938. By August 1946, the legal owner was the "United Pentecostal Church."

Boulder County gives the date of construction for this building as 1950. However, the author of the historical survey on this property written in 2000 found that construction took place between 1947 and 1949.

Other addresses used for the Church over the years were 829 La Farge (in the 1953 Louisville directory) and 827 La Farge (in the 1956 directory). In 1956, the pastor was Kenneth King, and in 1960, the pastor was Carl Mullenix.

In 2002, the property was transferred from the "United Pentecostal Church of Louisville" to the "First Pentecostal Church of Louisville."

The Apostolic, or Pentecostal, Church owned this property until 2004, but information on exactly when it stopped being used for services and when it became a private residence could not be located.

In 2004, the Church sold the property to the current owner, Forrestine Sutton.

Sources of Information

Boulder County "Real Estate Appraisal Card – Urban Master," on file at the Carnegie Branch Library for Local History in Boulder, Colorado.

Boulder County Clerk & Recorder's Office and Assessor's Office public records, accessed through <http://recorder.bouldercounty.org>.

Directories of Louisville residents and businesses on file at the Louisville Historical Museum.

Census records and other records accessed through www.ancestry.com.

Drumm's Wall Map of Louisville, Colorado, 1909

Sanborn Insurance Maps for Louisville, Colorado, 1893, 1900, and 1908

Archival materials on file at the Louisville Historical Museum.

13. National Register Eligibility Assessment:

Eligible _____ Not eligible X Need data _____

Explain: The property lacks sufficient integrity and significance to be individually eligible to the National Register. The building has integrity of location and setting, but it lacks integrity of design, materials, workmanship, feeling and association.

13A. Colorado State Register: Eligible _____ Not Eligible X

13B. Louisville Local Landmark: Eligible _____ Not Eligible X

13C. Historic District Potential: Jefferson Place is eligible as a State Register and local historic district. There is potential for a National Register historic district. This property is non-contributing.

Discuss: This building is being recorded as part of a 2010-2011 intensive-level historical and architectural survey of Jefferson Place, Louisville's first residential subdivision, platted in 1880. The purpose of the survey is to determine if there is potential for National Register, State Register or local historic districts. Jefferson Place

is eligible as a State Register historic district under Criterion A, Ethnic Heritage, European, for its association with European immigrants who first lived here and whose descendants continued to live here for over fifty years. The period of significance for the State Register historic district is 1881 – 1980. Jefferson Place is potentially eligible as a National Register historic district under Criterion A, Ethnic Heritage, European. However it needs data to determine dates of some modifications, and to more definitely establish the significant impacts of various European ethnic groups on the local culture of Louisville. The period of significance of a National Register district is 1881 – 1963. Jefferson Place is eligible as a local Louisville historic district under local Criterion B, Social, as it exemplifies the cultural and social heritage of the community.

European immigrant families flocked to Colorado coal mining communities, including Louisville, in the late nineteenth and early twentieth centuries in search of economic opportunities they could not find in their own countries. Louisville's Welch Coal Mine, along with other mines in the area, recruited skilled workers from western Europe. In the early years before 1900, most of the miners who lived in Jefferson Place came from English-speaking countries.

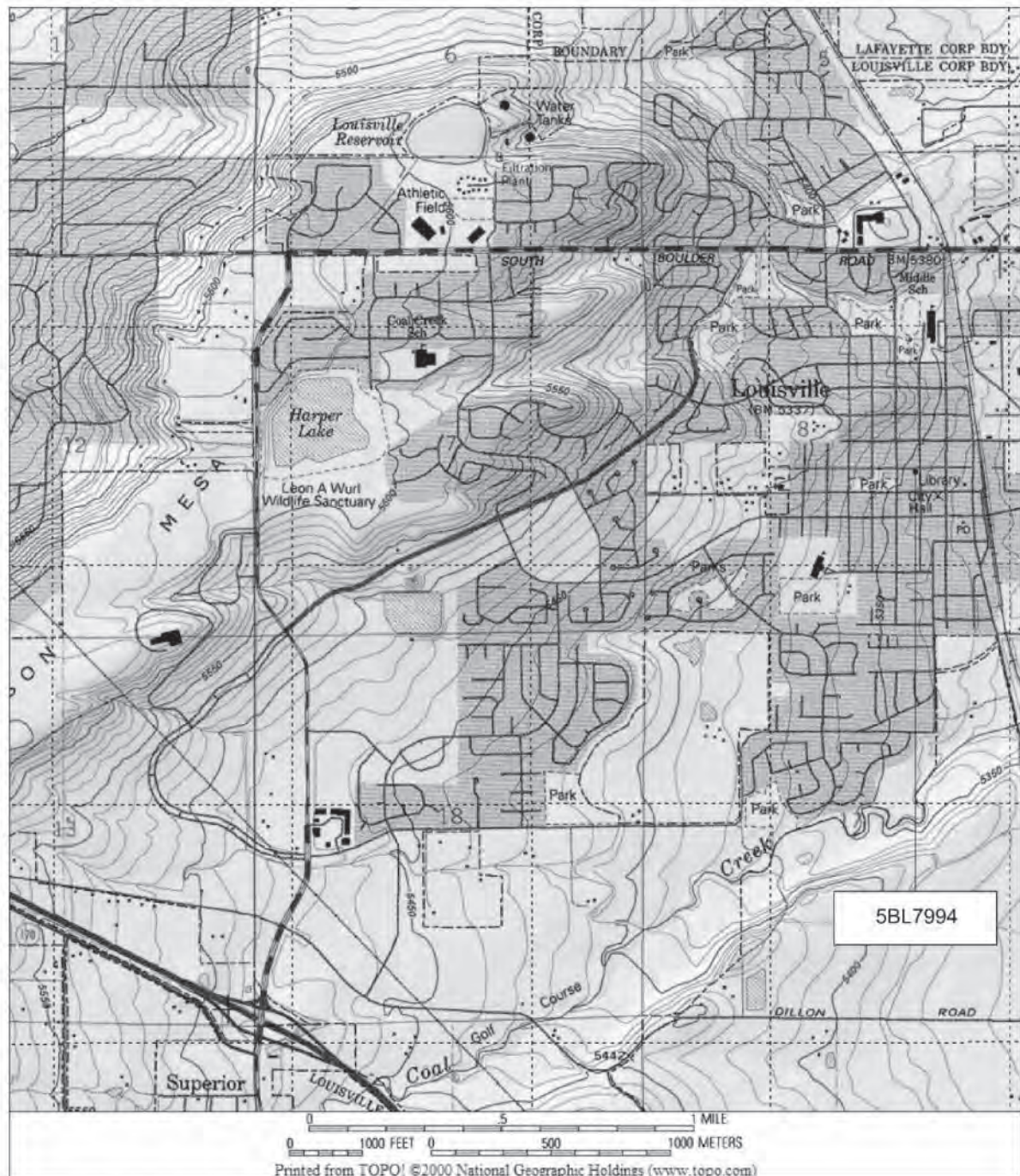
Immigrants from England brought a strong tradition and expertise in coal mining. The English are widely credited with developing the techniques of coal mining that were used locally, and they taught these techniques to other miners. The British mining culture was instilled in the early Colorado coal mines. English immigrants also brought expertise in other necessary skills such as blacksmithing and chain forging.

Later Jefferson Place residents arrived from Italy, France, Austria, Germany, Hungary, Slovakia, and Slovenia, among other places. The Italians eventually became the largest single ethnic group in Jefferson Place and in Louisville as a whole. About one-third of the houses in Jefferson Place were owned and occupied by Italian immigrants. Italian immigrants left their mark on Louisville in the food and beverage industries. To the present day, downtown Louisville is known throughout the Front Range for its tradition of Italian restaurants. The impacts of the heritage and customs of the other European ethnic groups could be significant, but are not well documented and need further investigation.

14. Management Recommendations: No further action. The property is not eligible for the National or State Registers, nor is it eligible to be a Louisville Landmark.
15. Photograph Types and Numbers: 5BL7994_833LaFarge_01 to 5BL7994_833LaFarge_04.
16. Artifact and Field Documentation Storage Location: Electronic files of forms with embedded photos and maps at Colorado Historical Society. Electronic files of forms, and electronic files of photographs at City of Louisville, Colorado, Planning Department.
17. Report Title: Historical and Architectural Survey of Jefferson Place Subdivision, Louisville, Colorado
18. Recorder(s): Kathy and Leonard Lingo, and Bridget Bacon, City of Louisville 19. Date(s): 2013
20. Recorder Affiliation: Avenue L Architects, 3457 Ringsby Court Suite 317, Denver CO 80216 (303) 290-9930

Colorado Historical Society, Office of Archaeology & Historic Preservation
1200 Broadway, Denver, CO 80203
303-866-3395

Temporary Resource Number: 157508414001

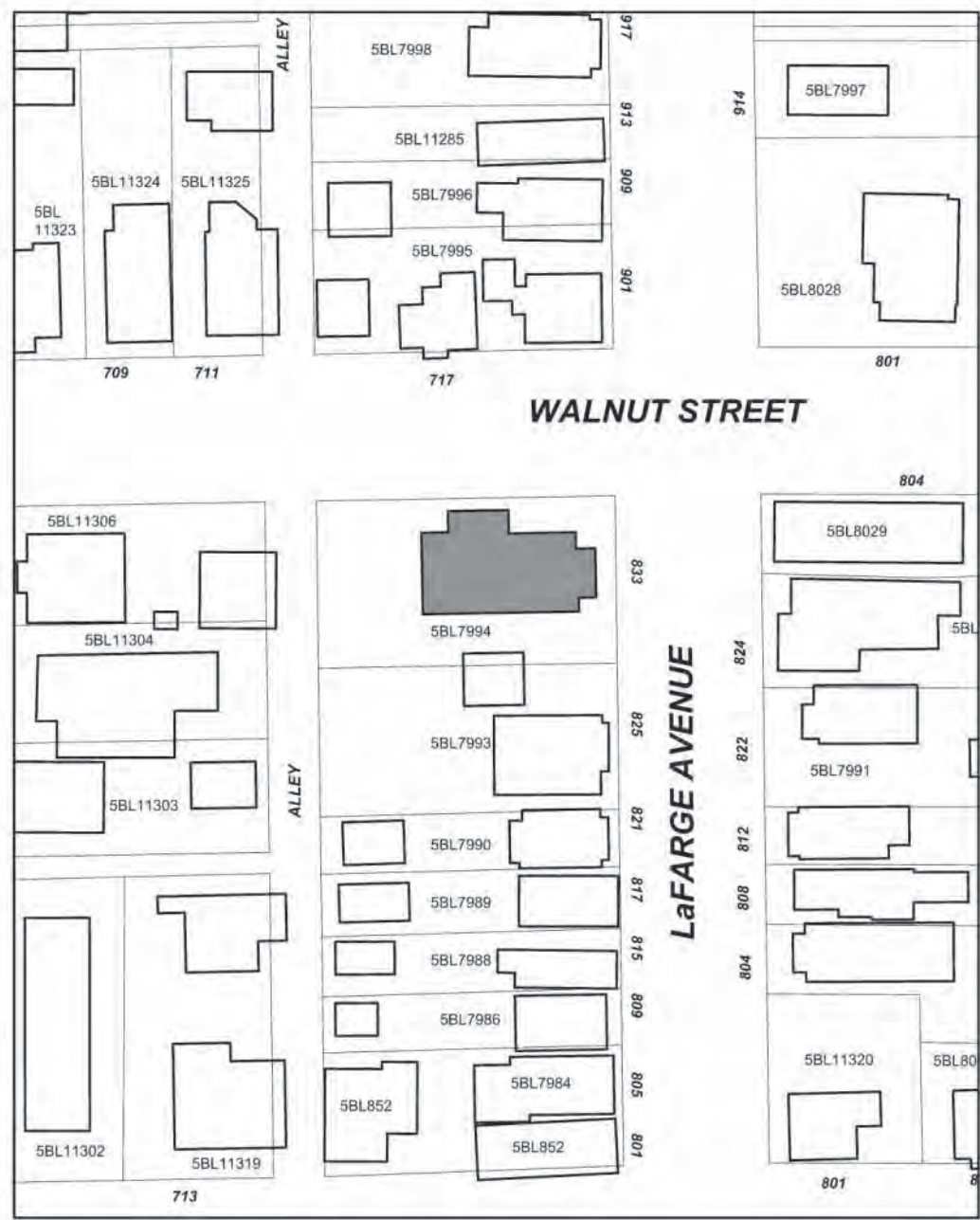
Architectural Inventory Form
USGS Location Map

SOURCE: Extract of Louisville, Colorado
USGS map, 1994.



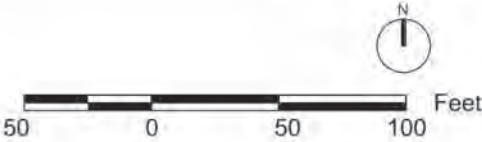
Resource Number: 5BL7994

Architectural Inventory Form
Site Location Map



833 Lafarge Avenue, Louisville, Colorado

SOURCE: City of Louisville, Colorado
GIS Files.



Resource Number: 5BL 7994
Temporary Resource Number: 157508414001



5BL7994_833LaFarge_01 east



5BL7994_833LaFarge_02 southeast

Resource Number: 5BL 7994
Temporary Resource Number: 157508414001



5BL7994_833LaFarge_03 north



Resource Number: 5BL 7994
Temporary Resource Number: 157508414001

5BL7994_833LaFarge_04 northwest



833 La Farge. Boulder County Real Estate appraisal card, no date.

CITY OF LOUISVILLE

BUILDING PERMIT

Job Address: 833 LAFARGE AV LSVL

Permit No: B10-0151

Parcel #: 008443001

Status: ISSUED

Issued: 06/17/2010

Owner: DAVE SUTTON

Expires: 09/15/2010

Contractor: VIKING ROOFING INC

Description of work:
roof: GAF Elk 30 yr. HD

Total Valuation: \$7,209.00

Item#	Description	Account Code	Fee	Payments
1000	BUILDING FEES	010-001-42200-00(1	178.00	178.00
2150	BLDR CO USE TAX	010-000-20170-(9)	23.43	23.43
TOTAL FEES PAID			\$201.43	

MUST BE POSTED

Caution, Before Digging Call 1-800-922-1987 For Utility Locations
Call 303-335-4583 For Inspections-Inspections Must Be Called By 3:00 P.M.
For Next Business Day Inspection

NOTE: Louisville does require asphalt shingles to have a 90 mph wind warranty.
Required Inspections:

Mid-roof: _____
Approved By/Date

Comment/Conditions

Final: _____
Approved By/Date

Comment/Conditions

NOTICE

This permit becomes null and void if work or construction authorized is not commenced within 90 days, or if construction or work is suspended or abandoned for a period of 90 days at any time after work is commenced. When required, a Certification of Occupancy must be obtained prior to structure's or areas being occupied. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or performance of construction.

Signature of Applicant



Date 6/17/10

(303) 335-4588 ext.

CITY OF LOUISVILLE
BUILDING SAFETY DIVISION
749 MAIN STREET
LOUISVILLE, COLORADO 80027

Permit Number: B10-0151
Address: 833 LAFARGE AV LSVL
Receipt No: 000048066
Total Payment Amount: \$201.43 06/17/2010 13:27
Notation: viking roofing

ITEM#	DESCRIPTION	ACCOUNT CODE	PAYMENTS
1000	BUILDING FEES	010-001-42200-00(1)	178.00
2150	BLDR CO USE TAX	010-000-20170-(9)	23.43



City of Louisville

749 Main Street • Louisville, CO 80027

• FIELD INSPECTION REPORT •

(303) 335-4584

• Fax(303) 335-4588

pm

WHEN WANTED	DATE 06/30/2010	TIME	OWNER DAVE SUTTON		
PROJECT roof GAF Elk 30 yr HD			LOCATION 833 LAFARGE AV LSVL		
ACTIVITY B10-0151	PHONE 303-994-9138	CONTRACTOR Cody			
BUILDING		ELECTRICAL	MECHANICAL	PLUMBING	SPECIAL
FOOTING		CONST METER	VENT	OUTSIDE WATER	EX LATH
FOUNDATION		ROUGH-IN	COM HOOD	BUILDING SEWER	JOB CHECK
H2O	P DRAIN	SERVICE	DUCT WORK	UNDERGROUND	CONSULTATION
FRAME		UNDERGROUND	INSIDE GAS	DWV	COMPLAINT
INSULATION				INSIDE WATER	LOT DRAINAGE
DRYWALL				WINDOW	LANDSCAPE
FINAL	X	FINAL	FINAL	FINAL	OTHER DPT
1. APPROVED 2. PARTIAL 3. REJECT		TIME/DATE MADE 6-30-10		INSP. INITIAL	
COMMENTS					
NOTICE					
Permit final					
NOTE: It is the contractor's responsibility to call for all meter releases after inspection approval has been received. Call xcel - 938-2233 & WATER DEPT. 335-4750.					
ELECTRIC METER RELEASE.		☐ HEAT	☐ CONSTRUCTION	☐ FINAL	DATE TIME
GAS METER RELEASED		Person contacted		DATE	TIME :
WEATHER		SUPERVISOR SIGN		REINSPECTION FEE REQUIRED	

CITY OF LOUISVILLE

BUILDING PERMIT

Final ✓

Job Address: 833 LAFARGE AV LSVL

Permit No: B10-0151

Parcel #: 008443001

Status: ISSUED

Owner: DAVE SUTTON

Issued: 06/17/2010

Contractor: VIKING ROOFING INC

Expires: 09/15/2010

Description of work:

roof: GAF Elk 30 yr. HD

Total Valuation: \$7,209.00

Item#	Description	Account Code	Fee	Payments
1000	BUILDING FEES	010-001-42200-00 (1	178.00	178.00
2150	BLDR CO USE TAX	010-000-20170-(9)	23.43	23.43
TOTAL FEES PAID			\$201.43	

MUST BE POSTED

Caution, Before Digging Call 1-800-922-1987 For Utility Locations
Call 303-335-4583 For Inspections-Inspections Must Be Called By 3:00 P.M.
For Next Business Day Inspection

NOTE: Louisville does require asphalt shingles to have a 90 mph wind warranty.

Required Inspections:

Mid-roof:

Approved By/Date

Comment/Conditions

Final:

Approved By/Date

Comment/Conditions

NOTICE

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Signature of Applicant

Date

6/17/10



CITY OF LOUISVILLE

BUILDING PERMIT

Job Address: 833 LAFARGE AV LSVL

Permit No: B10-0211

Parcel #: 008443001

Status: ISSUED

Issued: 08/31/2010

Owner: DAVE SUTTON

Expires: 11/29/2010

Contractor:

Description of work.

fence

Total Valuation: \$1,200 00

tems#	Description	Account Code	Fee	Payments
1000	BUILDING FEES	010-001-42200-00(1	82.00	82.00
2150	BLDR CO USE TAX	010-000-20170-(9)	3.90	3.90
			TOTAL FEES PAID \$85.90	

MUST BE POSTED

Caution, Before Digging Call 1-800-922-1987 For Utility Locations
Call 303-335-4583 For Inspections-Inspections Must Be Called By 3:00 P.M.
For Next Business Day Inspection

Required Inspections:

Final:

Approved By/Date

Comment/Conditions

NOTICE

This permit becomes null and void if work or construction authorized is not commenced within 90 days, or if construction or work is suspended or abandoned for a period of 90 days at any time after work is commenced. When required, a Certification of Occupancy must be obtained prior to structure's or areas being occupied. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or performance of construction.

Signature of Applicant

Date 8.31.10



CITY OF LOUISVILLE- BUILDING SAFETY DIVISION RESIDENTIAL PERMIT APPLICATION

ADDRESS OF JOB: 833 La Forge Ave **PERMIT NUMBER:** B10-0211
LEGAL DESCRIPTION LOT 10, 11, 9.. BLOCK 5 SUBDIVISION Jefferson Place
CLASS OF WORK NEW (☒) ADDITION () ALTERATION () REPAIR () MOVE () DEMOLITION ()
BUILDING OWNER Dave Sutton **ADDRESS** 833 La Forge **PHONE:**
CITY Louisville **ZIP** 80027
CONTRACTOR NAME Dave Sutton **LOUISVILLE LICENSE #** **CITY** **PHONE**
ADDRESS **ZIP**
JOB SUPERVISOR **MOBILE/PAGER#** **JOBSITE PHONE #**
ARCHITECT/ENGINEER OF RECORD **COLO LICENSE #** **PHONE**
NAME **ADDRESS** **CITY** **ZIP**

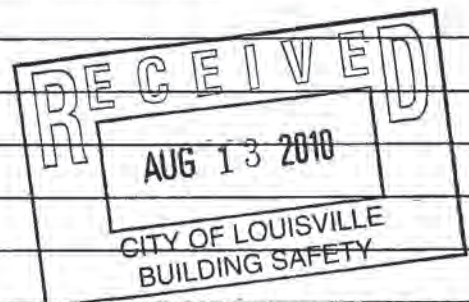
DESCRIPTION OF WORK: FILL IN ALL APPLICABLE BOXES PLEASE INCLUDE SQ. FOOTAGE
1st FLOOR AREA **2nd FLOOR AREA** **GARAGE AREA** **OTHER**
BASEMENT AREA **UNFINISHED** **SPRINKLED AREA** **A/C AREA**

TOTAL LOT AREA (SQ.FT): **ROOF COVERING:** **EXTERIOR WALL COVERING:**
CONSTRUCTION TYPE: **OCCUPANCY:** **TYPE OF FOUNDATIONS:** **TOTAL UNITS:**
ELECTRICAL PERMIT INFORMATION: PERMIT TO INCLUDE ELECTRICAL WORK () NOT APPLICABLE ()
CONSTRUCTION **SERVICE ENTRANCE** **SIGNS** **ELECTRICAL APPLIANCE** **FIRE DETECTION SYSTEM**
METER SIZE **SIZE** **TYPE** **TYPE** **TYPE**
PLUMBING PERMIT INFORMATION: PERMIT TO INCLUDE PLUMBING WORK () NOT APPLICABLE ()
BACKFLOW DEVICE **WATER HEATER** **FIRE SPRINKLER SYSTEM** **WATER REPAIR** **SEWER REPAIR**
MAKE/MODEL **BTU INPUT** **AREA**
MECHANICAL PERMIT INFORMATION: PERMIT TO INCLUDE MECHANICAL WORK () NOT APPLICABLE ()
FURNACE TYPE **OTHER GAS APPLIANCES** **GAS PIPE SCHEMATIC ATTACHED**
BTU INPUT **TYPE** **SIZE** **LENGTH**

WORK DESCRIPTION/REMARKS 6 Foot High Cedar Fence in back yard with a gate area (2 six foot gates)

VALUATION \$ 1200.00 **TOTAL PERMIT FEE \$** 85.90
INCLUDE LABOR & MATERIALS (BUILDING DEPARTMENT WILL CALCULATE)

APPROVALS	SIGNATURES	DATE	COMMENTS
BUILDING PLAN CHECK	<u>Rd</u>	<u>8.20.10</u>	
ELECTRICAL PLAN CHECK			
ZONING PLAN CHECK	<u>G.7.2</u>	<u>8.16.10</u>	
FIRE DEPT PLAN CHECK			
ELEVATOR REVIEW			



THIS APPLICATION BECOMES NULL AND VOID IF PERMIT IS NOT ISSUED WITHIN 180 DAYS OF APPLICATION DATE. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS AND ORDINANCES GOVERNING THIS TYPE OF WORK, WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY STATE OR LOCAL REGULATING CONSTRUCTION OR PERFORMANCE OF CONSTRUCTION. PERMIT AND TAP FEES ARE SUBJECT TO CHANGE AT THE BEGINNING OF EACH CALENDAR YEAR. NOTE: A SEPARATE PERMIT IS REQUIRED FOR SIGNS, FENCES, IRRIGATION SYSTEMS & SWIMMING POOLS UNLESS NOTED ON THIS APPLICATION. FEES ARE ASSESSED AT TIME OF PERMIT ISSUANCE AND ARE SUBJECT TO CITY ORDINANCE IN EFFECT AT THAT TIME.

SIGNATURE OF APPLICANT/OWNER REPRESENTATIVE [Signature] **DATE** 8.13.10 **PHONE** 303-641-3009
PRINTED NAME Dave Sutton **APPLICANT'S ADDRESS** 833 La Forge Ave

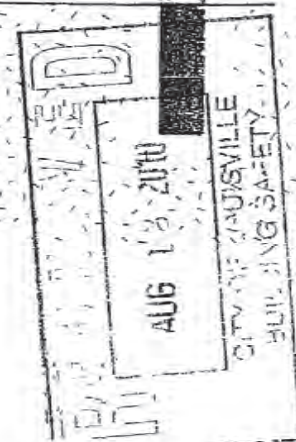
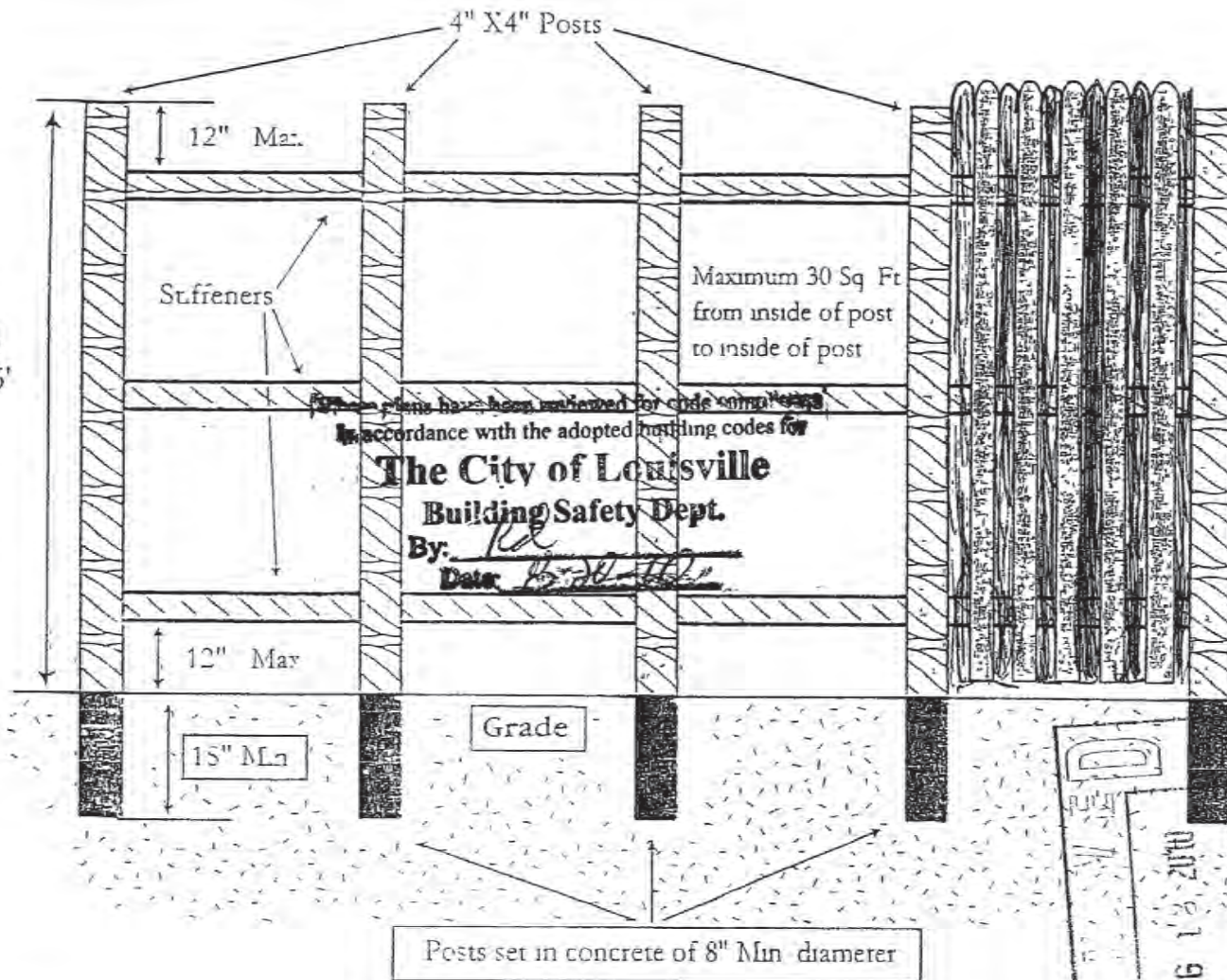
NOTE: FOR A MULTIPLE TRADE PERMIT THE SUB-CONTRACTOR SIGNATURE FORM WITH ORIGINAL SIGNATURES IS REQUIRED PRIOR TO ISSUANCE OF THE PERMIT.

CITY OF LOUISVILLE
BUILDING SAFETY DIVISION
749 MAIN STREET
LOUISVILLE, COLORADO 80027

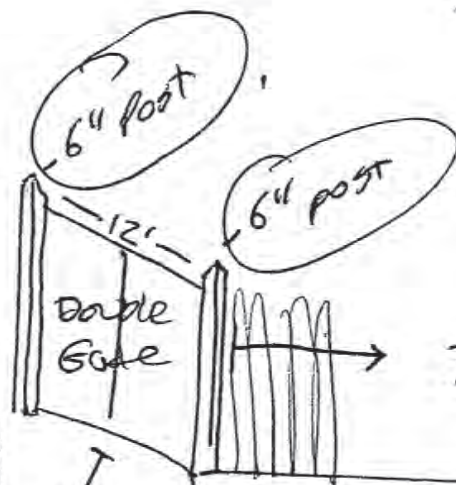
Permit Number: B10-0211
Address: 833 LAFARGE AV LSVL
Receipt No: 000048785
Total Payment Amount: \$85.90 08/31/2010 10:20
Notation: Dave Sutton

ITEM#	DESCRIPTION	ACCOUNT CODE	PAYMENTS
1000	BUILDING FEES	010-001-42200-00(1)	82.00
2150	BLDR CO USE TAX	010-000-20170-(9)	3.90

See Site
Vision
Restrictions
on plot
plan
page 3

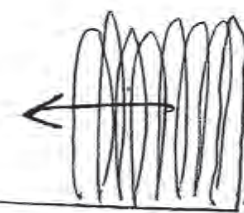


BUILDING DEPT. COPY



6' MAX

36' of Cedar Fence, 4" posts
Privacy style

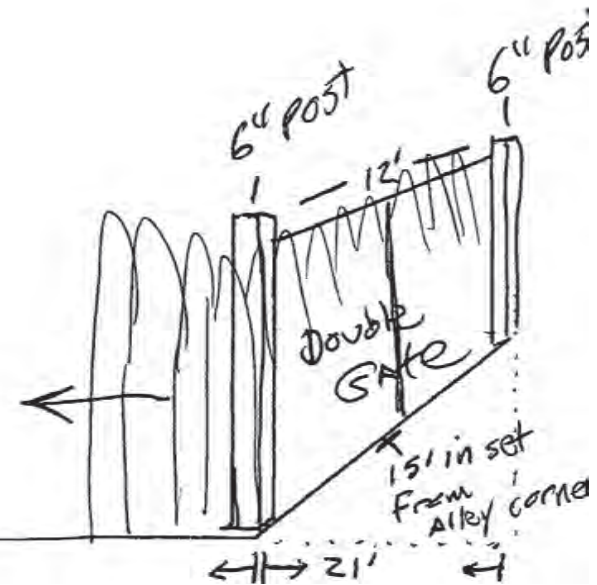
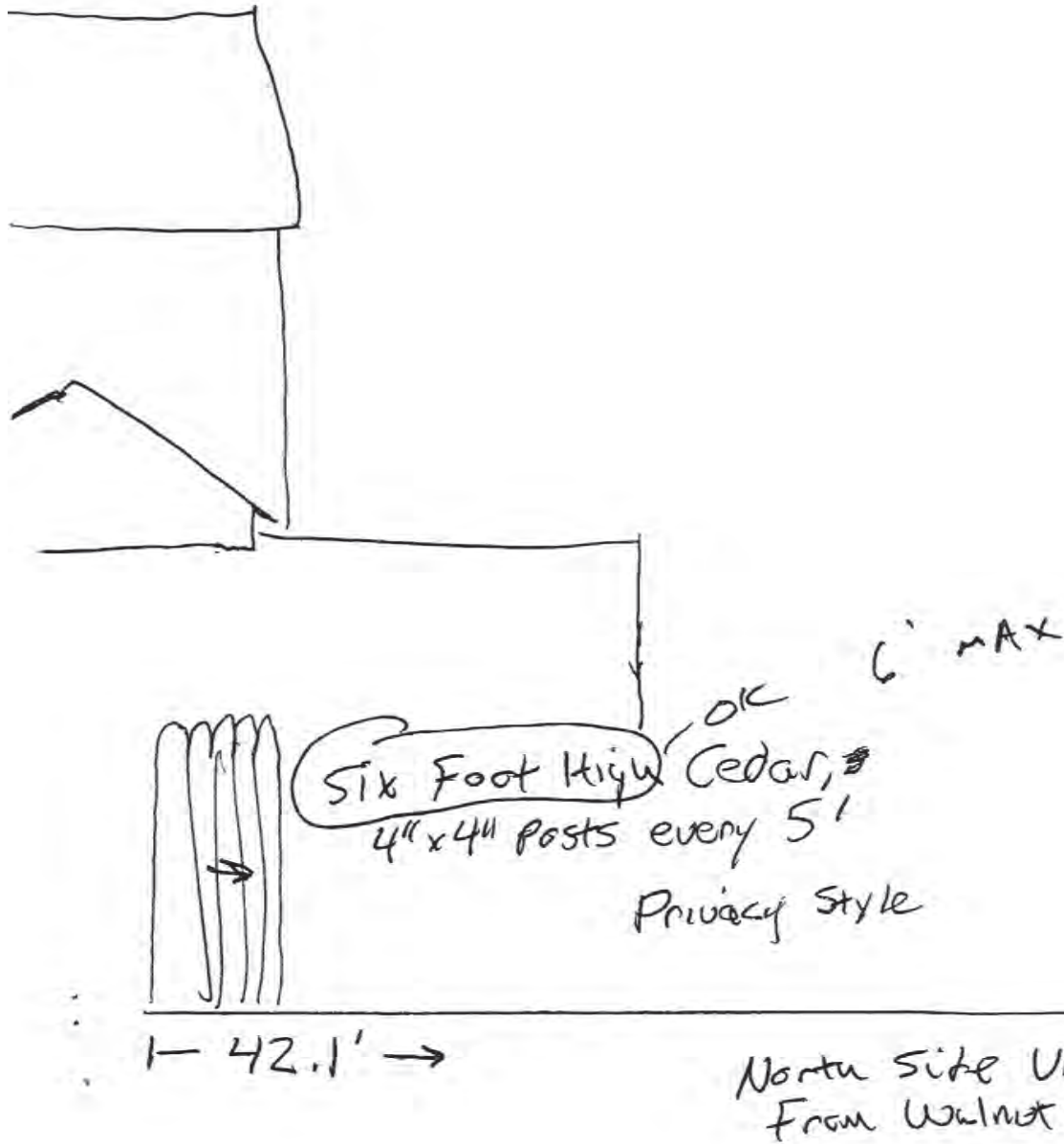
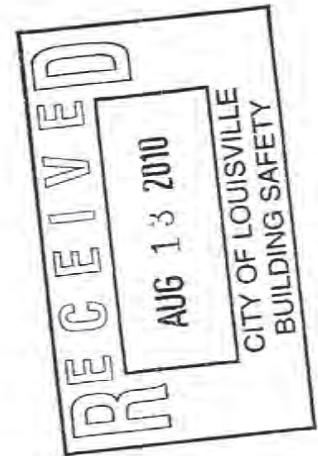


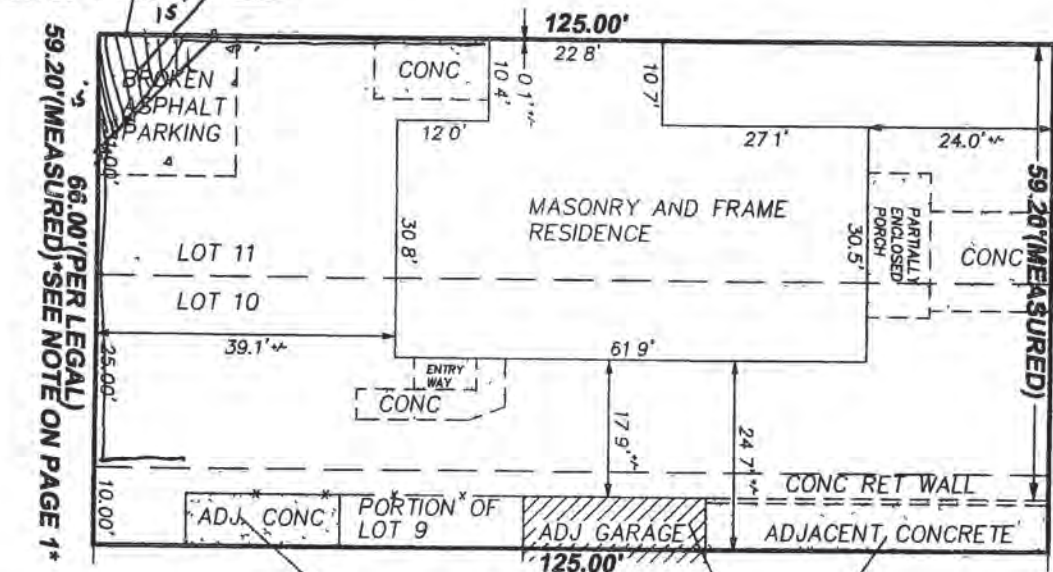
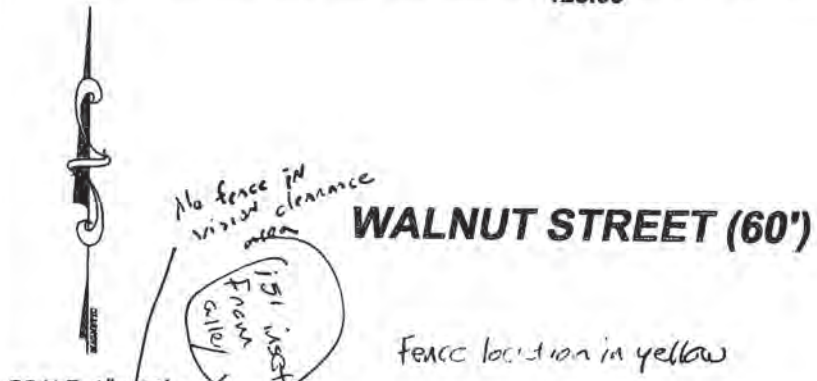
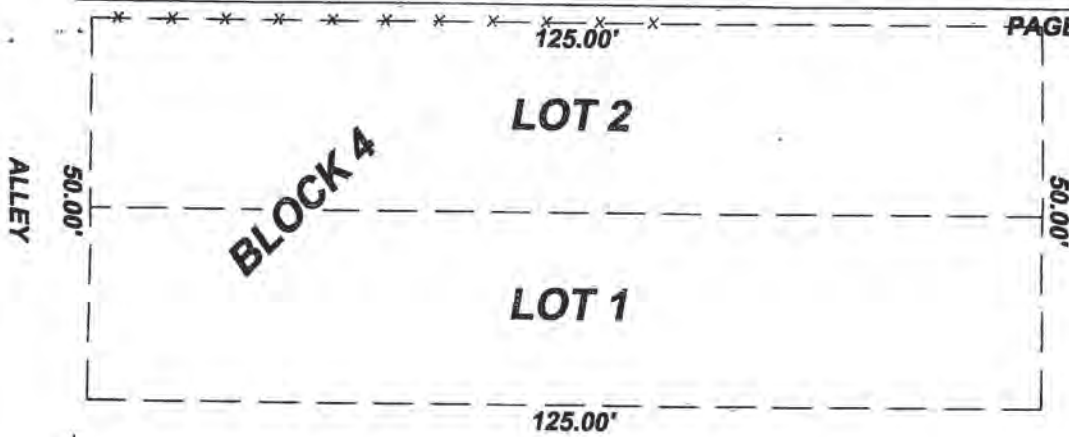
10' N. of property line

West Side View From Alley

West
St

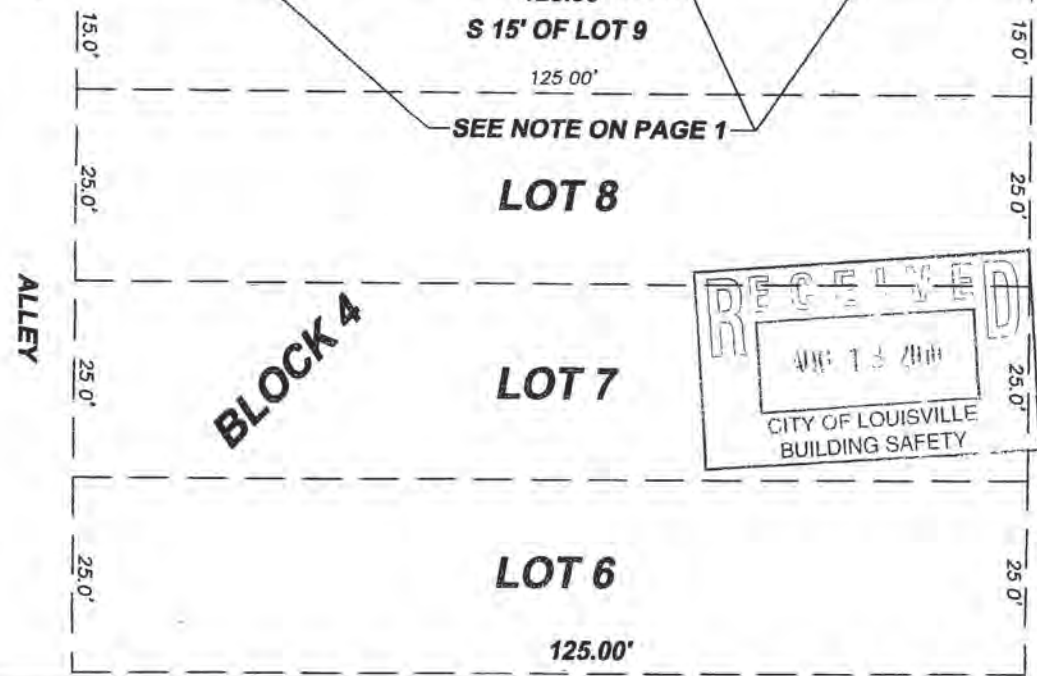
15' inset from alley corner





59.20' (MEASURED)* SEE NOTE ON PAGE 1*
66.00' (PER LEGAL)

833 LAFARGE AVENUE (60')





City of Louisville
749 Main Street • Louisville, CO 80027

• FIELD INSPECTION REPORT •
(303) 335-4584 • Fax(303) 335-4588

✓

WHEN WANTED	DATE 01/11/2011	TIME	OWNER DAVE SUTTON		
PROJECT fence			LOCATION 833 LAFARGE AV LSVL		
ACTIVITY B10-0211	PHONE		CONTRACTOR		
BUILDING		ELECTRICAL	MECHANICAL	PLUMBING	SPECIAL
FOOTING		CONST METER		OUTSIDE WATER	EX LATH
FOUNDATION		ROUGH-IN		BUILDING SEWER	JOB CHECK
H2O	P DRAIN	SERVICE		UNDERGROUND	CONSULTATION
FRAME		UNDERGROUND		DWV	COMPLAINT
INSULATION				INSIDE WATER	LOT DRAINAGE
DRYWALL				WINDOW	LANDSCAPE
FINAL	X	FINAL	FINAL	FINAL	OTHER DPT

1. APPROVED 2. PARTIAL 3. REJECT	TIME/DATE MADE 1-11-11	INSP. INITIAL
----------------------------------	------------------------	---------------

COMMENTS

fence

NOTICE

Permit Final

NOTE: It is the contractor's responsibility to call for all meter releases after inspection approval has been received. Call x-cal - 938-2233 & WATER DEPT. 335-4750.

ELECTRIC METER RELEASE	☐ HEAT	☐ CONSTRUCTION	☐ FINAL	DATE	TIME
GAS METER RELEASED. Person contacted				DATE	TIME
WEATHER		SUPERVISOR SIGN		REINSPECTION FEE REQUIRED	



CITY OF LOUISVILLE

Final
✓**BUILDING PERMIT**

Job Address: 833 LAFARGE AV LSVL

Permit No: B10-0211

Parcel #: 008443001

Status: ISSUED

Issued: 08/31/2010

Owner: DAVE SUTTON

Expires: 11/29/2010

Contractor:

Description of work:
fence

Total Valuation: \$1,200.00

tems#	Description	Account Code	Fee	Payments
1000	BUILDING FEES	010-001-42200-00 (1	82.00	82.00
2150	BLDR CO USE TAX	010-000-20170-(9)	3.90	3.90
			TOTAL FEES PAID \$85.90	

MUST BE POSTED

Caution, Before Digging Call 1-800-922-1987 For Utility Locations
Call 303-335-4583 For Inspections-Inspections Must Be Called By 3:00 P.M.
For Next Business Day Inspection

Required Inspections:Final: AS 1-11-11
Approved By/Date_____
Comment/Conditions**NOTICE**

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Signature of Applicant JSDate 2/3/10



CITY OF LOUISVILLE

BUILDING PERMIT Solar Voltaic

Job Address: 833 LAFARGE AV LSVL Permit No: E10-0052

Parcel #: 008443001 Status: ISSUED
Issued: 04/29/2010
Expires: 07/28/2010

Owner: UNITED PENTECOSTAL CHURCH OF LOUISV

Contractor: REC SOLAR, INC

Description of work: PV

Total Valuation: \$28,470.00

Item#	Description	Account Code	Fee	Payments
1200	ELECTRICAL FEES	010-001-42240-00(3	300.00	300.00
2150	BLDR CO USE TAX	010-000-20170-(9)	92.53	92.53
			TOTAL FEES PAID	\$392.53

MUST BE POSTED

Caution, Before Digging Call 1-800-922-1987 For Utility Locations
Call 303-335-4583 For Inspections-Inspections Must Be Called By 3:00 P.M.
FOR NEXT BUSINESS DAY INSPECTION

Required Inspections:

Rough(if required):

Approved By/Date

Comment/Conditions

Final:

Approved By/Date

Comment/Conditions

NOTICE

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Signature of Applicant

Date 4/29/2010



CITY OF LOUISVILLE- BUILDING SAFETY DIVISION COMMERCIAL PERMIT APPLICATION

ADDRESS OF JOB: 833 La Farge Ave **PERMIT NUMBER:** E10-0052

LEGAL DESCRIPTION LOT BLOCK SUBDIVISION.

CLASS OF WORK NEW () ADDITION (X) ALTERATION () REPAIR () MOVE () DEMOLITION ()

BUILDING OWNER Dave Sutton ADDRESS 833 La Farge Ave CITY Louisville PHONE Dave@stauter.com
CONTRACTOR NAME Rec Solar ADDRESS 9032 Marshall Ct Westminster CITY PHONE (303) 577-9628
JOB SUPERVISOR Kenny Courtney MOBILE/PAGER # 303-819-1790 JOBSITE PHONE # (303) 577-9628
ARCHITECT/ENGINEER OF RECORD: COLO LICENSE # PHONE.

DESCRIPTION OF WORK: FILL IN ALL APPLICABLE BOXES PLEASE INCLUDE SQ. FOOTAGE

1st FLOOR AREA: 2nd FLOOR AREA GARAGE AREA OTHER

BASEMENT AREA: UNFINISHED. SPRINKLED AREA: A/C AREA.

TOTAL LOT AREA (SQ.FT): **ROOF COVERING:** **EXTERIOR WALL COVERING:**

CONSTRUCTION TYPE: **OCCUPANCY:** **TYPE OF FOUNDATIONS:** **TOTAL UNITS:**

ELECTRICAL PERMIT INFORMATION: PERMIT TO INCLUDE ELECTRICAL WORK () NOT APPLICABLE ()

CONSTRUCTION SERVICE ENTRANCE SIGNS ELECTRICAL APPLIANCE FIRE DETECTION SYSTEM
METER SIZE SIZE TYPE TYPE TYPE

PLUMBING PERMIT INFORMATION: PERMIT TO INCLUDE PLUMBING WORK () NOT APPLICABLE ()

BACKFLOW DEVICE WATER HEATER FIRE SPRINKLER SYSTEM WATER REPAIR SEWER REPAIR
MAKE/MODEL BTU INPUT AREA

MECHANICAL PERMIT INFORMATION: PERMIT TO INCLUDE MECHANICAL WORK () NOT APPLICABLE ()

FURNACE TYPE OTHER GAS APPLIANCES GAS PIPE SCHEMATIC ATTACHED
BTU INPUT TYPE SIZE LENGTH

USE CATEGORY:

COMMERCIAL / SHOP CENTER 50,000 SF OR LESS () 50,001-200,000 SF () OVER 200,000 SF ()

OFFICE 25,000 SF OR LESS () 25,001-100,000 SF () OVER 100,000 SF ()

BUSINESS PARK () LIGHT INDUSTRIAL () WAREHOUSING () INSTITUTIONAL ()

WORK DESCRIPTION/REMARKS:

Flush mounted, roof mounted, grid tied 9.68Kw Solar PV installation

VALUATION \$ 28,470.00

INCLUDE LABOR & MATERIALS

TOTAL PERMIT FEE \$ 312.53

(BUILDING DEPARTMENT WILL CALCULATE)

APPROVALS SIGNATURES DATE

COMMENTS

BUILDING PLAN CHECK		
ELECTRICAL PLAN CHECK	AS 4-26-10	
ZONING PLAN CHECK		
FIRE DEPT. PLAN CHECK		
ELEVATOR REVIEW		

RECEIVED
APR 20 2010
CITY OF LOUISVILLE
BUILDING SAFETY

THIS APPLICATION BECOMES NULL AND VOID IF PERMIT IS NOT ISSUED WITHIN 180 DAYS OF APPLICATION DATE. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY STATE OR LOCAL REGULATING CONSTRUCTION OR PERFORMANCE OF CONSTRUCTION PERMIT AND TAP FEES ARE SUBJECT TO CHANGE AT THE BEGINNING OF EACH CALENDAR YEAR. NOTE: A SEPARATE PERMIT IS REQUIRED FOR SIGNS, FENCES, IRRIGATION SYSTEMS & SWIMMING POOLS UNLESS NOTED ON THIS APPLICATION. FEES ARE ASSESSED AT TIME OF PERMIT ISSUANCE AND ARE SUBJECT TO CITY ORDINANCE IN EFFECT AT THAT TIME.

SIGNATURE OF APPLICANT/OWNER REPRESENTATIVE: X *Greg Conroy* DATE: 4/20/2010 PHONE: (303) 704-9707

PRINTED NAME: Greg Conroy APPLICANT'S ADDRESS 9032 Marshall Ct. Westminster CO

NOTE: FOR A MULTIPLE TRADE PERMIT THE SUB-CONTRACTOR SIGNATURE FORM WITH ORIGINAL SIGNATURES IS REQUIRED PRIOR TO ISSUANCE OF THE PERMIT

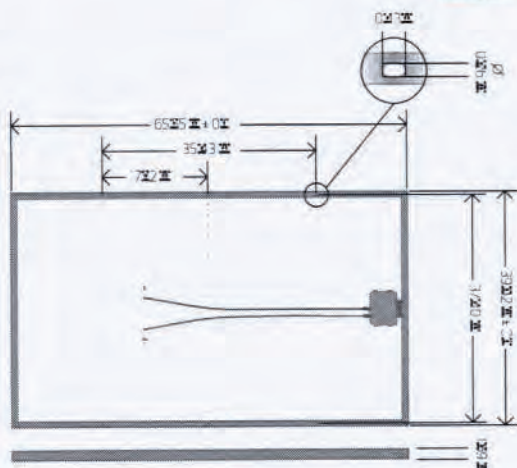
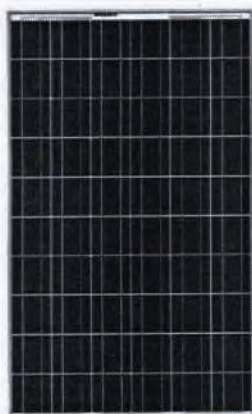
CITY OF LOUISVILLE
BUILDING SAFETY DIVISION
749 MAIN STREET
LOUISVILLE, COLORADO 80027

Permit Number: E10-0052
Address: 833 LAFARGE AV LSVL
Receipt No: 000047544
Total Payment Amount: \$392.53 04/29/2010 11:32
Notation: rec solar

ITEM#	DESCRIPTION	ACCOUNT CODE	PAYMENTS
1200	ELECTRICAL FEES	010-001-42240-00(3)	300.00
2150	BLDR CO USE TAX	010-000-20170-(9)	92.53

REC AE US

BUILDING DEPT. COPY



Values at Standard Test Conditions STC (Air Mass AM1.5, Irradiance 1000 W/m², Cell temperature 25 °C)

Nominal Operating Cell Temperature (NOCT)	48.6°C (±2°C)
Temperature Coefficient of P_{MPP}	-0.497%/°C
Temperature Coefficient of V_{OC}	-0.370%/°C
Temperature Coefficient of I_{SC}	0.109%/°C

CEC/CSI listed

The City of

The City of Louisville

Building Safety Dept.

REC is the leading vertically integrated player in the solar energy industry. REC Silicon and REC Wafer are among the world's largest producers of polycrystalline silicon and wafers for solar applications. REC Solar is a rapidly growing manufacturer of solar cells and modules. In 2008, REC Group had revenues of NOK 8 191 million and an operating profit of NOK 252.9 million. About 2 400 employees work in REC's worldwide organization.

For further information, contact your local distributor or visit our web site: www.recgroup.com

Panel Specs

13.9
63
25

EFFICIENCY

MONTHS WORKMANSHIP WARRANTY

YEAR POWER OUTPUT WARRANTY

Cell Type	156 x 156 mm multi-crystalline cells 60 cells in series
Glass	High-transparency solar glass with antireflection surface treatment by Sunarc Technology
Back sheet	PTE foil
Frame	Anodized aluminium
Connectors	2 x 61 in (1.55m) solar cables with MC4 connectors

10 years limited warranty of 90% power output
25 years limited warranty of 80% power output
63 months limited product warranty

Operational Temperature	-40 ... +176°F [-40 ... +80°C]
Maximum System Voltage	600V
Maximum Load	112 lbs/ft² (5400 Pa)
Wind Speed	122 mph (safety factor 3, 197 km/h)
Max Series Fuse Rating	15A
Max Reverse Current	15A

Note! Specifications subject to change without notice.



REC

REC Solar AS
Kjørboveien 29
1329 Sandvika
Norway

www.recgroup.com/usa

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APR 20 2010
CITY OF LOUISVILLE
BUILDING SAFETY

14142005, 2005, 2005, 2005

INPUT DATA	Fronius IG Plus	3.0-1 _{UNI}	3.8-1 _{UNI}	5.0-1 _{UNI}	6.0-1 _{UNI}	7.5-1 _{UNI}	10.0-1 _{UNI}	11.4-1 _{UNI}	11.4-3 _{Delta}	12.0-3 _{WYE277}
Recommended PV-Power (Wp)		2500-3450	3200-4400	4250-5750	5100-6900	6350-8600	8500-11500	9700-13100	9700-13100	10200-13800
MPPT-Voltage Range		230 ... 500 V								
Max. Input Voltage (at 1000 W/m ² 14°F (-10°C) in open circuit operation)		600 V								
Nominal Input Current		8.3 A	10.5 A	13.8 A	16.6 A	20.7 A	27.6 A	31.4 A	31.4 A	33.1 A
Max. usable Input Current		14.0 A	17.8 A	23.4 A	28.1 A	35.1 A	46.7 A	53.3 A	53.3 A	56.1 A
Admissible conductor size (DC)		No. 14 - 6 AWG								

OUTPUT DATA	Fronius IG Plus	3.0-1 _{UNI}	3.8-1 _{UNI}	5.0-1 _{UNI}	6.0-1 _{UNI}	7.5-1 _{UNI}	10.0-1 _{UNI}	11.4-1 _{UNI}	11.4-3 _{Delta}	12.0-3 _{WYE277}
Nominal output power (P _{AC nom})		3000 W	3800 W	5000 W	6000 W	7500 W	9995 W	11400 W	11400 W	12000 W
Max. continuous output power 104°F (40°C) 208 V / 240 V / 277 V		3000 W	3800 W	5000 W	6000 W	7500 W	9995 W	11400 W	11400 W	12000 W
Nominal AC output voltage		208 V / 240 V / 277 V							208 V / 240 V	277 V
Operating AC voltage range (default)	208 V	183 - 229 V (-12 / +10 %)								
	240 V	211 - 264 V (-12 / +10 %)								
	277 V	244 - 305 V (-12 / +10 %)								
Nominal output current	208 V	14.4 A	18.3 A	24.0 A	28.8 A	36.1 A	48.1 A	54.8 A	31.6 A*	n.a.
	240 V	12.5 A	15.8 A	20.8 A	25.0 A	31.3 A	41.7 A	47.5 A	27.4 A*	n.a.
	277 V	10.8 A	13.7 A	18.1 A	21.7 A	27.1 A	36.1 A	41.2 A	n.a.	14.4 A*
Max. output current	208 V	16.4 A	18.5 A	27.3 A	32.8 A	37.0 A	54.6 A	55.5 A	32.0 A*	n.a.
	240 V	14.2 A	14.4 A	23.7 A	28.4 A	35.5 A	47.4 A	54.0 A	31.2 A*	n.a.
	277 V	12.3 A	15.6 A	20.5 A	24.6 A	30.7 A	40.9 A	46.7 A	n.a.	16.4 A*
Admissible conductor size (AC)		No. 14 - 4 AWG								
Max. continuous utility back feed current		0 A								
Nominal output frequency		60 Hz								
Operating frequency range		59.3 - 60.5 Hz								
Total harmonic distortion		< 3 %								
Power factor		1								

GENERAL DATA		Fronius IG Plus	3.0-1 _{UNI}	3.8-1 _{UNI}	5.0-1 _{UNI}	6.0-1 _{UNI}	7.5-1 _{UNI}	10.0-1 _{UNI}	11.4-1 _{UNI}	11.4-3 _{Delta}	12.0-3 _{WYE277}
Max. Efficiency			96.2 %								
CEC Efficiency	208 V	95.0 %	95.0 %	95.5 %	95.5 %	95.0 %	95.0 %	95.5 %	95.5 %	n.a.	
	240 V	95.5 %	95.5 %	95.5 %	96.0 %	95.5 %	95.5 %	96.0 %	96.0 %	n.a.	
	277 V	95.5 %	95.5 %	96.0 %	96.0 %	96.0 %	96.0 %	96.0 %	n.a.	96.0 %	
Consumption in standby (night)			< 1 W								
Consumption during operation			8 W		15 W			22 W			
Cooling			Controlled forced ventilation, variable fan speed								
Enclosure Type			NEMA 3R								
Unit Dimensions (W x H x D)			17.1 x 24.8 x 9.6 in.		17.1 x 36.4 x 9.6 in.			17.1 x 48.1 x 9.6 in.			
Inverter Weight			31 lbs. (14 kg)		57 lbs. (26 kg)			82 lbs. (37 kg)			
Wiring Compartment Weight			24 lbs. (11 kg)		26 lbs. (12 kg)			26 lbs. (12 kg)			
Admissible ambient operating temperature			-4 ... 122°F (-20 ... +50°C)								
Compliance			UL 1741-2005, IEEE 1547-2003, IEEE 1547.1, ANSI/IEEE C62.41, FCC Part 15 A&B, NEC Article 690, C22.2 No. 107.1-01 (Sept. 2001)								

INPUT DATA	Fronius IG Plus	3.0-1 _{UNI}	3.8-1 _{UNI}	5.0-1 _{UNI}	6.0-1 _{UNI}	7.5-1 _{UNI}	10.0-1 _{UNI}	11.4-1 _{UNI}	11.4-3 _{Delta}	12.0-3 _{WYE277}
Ground fault protection		Internal GFDI (Ground Fault Detector/Interrupter); in accordance with UL 1741-2005 and NEC Art. 690								
DC reverse polarity protection		Internal diode								
Islanding protection		Internal; in accordance with UL 1741-2005, IEEE 1547-2003 and NEC								
Over temperature		Output power derating / active cooling								

* per Phase

*Inverter
Specs.*



Fronius USA LLC Solar Electronic Division
10421 Citation Drive, Suite 1100, Brighton, Michigan, 48116
E-Mail: pv-us@fronius.com
www.fronius-usa.com

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40.0006.2981.AE v01 2008 as01



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684 Clarion Court
San Luis Obispo, California 93401
805 547 2000 800 617 2235 fax

Southern California:
1276 E Colorado Blvd, Suite 201
Pasadena, California 91106
626 793 7438 626 793 7439 fax

STRUCTURAL CALCULATIONS

PREPARED FOR:

SYSTEM:

REC Solar Racking System Series 100

DESIGNER OF RECORD:

Renewable Energy Concepts Inc. (REC Solar)
775 Fiero Lane, Suite 200
San Luis Obispo, CA 93401

PROJECT ENGINEERS:

Matthew Gilliss, LEED AP
Michelle M. McCovey-Good, P.E.



Expires 5/31/2011

Valid Through December 31, 2010
Subject to Annual Review & Reissuance

Job No. 7456
January 28, 2010

**Central Coast**

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(626)793 7439 fax

REC Solar Racking System Series 100

Date. January 26, 2010
To: Greg McPheeters
REC Solar
From: Matthew Gilliss
Taylor & Syfan Consulting Engineers
Project REC Solar Racking System Series 100
T&S Job No 7456
Subject: Summary Letter for Series 100

INTRODUCTION

This Project Summary Letter is in reference to the Structural Calculation Packet for the REC Solar Racking System Series 100, dated December 2009. The calculations have been performed in accordance with the 2006 International Building Code (IBC), the governing structural code in Colorado. Several factors contained within this code govern the overall design of the racking system. The racking system has been designed to withstand code-prescribed forces due to the racking system's own weight, the weight of the solar panels, snow loads, and wind forces.

RAIL SPANS

In terms of variable conditions for the racking system, the main rails which support the solar panels (referred to as the "standard rails") have an adjustable length, which is the distance between their attachments to the roof (called standoffs). For the purpose of the calculation packet, that length was taken to be 8'-0", 6'-0", 4'-0", or 2'-0".

Due to the many variables that are required to be taken into account during a wind analysis, we have determined multiple cases that we feel are the most common. These cases are based upon several factors which include building height, pitch of the panels, wind exposure region, wind speed, snow loads, and topographic factors.

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REC Solar Racking System Series 100

SITE-SPECIFIC ANALYSIS

We have determined that the rails are able to span a maximum of 8'-0" for many of the common cases, but that there are certain cases which will require shorter spans and/or a location-sensitive analysis to be performed on a case-by-case basis. A site-specific analysis may be required if it is found that the location of the solar panel install corresponds to any of the following criteria.

- The total pitch of the solar panel (solar panel pitch & roof pitch) is greater than 60 degrees above the horizontal
- A topographic factor applies to the location Topographic factors apply, for general purposes, when the structure is on a hill, mesa or bluff, or is adjacent to a large body of water For complete descriptions of topographic factors, please refer to ASCE 7-05 Section 6.5.7.
- The roof of the structure that the solar panels will be installed on is greater than 50 ft. above grade.
- A combination of loads and/or site conditions applies that is not addressed in the attached rail span charts

If one of more of these factors applies to the project location, please contact Taylor & Syfan, and we will be able to analyze the site conditions and recommend a standoff spacing for each specific site.

RAIL TESTING

Due to the possibility of structural failure of the rails due to their non-symmetrical shape, testing was conducted per the standards set forth by the 2006 IBC Section 1714 Preconstruction Load Tests The results of this testing procedure were used in comparison with the calculated values to help establish the maximum load allowed by the rails The full procedure and results of these tests can be found in this packet.

RACKING CONNECTIONS TO THE EXISTING ROOF

Also contained within the calculation packet are calculations for the connection of the rails to the roof framing Using the sizes provided by REC, we have calculated the maximum forces

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REC Solar Racking System Series 100

that will be resisted based on the withdrawal value of the lag screws, and the strength of the aluminum components which are involved in transferring these forces from the rail to the roof framing. These components consist of the L-foot (REC Drawing ATCH-D01), the Standoff (ATCH-D02), the Hybrid (ATCH-D05), and the Hanger Bolt (ATCH-D06 - which is discussed below). All (4) options are acceptable under the parameters shown in REC's plans. The results from our analysis have been integrated into the summary charts.

SUMMARY CHARTS AND TOPGRAPHIC FACTORS

The attached pages of this summary contain what we feel are some of the most common building configurations with varying wind speeds. These charts can be used as a quick reference for looking up maximum rail span lengths based on the building and site conditions, but it must be noted that for any building where a topographic factor is to be applied (e.g. hills, mesas, seashore) the rail span lengths given may exceed what is allowed for the given site condition. A registered structural engineer should evaluate the exact topographic conditions for this specific site prior to construction.

UNIVERSAL END CLAMP

REC Solar has also developed a "Universal End Clamp" which is used to connect individual solar panels to the rails (see REC Solar's drawing "UEC INSTALL"). These have been developed and tested by REC Solar, and they are adequate to resist the maximum uplift and shear forces generated by code prescribed wind forces when installed as specified. The testing results may be submitted upon request.

HANGER BOLT OPTION

The Hanger Bolt consists of a 3/8" diameter bolt that is used in place of the typical standoff connection to connect the racking components to the existing roof framing. Because the connection between the hanger bolt and the racking consists of a clamp that relies on friction, extensive testing has been done and a factor of safety over 4 has been applied to the ultimate loads that the assembly safely carried. With the factor of safety, the hanger bolt was able to resist the same loads required of the other standoff options. Please see



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REC Solar Racking System Series 100

REC Solar's plans for limits on the bolt parameters, including minimum required installation torque. The testing results may be submitted upon request.

EXISTING BUILDING LIMITATIONS

This summary letter discusses the structural adequacy of the solar racking system itself only and does not investigate or validate the adequacy of the structure that the racking system is being placed upon. It does not address the ability of the existing roofing or roof framing to support the new loads imposed upon them by the new system nor does it address the new localized forces between the roofing and the roof framing that may be imposed by the new standoff connections. It also does not address the additional lateral forces that will be imposed upon the building due to the seismic mass the new system adds to the existing roof. These various building-specific issues need to be evaluated by the appropriate registered professional(s) prior to the addition of the photovoltaic and racking systems. Taylor & Syfan may be consulted for building-specific structural evaluation. Taylor and Syfan assumes that systems are installed to the specifications presented here and using good structural judgment by the installer. Additionally, as an optional service, we recommend the performance of structural observations of the installation, as a best practice service, by Taylor & Syfan.

Please note that all sizes, material specifications, and weights have been provided by REC Solar. All waterproofing, roofing, and drainage issues are the responsibility of REC Solar.

Please let us know if you have any questions or comments. Thank you.

Sincerely,

Matthew B. Gilliss
Project Engineer
Taylor & Syfan Consulting Engineers

For Tilts of 19 Degrees or Less

MAXIMUM RAIL SPANS BETWEEN STANDOFFS (FT.)

		Windspeed (Nominal 3-sec Gust in mph)				
		90	105	120	135	150
Building Ht. is 30 ft. or Less	0 to 19 Degree Pitch 0 psf Ground Snow Load	8*	8	6	6	6
	0 to 19 Degree Pitch 0 - 10 psf Ground Snow Load	6	6	6	4	4
	0 to 19 Degree Pitch 11 - 20 psf Ground Snow Load	6	4	4	4	2
	0 to 19 Degree Pitch 21 - 30 psf Ground Snow Load	4	4	4	2	2
	0 to 19 Degree Pitch 31 - 40 psf Ground Snow Load	4	4	2	2	2
	0 to 19 Degree Pitch 41 - 60 psf Ground Snow Load	2	2	2	2	2
	0 to 19 Degree Pitch 61 - 80 psf Ground Snow Load	2	2	2	2	2
	0 to 19 Degree Pitch 81 - 100 psf Ground Snow Load	2	2	NG	NG	NG
	0 to 19 Degree Pitch 0 psf Ground Snow Load	8	6	6	6	4
	0 to 19 Degree Pitch 0 - 10 psf Ground Snow Load	6	6	4	4	4
	0 to 19 Degree Pitch 11 - 20 psf Ground Snow Load	4	4	4	4	2
	0 to 19 Degree Pitch 21 - 30 psf Ground Snow Load	4	4	4	2	2
Building Ht. is 31 ft. to 50 ft.	0 to 19 Degree Pitch 31 - 40 psf Ground Snow Load	4	2	2	2	2
	0 to 19 Degree Pitch 41 - 60 psf Ground Snow Load	2	2	2	2	2
	0 to 19 Degree Pitch 61 - 80 psf Ground Snow Load	2	2	2	2	2
	0 to 19 Degree Pitch 81 - 100 psf Ground Snow Load	2	2	NG	NG	NG

* For 90 MPH Wind Speed, Building Ht. up to 30 ft., and 0 psf Snow Load, an 8 ft. span may be used up to 28 deg. pitch.

Note: For Solar Installations 50 ft. Above Ground Level or Less. If Location of Solar Installation is Higher than 50 ft. Above Ground Level, Please Contact Taylor & Syfan.

For Tilts of 20 – 30 Degrees

MAXIMUM RAIL SPANS BETWEEN STANDOFFS (FT)

		Windspeed (Nominal 3-sec Gust in mph)				
		90	105	120	135	150
Building Ht. is 30 ft. or Less	20 to 30 Degree Pitch 0 psf Ground Snow Load	6*	6	6	4	4
	20 to 30 Degree Pitch 0 – 10 psf Ground Snow Load	6	6	4	4	2
	20 to 30 Degree Pitch 11 – 20 psf Ground Snow Load	4	4	4	2	2
	20 to 30 Degree Pitch 21 – 30 psf Ground Snow Load	4	4	4	2	2
	20 to 30 Degree Pitch 31 – 40 psf Ground Snow Load	4	4	2	2	2
	20 to 30 Degree Pitch 41 – 60 psf Ground Snow Load	2	2	2	2	2
	20 to 30 Degree Pitch 61 – 80 psf Ground Snow Load	2	2	2	2	2
	20 to 30 Degree Pitch 81 – 100 psf Ground Snow Load	2	2	NG	NG	NG
Building Ht. is 31 ft. to 50 ft.	20 to 30 Degree Pitch 0 psf Ground Snow Load	6	6	6	4	4
	20 to 30 Degree Pitch 0 – 10 psf Ground Snow Load	6	4	4	4	2
	20 to 30 Degree Pitch 11 – 20 psf Ground Snow Load	4	4	2	2	2
	20 to 30 Degree Pitch 21 – 30 psf Ground Snow Load	4	4	2	2	2
	20 to 30 Degree Pitch 31 – 40 psf Ground Snow Load	4	2	2	2	2
	20 to 30 Degree Pitch 41 – 60 psf Ground Snow Load	2	2	2	2	2
	20 to 30 Degree Pitch 61 – 80 psf Ground Snow Load	2	2	2	2	2
	20 to 30 Degree Pitch 81 – 100 psf Ground Snow Load	2	2	NG	NG	NG

* For 90 MPH Wind Speed, Building Ht. up to 30 ft., and 0 psf Snow Load, an 8 ft. span may be used up to 28 deg pitch

Note For Solar Installations 50 ft. Above Ground Level or Less If Location of Solar Installation is Higher than 50 ft. Above Ground Level, Please Contact Taylor & Syfan

For Tilts of 31 - 45 Degrees

MAXIMUM RAIL SPANS BETWEEN STANDOFFS (FT.)

	Conditions	Windspeed (Nominal 3-sec Gust in mph)				
		90	105	120	135	150
Building Ht. is 30 ft. or Less	31 to 45 Degree Pitch 0 psf Ground Snow Load	6	6	4	4	2
	31 to 45 Degree Pitch 0 - 10 psf Ground Snow Load	6	4	4	2	2
	31 to 45 Degree Pitch 11 - 20 psf Ground Snow Load	4	4	2	2	2
	31 to 45 Degree Pitch 21 - 30 psf Ground Snow Load	4	4	2	2	2
	31 to 45 Degree Pitch 31 - 40 psf Ground Snow Load	4	4	2	2	2
	31 to 45 Degree Pitch 41 - 60 psf Ground Snow Load	4	4	2	2	2
	31 to 45 Degree Pitch 61 - 80 psf Ground Snow Load	4	4	2	2	2
	31 to 45 Degree Pitch 81 - 100 psf Ground Snow Load	4	2	2	2	2
	31 to 45 Degree Pitch 0 psf Ground Snow Load	6	6	4	4	2
	31 to 45 Degree Pitch 0 - 10 psf Ground Snow Load	6	4	4	2	2
Building Ht. is 31 ft. to 50 ft.	31 to 45 Degree Pitch 11 - 20 psf Ground Snow Load	4	4	2	2	2
	31 to 45 Degree Pitch 21 - 30 psf Ground Snow Load	4	4	2	2	2
	31 to 45 Degree Pitch 31 - 40 psf Ground Snow Load	4	4	2	2	2
	31 to 45 Degree Pitch 41 - 60 psf Ground Snow Load	4	4	2	2	2
	31 to 45 Degree Pitch 61 - 80 psf Ground Snow Load	4	4	2	2	2
	31 to 45 Degree Pitch 81 - 100 psf Ground Snow Load	4	2	2	2	2

Note: For Solar Installations 50 ft. Above Ground Level or Less If Location of Solar Installation is Higher than 50 ft. Above Ground Level, Please Contact Taylor & Syfan

For Tilts of 46 - 60 Degrees

MAXIMUM RAIL SPANS BETWEEN STANDOFFS (FT)

		Windspeed (Nominal 3-sec Gust in mph)				
		90	105	120	135	150
Building Ht. is 30 ft. or Less	46 to 60 Degree Pitch 0 psf Ground Snow Load	6	6	6	4	4
	46 to 60 Degree Pitch 0 - 10 psf Ground Snow Load	6	6	4	4	2
	46 to 60 Degree Pitch 11 - 20 psf Ground Snow Load	4	4	4	2	2
	46 to 60 Degree Pitch 21 - 30 psf Ground Snow Load	4	4	4	2	2
	46 to 60 Degree Pitch 31 - 40 psf Ground Snow Load	4	4	4	2	2
	46 to 60 Degree Pitch 41 - 60 psf Ground Snow Load	4	4	4	2	2
	46 to 60 Degree Pitch 61 - 80 psf Ground Snow Load	4	4	4	2	2
	46 to 60 Degree Pitch 81 - 100 psf Ground Snow Load	4	4	4	2	2
	46 to 60 Degree Pitch 0 psf Ground Snow Load	6	6	6	4	4
	46 to 60 Degree Pitch 0 - 10 psf Ground Snow Load	6	4	4	2	2
	46 to 60 Degree Pitch 11 - 20 psf Ground Snow Load	4	4	2	2	2
	46 to 60 Degree Pitch 21 - 30 psf Ground Snow Load	4	4	2	2	2
Building Ht. is 31 ft. to 50 ft.	46 to 60 Degree Pitch 31 - 40 psf Ground Snow Load	4	4	2	2	2
	46 to 60 Degree Pitch 41 - 60 psf Ground Snow Load	4	4	2	2	2
	46 to 60 Degree Pitch 61 - 80 psf Ground Snow Load	4	4	2	2	2
	46 to 60 Degree Pitch 81 - 100 psf Ground Snow Load	4	4	2	2	2
	46 to 60 Degree Pitch 0 psf Ground Snow Load	4	4	2	2	2
	46 to 60 Degree Pitch 0 - 10 psf Ground Snow Load	4	4	2	2	2
	46 to 60 Degree Pitch 11 - 20 psf Ground Snow Load	4	4	2	2	2
	46 to 60 Degree Pitch 21 - 30 psf Ground Snow Load	4	4	2	2	2
	46 to 60 Degree Pitch 31 - 40 psf Ground Snow Load	4	4	2	2	2
	46 to 60 Degree Pitch 41 - 60 psf Ground Snow Load	4	4	2	2	2
	46 to 60 Degree Pitch 61 - 80 psf Ground Snow Load	4	4	2	2	2
	46 to 60 Degree Pitch 81 - 100 psf Ground Snow Load	4	4	2	2	2

* For 90 MPH Wind Speed, Building Ht. up to 30 ft., and 0 psf Snow Load, an 8 ft. span may be used up to 28 deg pitch

Note For Solar Installations 50 ft. Above Ground Level or Less If Location of Solar Installation is Higher than 50 ft. Above Ground Level, Please Contact Taylor & Syfan

MAXIMUM RAIL SPANS BETWEEN STANDOFFS (FT.) (Topographic Effects)

Conditions	Windspeed (Nominal 3-sec Gust in mph)				
	90	105	120	135	150
0 to 15 Degree Pitch Building Ht. up to 30 ft Top Of Hill	8	6	6	4	4
0 to 15 Degree Pitch Building Ht. up to 30 ft Coastal Condition	6	6	4	4	2
0 to 15 Degree Pitch Building Ht. up to 30 ft Mesa Condition	6	6	4	4	2
16 to 30 Degree Pitch Building Ht. up to 30 ft Top Of Hill	6	6	4	4	2
16 to 30 Degree Pitch Building Ht. up to 30 ft. Coastal Condition	6	4	4	2	2
16 to 30 Degree Pitch Building Ht. up to 30 ft. Mesa Condition	6	4	4	2	2
31 to 45 Degree Pitch Building Ht. up to 30 ft Top Of Hill	6	4	4	2	2
31 to 45 Degree Pitch Building Ht. up to 30 ft. Coastal Condition	6	4	2	2	2
31 to 45 Degree Pitch Building Ht. up to 30 ft Mesa Condition	6	4	2	2	2
46 to 60 Degree Pitch Building Ht. up to 30 ft Top Of Hill	6	6	4	4	2
46 to 60 Degree Pitch Building Ht. up to 30 ft Coastal Condition	6	4	4	2	2
46 to 60 Degree Pitch Building Ht. up to 30 ft Mesa Condition	6	4	4	2	2

*No Snow Load Taken Into Account With Topographic Effects If Site Has Snow Loads AND Topographic Effects, Please Contact Taylor & Syfan

THIS CHART IS FOR ESTIMATION PURPOSES ONLY SITES WITH TOPOGRAPHIC FACTORS
SHOULD HAVE A STRUCTURAL ENGINEER CALCULATE THE EXACT FACTOR PRIOR TO CONSTRUCTION

MAXIMUM RAIL SPANS BETWEEN STANDOFFS (FT) (Topographic Effects)

Conditions	Windspeed (Nominal 3-sec Gust in mph)				
	90	105	120	135	150
0 to 15 Degree Pitch Building Ht. 31 – 50 ft Top Of Hill	6	6	6	4	4
0 to 15 Degree Pitch Building Ht. 31 – 50 ft. Coastal Condition	6	6	4	4	2
0 to 15 Degree Pitch Building Ht. 31 – 50 ft Mesa Condition	6	6	4	4	2
16 to 30 Degree Pitch Building Ht. 31 – 50 ft. Top Of Hill	6	4	4	2	2
16 to 30 Degree Pitch Building Ht. 31 – 50 ft. Coastal Condition	6	4	2	2	2
16 to 30 Degree Pitch Building Ht. 31 – 50 ft. Mesa Condition	6	4	2	2	2
31 to 45 Degree Pitch Building Ht. 31 – 50 ft Top Of Hill	6	4	4	2	2
31 to 45 Degree Pitch Building Ht. 31 – 50 ft Coastal Condition	4	4	2	2	2
31 to 45 Degree Pitch Building Ht. 31 – 50 ft Mesa Condition	4	4	2	2	2
46 to 60 Degree Pitch Building Ht. 31 – 50 ft. Top Of Hill	6	4	4	2	2
46 to 60 Degree Pitch Building Ht. 31 – 50 ft. Coastal Condition	6	4	2	2	2
46 to 60 Degree Pitch Building Ht. 31 – 50 ft. Mesa Condition	6	4	2	2	2

*No Snow Load Taken into Account With Topographic Effects If Site Has Snow Loads AND Topographic Effects, Please Contact Taylor & Syfan

Note For Solar Installations 50 ft. Above Ground Level or Less If Location of Solar Installation is Higher than 50 ft. Above Ground Level, Please Contact Taylor & Syfan

THIS CHART IS FOR ESTIMATION PURPOSES ONLY SITES WITH TOPOGRAPHIC FACTORS
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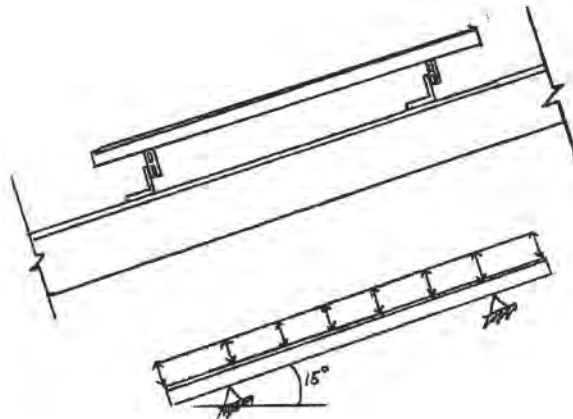


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PROJECT SHEET
EXAMPLE CALL
PROJECT ADDRESS
MBG
ENGINEER DATE

FULL EXAMPLE CALCULATION OF A TYPICAL PV INSTALL

- WIDTH = 39"
- LENGTH = 62"
- WEIGHT = 40#
- AREA = 16.842
- TILT = 15°
- NO TOPOGRAPHIC FACTORS
- EXP. C
- 20' TALL BUILDING



FROM WIND FORCE SPREADSHEET (NEXT PAGE):

FORCE (NORMAL TO PANEL): 7.69^{psf} (WIND ONLY)

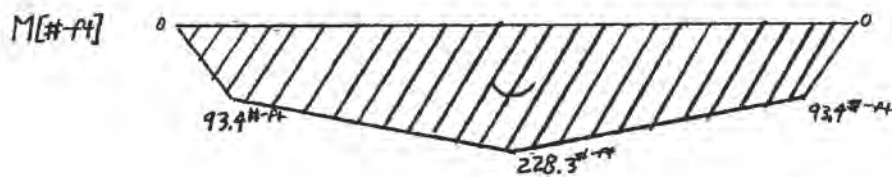
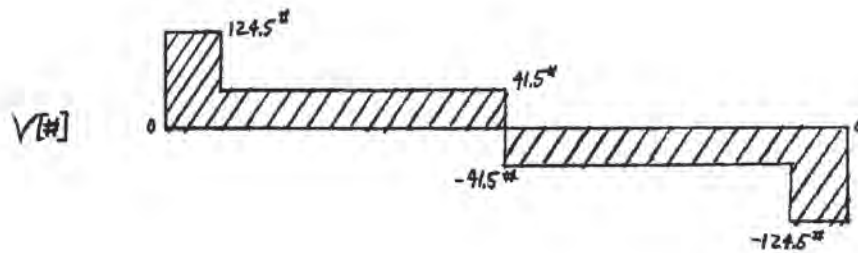
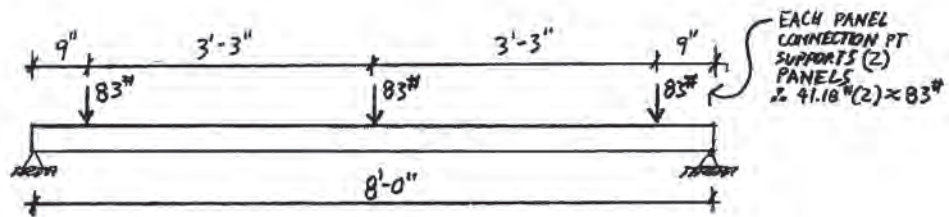
TOTAL FORCE PER PANEL: 129.11^{lbs}/PANEL (WIND ONLY)

MAX UPLIFT FORCE PER PANEL: 100.71^{lbs}/PANEL (WIND - 0.6(PANEL WT))

MAX VERT. COMPRESSIVE FORCE: 164.71^{lbs}/PANEL (WIND & PANEL WT.)

EXAMPLE CALCULATION CONT.

STANDARD RAIL ANALYSIS (WORST-CASE LOADING)





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PROJECT

SHEET

EXAMPLE CALC.

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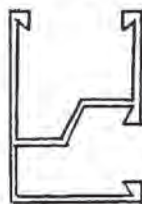
ENGINEER

DATE

EXAMPLE CALCULATION CONT.

STANDARD RAIL ANALYSIS CONT.

RAIL PROPERTIES (SEE PREVIOUS PAGE)



$$S_x = 0.34 \text{ in}^3$$

$$I_x = 0.45 \text{ in}^4$$

$$A = 0.63 \text{ in}^2$$

MATERIAL: 6063 T-6 ALUM.

$$F_{tx} = 30 \text{ ksi}; F_{ty} = 25 \text{ ksi}$$

CHECK BENDING

$$\frac{M_{MAX}}{S_x} \leq F_b = \text{MIN.} [F_{tx}/(K_t n_u) \& F_{ty}/n_y] \text{ [PER ADM-1-00]}$$

$$F_b = \text{MIN.} [30 \text{ ksi}/(1.0)(1.95) \& [25 \text{ ksi}/1.65]$$

$$= \text{MIN.} [15.4 \text{ ksi} \& 15.2 \text{ ksi}] = 15.2 \text{ ksi}$$

$$\frac{228.3 \text{ #} \cdot \text{ft} (12 \text{ in/ft})}{0.34 \text{ in}^3} = 8058 \text{ psi} \leq 15,200 \text{ psi} \checkmark$$

CHECK SHEAR

$$\frac{V_{MAX}}{A} \leq F_v = F_y/n_y$$

$$F_v = 25 \text{ ksi}/1.65 = 15.2 \text{ ksi}$$

$$\frac{124.5 \text{ #}}{0.63 \text{ in}^2} = 198 \text{ psi} \leq 15,200 \text{ psi} \checkmark$$

CHECK DEFLECTION

$$3 \text{ PT. LOADS OF } 83 \text{ #} \approx 83 \text{ #}(3)/8 \text{ ft} = 31.1 \text{ #/ft}$$

$$\Delta_{MAX} = \frac{5 w L^4}{384 E I} = \frac{5 (31.1 \text{ #/ft} / 12 \text{ in/ft}) (8 \text{ ft} \times 12 \text{ in/ft})^4}{384 (10,000,000 \text{ psi}) (0.45 \text{ in}^4)} = 0.64 \text{ in}$$

$$\Delta_{ALLN} = \frac{0}{120} = \frac{(8 \text{ ft} \times 12 \text{ in/ft})}{120} = 0.8 \text{ in} > 0.64 \text{ in} (0.7) = 0.45 \text{ in} \checkmark$$

PER 2006 IBC TABLE 1604.3 NOTE 1.



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PROJECT

SHEET

GOVERNING FORCES - 8th SPAN

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STANDARD RAIL - GOVERNING FORCES FOR AN 8'-0" SPAN

BENDING

$$\frac{M_{max}}{S_x} \leq F_b$$

$$\frac{M_{max}}{0.34 \text{ in}^3} \leq 15,200 \text{ psi} \Rightarrow M_{max} = 5168 \text{ #-in} \Rightarrow 431 \text{ #-ft}$$

$\therefore$ EACH PT. LOAD WOULD BE $\approx 155 \text{ #}$

SHEAR

$$\frac{V_{max}}{A} \leq F_v$$

$$\frac{V_{max}}{0.63 \text{ in}^2} \leq 15,200 \text{ psi} \Rightarrow V_{max} = 9576 \text{ #}$$

$\therefore$ EACH PT. LOAD WOULD BE 6384 #

DEFLECTION

$$\Delta_{max} \leq \Delta_{allow}$$

$$\frac{5wL^4}{384EI} = \frac{\Delta}{120}$$

$$\frac{5(w)(8 \times 12 \text{ ft})^4}{384(10,000,000 \text{ psi})(0.15 \text{ in}^4)} (0.7) = \frac{(8 \times 12 \text{ ft})}{120}$$

$$0.246(w)(0.7) = 0.8$$

$$w = 4.65 \text{ #/in} \Rightarrow 55.8 \text{ #/ft}$$

$\therefore$ EACH PT. LOAD WOULD BE 148.8 #

$\therefore$ BASED ON CALCULATIONS & TESTING, MAX LOADS FOR 8'-0" SPAN = 148 # EACH

RESULTS:

The design load as calculated was 148 lbs. per load point, which was due to the maximum allowable deflection. The maximum allowable deflection at this load is 0.80 in. at mid-span for an 8'-0" span. Using the average deflection of the two rails and taking into account the reduction factors allowed per Table 1604.3, there was a deflection of 0.74 in. when loaded to 142 lbs. and a deflection of 1.44 when loaded to 262 lbs. Interpolating between the two, for 148 lbs. there is a deflection of 0.78 in. at mid-span, which is less than the allowable maximum deflection of 0.80 in.

After the test was subjected to a minimum of two times the design load for 24 hours and the load was removed, the rails were required to recover not less than 75% of the maximum deflection. The maximum deflection of the rails at 322 lbs. was 2.59 in. After the rails were unloaded, the maximum deflection was 0.32 in. Dividing $0.32/2.59$ gives the rails a recovery of 88%, which is greater than the required 75%.

The rails were then loaded to failure and supported a total of 372 lbs. per load point before failure of one of the rails. Using the maximum supported load of 372 lbs. and dividing that by 2.5 as required in the testing procedure gives a maximum load of 148.8 lbs. per load point. This maximum allowable load produced by this testing procedure is equal to our design load from our calculations. Therefore, our maximum load for an 8'-0" span is 148 lbs. per load point.



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PROJECT

SHEET

4th SPAN

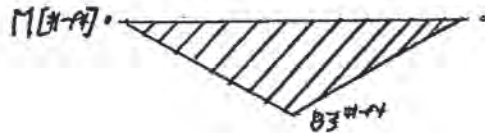
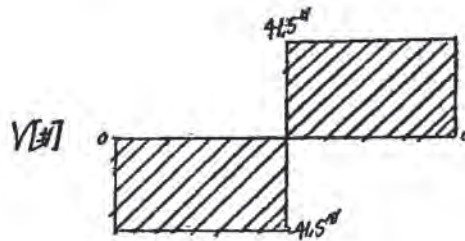
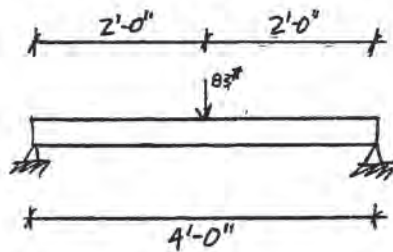
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ENGINEER

DATE

STANDARD RAIL - 4th SPAN





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PROJECT

SHEET

4' SPAN

PROJECT ADDRESS

MBG

ENGINEER

DATE

STANDARD RAIL - 4' SPAN

BENDING

$$M_{max} = 431 \text{ ft-lb}$$

$$\therefore \frac{83 \text{ ft-lb}}{83 \text{ ft}} = \frac{431 \text{ ft-lb}}{x} \Rightarrow x = 431 \text{ ft}$$

$\therefore$ EACH PT. LOAD WOULD BE 431# MAX

SHEAR

$$V_{max} = 9576 \text{ lb}$$

$\therefore$ EACH PT. LOAD WOULD BE 19,152# MAX

DEFLECTION

$$\frac{P L^3}{48 E I} (0.7) = \frac{L}{120}$$

$$\frac{P (4' \times 12' / 4)^3}{48 (29,000,000 \text{ psi}) (0.45 \text{ in}^4)} (0.7) = \frac{(4' \times 12' / 4)}{120}$$

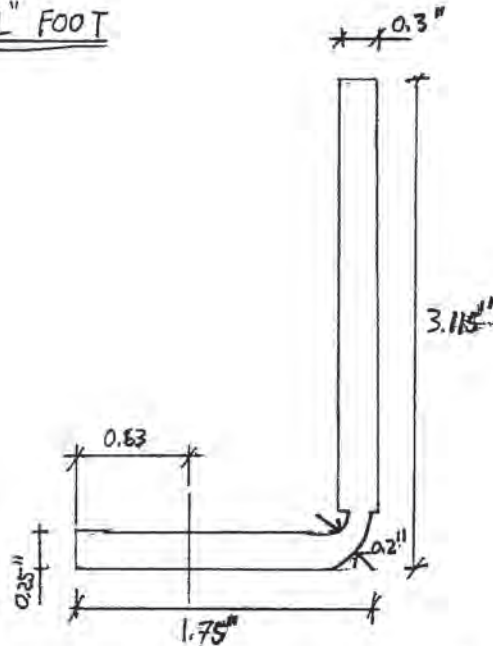
$$0.0005(P)(0.7) = 0.4$$

$$P = 1116 \text{ lb}$$

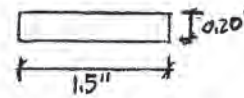
$\therefore$ EACH PT. LOAD WOULD BE 1116# MAX

$\therefore$ MAX LOADS ALLOWED FOR A 4'-0" SPAN ARE 431#

COMPOSITION "L" FOOT



SECTION PROPERTIES



$S_x = 0.02 \text{ in}^3$
 $A = 0.3 \text{ in}^2$

CHECK BENDING

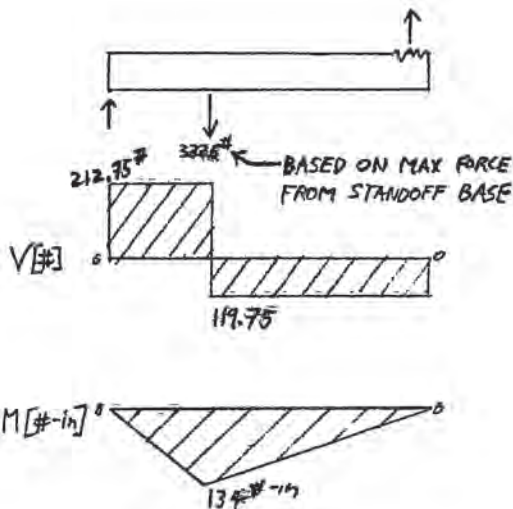
$\frac{M_{\text{MAX}}}{S_x} \leq 15.2 \text{ ksi}$

$\frac{134 \text{ #-in}}{0.02 \text{ in}^3} = 6,700 \text{ psi} \leq 15,200 \text{ psi} \checkmark$

CHECK SHEAR

$\frac{V_{\text{MAX}}}{A} \leq 15.2 \text{ ksi}$

$\frac{213 \text{ \#}}{0.3 \text{ in}^2} = 710 \text{ psi} \leq 15,200 \text{ psi} \checkmark$



SolaDeck

PV ROOF-MOUNT ENCLOSURE

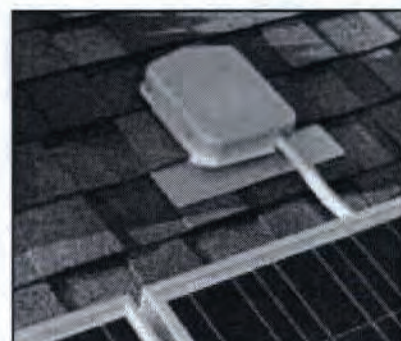
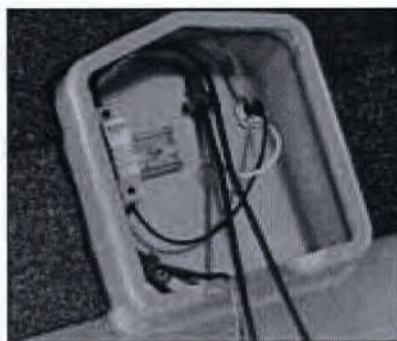


UL50 Type 3R Enclosure • Stamped 18 gauge gal. steel • Powder coated finish • Weather tight

Enclosure Includes:

- Dual ground lug
- Universal DIN rail
- 1/2", 3/4" & 1" knockouts
- Wire strain relief clip
- Complete hardware package

**INTRODUCED AT
*SOLAR POWER 2007***

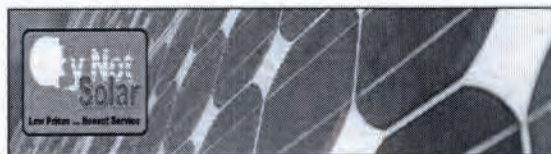


PV Roof-Mount Combiner/Enclosure

Benefits

- The ability to prep the building is now possible
- Replaces several parts used today
- Provides professional looking install
- Saves time on install
- Allows for easy access
- Guaranteed seal to roof
- Low profile design

For product information contact us at



ENGINEER	DRAFTER	DESCRIPTION
C. CHUTE	K. SHUMWAY	PHOTOVOLTAIC SYSTEM

SITE PLAN



SCALE: 1/16"=1'

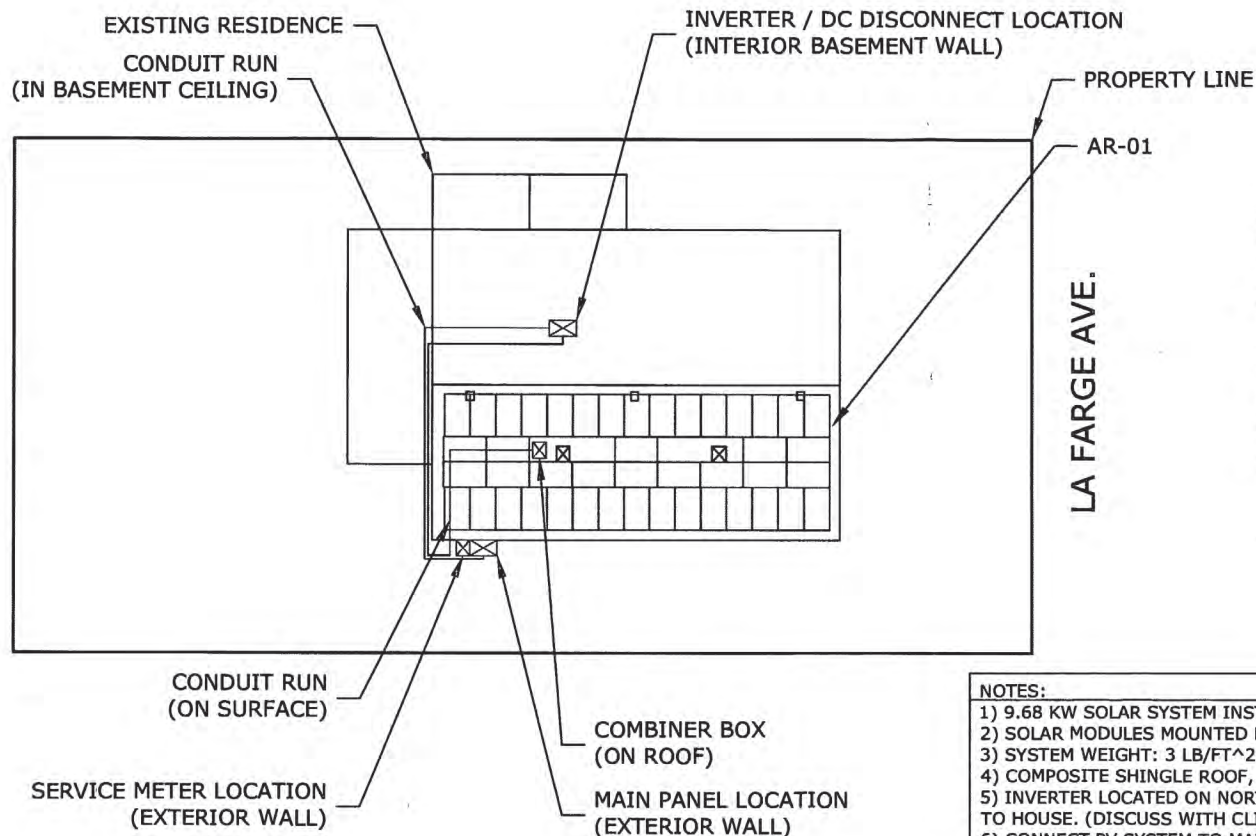


TABLE OF CONTENTS

PAGE #	DESCRIPTION
PV-01	SITE PLAN
PV-02	STRUCTURAL DETAIL
PV-03	PENETRATION DETAIL
PV-04	ELECTRICAL DETAIL

SYSTEM INFORMATION

ARRAY	PITCH	MAGNETIC ORIENTATION	TRUE ORIENTATION
AR-01	37°	170°	180°



VICINITY MAP

NOTES:

- 1) 9.68 KW SOLAR SYSTEM INSTALLED BY REC SOLAR CL # 7080
- 2) SOLAR MODULES MOUNTED FLUSH TO ROOF USING REC ALUMINUM RACKING SYSTEM.
- 3) SYSTEM WEIGHT: 3 LB/FT^2
- 4) COMPOSITE SHINGLE ROOF, 37 DEGREES AND TWO STORIES
- 5) INVERTER LOCATED ON NORTH FACING WALL IN BASEMENT (FURNACE ROOM) LEFT OF DOOR TO HOUSE. (DISCUSS WITH CLIENT PRIOR TO INSTALL)
- 6) CONNECT PV SYSTEM TO MAIN PANEL VIA BREAKER.
- 7) RUN DC CONDUIT SOUTH ON ROOF SURFACE, PENETRATE EAVE ABOVE MAIN AND RUN DOWN WALL TO FOUNDATION. RUN NORTH TO SOUTH FACING WALL AND PENETRATE INTO BASEMENT. RUN NORTH EAST TO INVERTER LOCATED LEFT OF DOOR TO HOUSE IN FURNACE ROOM. FOR AC PENETRATE BASEMENT AND RUN WEST IN RAFTERS TO ADJACENT ROOM. THEN RUN SOUTH ALONG CEILING TO SOUTH FOUNDATION. PENETRATE FOUNDATION AND RUN SOUTH TO PANEL. (DISCUSS WITH CLIENT PRIOR TO INSTALL)
- 8) ROOF STRUCTURE: 2"X6" ROOF RAFTERS @ 16" O.C.



REC SOLAR, INC.
CO LIC# 7080 775 Fiero Lane, Suite 200
San Luis Obispo, CA 93401 USA
Phone (805)657-6527 Fax (805)528-9701

CUSTOMER APPROVAL
PROJECT FOREMAN

PLANS REVIEWED:
BOM REVIEWED:

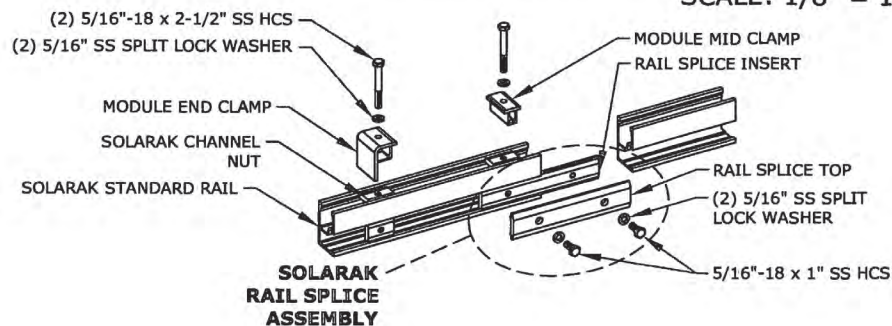
SUTTON RESIDENCE
833 LA FARGE AVE.
LOUISVILLE, CO 80027

PV-01

REV: A
4/20/2010

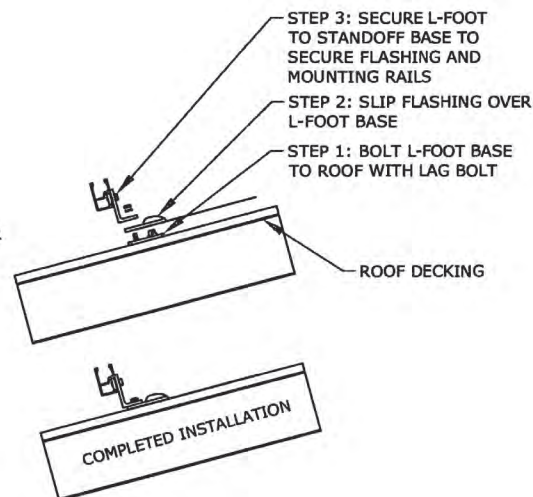
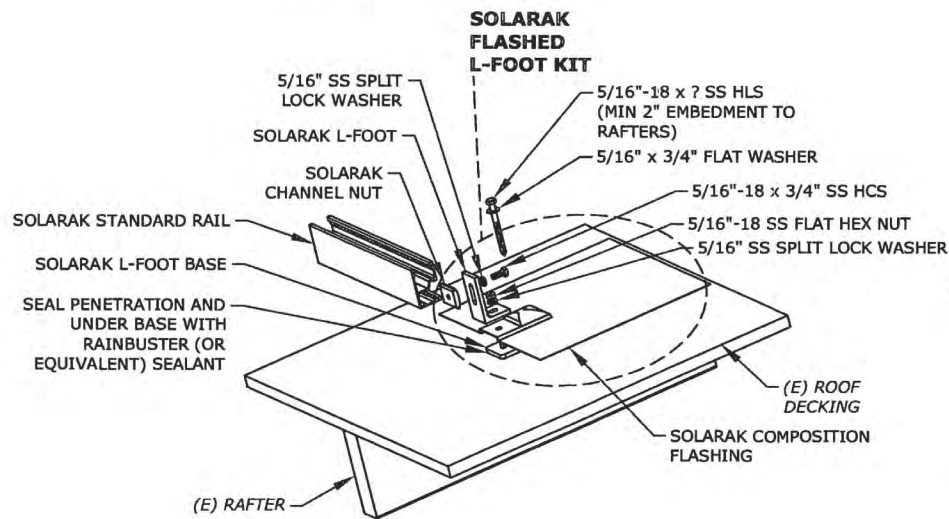
REC SOLAR RACKING SYSTEM DETAIL

SCALE: 1/8" = 1"



NOTES:

- LAG BOLTS MUST EMBED IN ROOF STRUCTURAL MEMBERS/RAFTERS
- TORQUE ALL 5/16" HARDWARE TO 10 FT-LBS (120 IN-LBS) TORQUE
- RAIL CAN MOUNT TO EITHER SIDE OF L-FOOT (UPSLOPE VS. DOWNSLOPE)
- FOR UNEVEN ROOFS, USE 1" STANDOFF SHAFT AS A SPACER UNDER THE L-FOOT



FLASHED L-FOOT MOUNTING DETAIL



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San Luis Obispo, CA 93401 USA
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CUSTOMER APPROVAL
PROJECT FOREMAN

PLANS REVIEWED:
BOM REVIEWED:

SUTTON RESIDENCE
833 LA FARGE AVE.
LOUISVILLE, CO 80027

PV-03

REV: A
4/20/2010

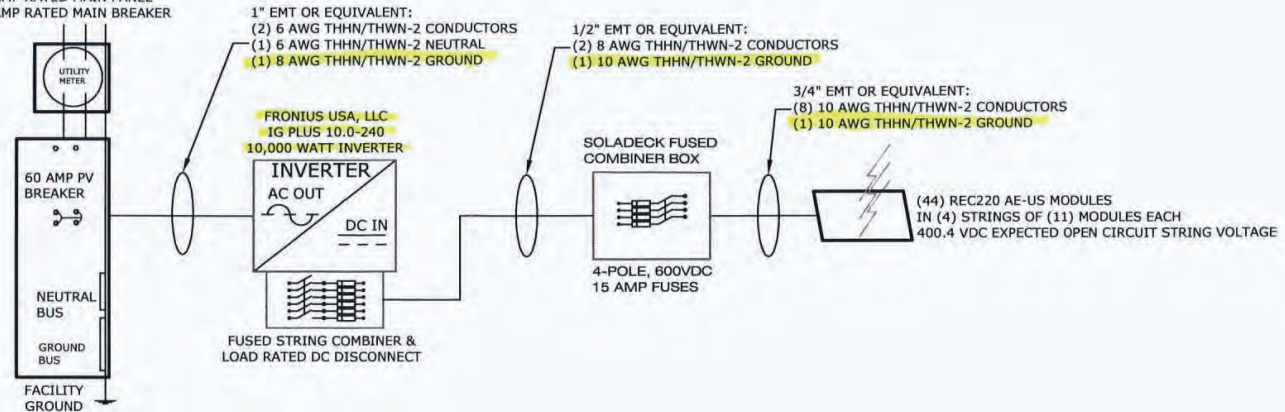
ELECTRICAL DETAIL

ENGINEER	DRAFTER	DESCRIPTION
C. CHUTE	K. SHUMWAY	PHOTOVOLTAIC SYSTEM

NOTE TO INSTALLER:

ADD NEW 60 AMP CUTLER-HAMMER BREAKER
FOR PV SYSTEM

120/240 VAC
SINGLE PHASE SERVICE
225 AMP RATED MAIN PANEL
200 AMP RATED MAIN BREAKER



ELECTRICAL NOTES:

- GROUNDING WIRE WILL BE BONDED DIRECTLY TO FACILITY GROUND
- ELECTRICAL SYSTEM GROUNDING WILL COMPLY WITH 2008 NEC 250
- MODULE INTERCONNECTIONS WILL BE MADE WITH 10 AWG RHW/USE-2 WIRE.
- ARRAY CONDUCTORS ARE SIZED FOR DERATED CURRENT PER STRING

8.4 AMPS SHORT CIRCUIT CURRENT

125% DERATING FOR EXTREME IRRADIANCE CONDITIONS
(NEC 690-8 (a))

125% DERATING, CONTINUOUS PHOTOVOLTAIC SOURCE CURRENT
(NEC 690-8 (b))

156% TOTAL DERATING (COMBINATION OF ABOVE)

13.13 AMPS TOTAL CAPACITY

(AMPS TOTAL CAPACITY = STRING SHORT CIRCUIT CURRENT MULTIPLIED BY TWO ABOVE DERATES, 1.25 X 1.25 X SHORT CIRCUIT CURRENT)

5. INVERTER PROVIDES NECESSARY GROUND FAULT PROTECTION AS REQUIRED BY 2008 NEC 690.5 GROUND FAULT PROTECTION.

6. PHOTOVOLTAIC SYSTEM HAS CONDUCTOR BONDED TO GROUND IN INVERTER AS REQUIRED BY 2008 NEC 690.41 SYSTEM GROUNDING, AND 690.42 POINT OF SYSTEM GROUNDING CONNECTION.

7. WHERE DC PHOTOVOLTAIC OUTPUT CIRCUITS ARE RUN INSIDE A BUILDING THEY SHALL BE CONTAINED IN A METALLIC RACEWAY OR ENCLOSURE FROM THE POINT OF PENETRATION TO THE FIRST READILY ACCESSIBLE DISCONNECTING MEANS - 2008 NEC 690.31 (E)

8. USE UL APPROVED BONDING FITTINGS AT ALL CONDUIT/BOX JUNCTIONS.

9. MODULES CONFORM TO AND ARE LISTED UNDER UL 1703

10. INVERTER CONFORMS TO AND IS LISTED UNDER UL 1741

MODULE CHARACTERISTICS

REC 220AE-USA	220	Watts
Open Circuit Voltage	36.4	V
Open Circuit Voltage: (NEC 690.7)	43.9	V
Max Power Voltage	28.4	V
Short Circuit Current	8.4	Amps
Short Circuit Current: (NEC 690.8(A)(1))	10.5	Amps

SYSTEM CHARACTERISTICS
STICKER

System Size	9.68	kW
System Open Circuit Voltage	482.9	V
System Operating Voltage	308.0	V
Max Allowable DC Voltage	600	V
System Operating Current	31.2	Amps
System Short Circuit Current	42.0	Amps

LABEL: DC DISCONNECT OR INVERTER

- WARNING -
THIS EQUIPMENT IS
POWERED BY A
PHOTOVOLTAIC POWER
SOURCE

LABEL: MAIN SERVICE PANEL,
EXISTING SUBPANELS, AND
EXISTING EQUIPMENT TIED
INTO.

- WARNING -
DO NOT ENTER
THIS EQUIPMENT IS POWERED
BY A PHOTOVOLTAIC POWER
SOURCE

LABEL: REC INSTALLED
JUNCTION BOXES, COMBINER
BOXES AND GUTTER BOXES.

- WARNING -
ELECTRIC SHOCK HAZARD
DO NOT TOUCH TERMINALS.
TERMINALS ON BOTH LINE AND LOAD
SIDE MAY BE ENERGIZED

LABEL: REC INSTALLED
SUBPANELS AND FUSE BOXES.

**PHOTOVOLTAIC
DISCONNECT**
- WARNING -
ELECTRIC SHOCK HAZARD
DO NOT TOUCH TERMINALS.
TERMINALS ON BOTH LINE AND LOAD
SIDE MAY BE ENERGIZED

LABEL: AC, DC DISCONNECT OR
OTHER DISCONNECTING MEANS.



REC SOLAR, INC.
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San Luis Obispo, CA 93401 USA
Phone (888)657-6527 Fax (805)528-9701

CUSTOMER APPROVAL
PROJECT FOREMAN

PLANS REVIEWED:
BOM REVIEWED:

SUTTON RESIDENCE
833 LA FARGE AVE.
LOUISVILLE, CO 80027

PV-04

REV: A
4/20/2010



City of Louisville

749 Main Street • Louisville, CO 80027

• FIELD INSPECTION REPORT •

(303) 335-4584

• Fax(303) 335-4588

WHEN WANTED	DATE 06/30/2010	TIME	OWNER UNITED PENTECOSTAL CHURCH OF LOUISV	
PROJECT PV		LOCATION 833 LAFARGE AV LSVL		
ACTIVITY E10-0052	PHONE 720-256-8281	CONTRACTOR		
BUILDING		ELECTRICAL		MECHANICAL
PLUMBING		SPECIAL		
FOOTING		CONST METER		VENT
FOUNDATION		ROUGH-IN		COM HOOD
H2O	P DRAIN	SERVICE		DUCT WORK
FRAME		UNDERGROUND		INSIDE GAS
INSULATION				DWV
DRYWALL				INSIDE WATER
FINAL		FINAL	X	FINAL
1. APPROVED 2. PARTIAL 3. REJECT		TIME/DATE MADE 6-30-10		INSP. INITIAL <i>AMS</i>
COMMENTS				
AM please 10:30 1 st				
NOTICE				
<i>Permit final</i>				
<i>Net Meter Release</i>				
NOTE: It is the contractor's responsibility to call for all meter releases after inspection approval has been received. Call x-cel - 938-2233 & WATER DEPT 335-4750.				
ELECTRIC METER RELEASE.		☐ HEAT	☐ CONSTRUCTION	☐ FINAL
GAS METER RELEASED		Person contacted		DATE TIME :
WEATHER:		SUPERVISOR SIGN:		REINSPECTION FEE REQUIRED



CITY OF LOUISVILLE

Final

BUILDING PERMIT

Solar Voltaic

Job Address: 833 LAFARGE AV LSVL Permit No: E10-0052

Parcel #: 008443001 Status: ISSUED
Issued: 04/29/2010
Expires: 07/28/2010

Owner: UNITED PENTECOSTAL CHURCH OF LOUISV

Contractor: REC SOLAR, INC.

Description of work: PV

Total Valuation: \$28,470.00

Item#	Description	Account Code	Fee	Payments
1200	ELECTRICAL FEES	010-001-42240-00(3	300.00	300.00
2150	BLDR CO USE TAX	010-000-20170-(9)	92.53	92.53
			TOTAL FEES PAID	\$392.53

MUST BE POSTED

Caution, Before Digging Call 1-800-922-1987 For Utility Locations
Call 303-335-4583 For Inspections-Inspections Must Be Called By 3:00 P.M.
FOR NEXT BUSINESS DAY INSPECTION

Required Inspections:

Rough(if required):

N/A
Approved By/Date

Comment/Conditions

Final:

APC-6-30-10
Approved By/Date

Comment/Conditions

NOTICE

This permit becomes null and void if work or construction authorized is not commenced within 90 days, or if construction or work is suspended or abandoned for a period of 90 days at any time after work is commenced. When required, a Certification of Occupancy must be obtained prior to structure's or areas being occupied. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or performance of construction.

Signature of Applicant

[Signature]

Date 4/29/2010



CITY OF LOUISVILLE

BUILDING PERMIT

Job Address: 833 LAFARGE AV LSVL Permit No: E10-0058

Parcel #: 008443001 Status: ISSUED
Issued: 05/05/2010
Expires: 08/03/2010
Owner: DAVE SUTTON

Contractor:

Description of work: elec. service change

Total Valuation: \$1,500.00

Item#	Description	Account Code	Fee	Payments
1200	ELECTRICAL FEES	010-001-42240-00(3	82.00	82.00
2150	BLDR CO USE TAX	010-000-20170-(9)	4 88	4 88
			TOTAL FEES PAID	\$86.88

MUST BE POSTED

Caution, Before Digging Call 1-800-922-1987 For Utility Locations
Call 303-335-4583 For Inspections-Inspections Must Be Called By 3:00 P.M.
FOR NEXT BUSINESS DAY INSPECTION

Required Inspections:

Final:

Approved By/Date

Comment/Conditions

NOTICE

This permit becomes null and void if work or construction authorized is not commenced within 90 days, or if construction or work is suspended or abandoned for a period of 90 days at any time after work is commenced. When required, a Certification of Occupancy must be obtained prior to structure's or areas being occupied. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or performance of construction.

Signature of Applicant

Date

5/5/10



CITY OF LOUISVILLE- BUILDING SAFETY DIVISION RESIDENTIAL PERMIT APPLICATION

ADDRESS OF JOB: 833 Lafarge Ave **PERMIT NUMBER:** E10-0058

LEGAL DESCRIPTION LOT. BLOCK. SUBDIVISION

CLASS OF WORK: NEW () ADDITION () ALTERATION: ☒ REPAIR () MOVE: () DEMOLITION ()

BUILDING OWNER: Dave Sutton **ADDRESS:** 833 Lafarge **PHONE:** 303 641-3009

CONTRACTOR NAME: Lightscape Elect **LOUISVILLE LICENSE #:** 2349 **CITY:** Louisville **ZIP:** 80027

JOB SUPERVISOR: Peter Matthews **MOBILE/PAGER #:** 720-318-8394 **JOBSITE PHONE #:**

ARCHITECT/ENGINEER OF RECORD: **NAME:** **ADDRESS:** **COLO LICENSE #:** **PHONE:** **CITY:** **ZIP:**

DESCRIPTION OF WORK: FILL IN ALL APPLICABLE BOXES **PLEASE INCLUDE SQ. FOOTAGE**

1st FLOOR AREA: 2nd FLOOR AREA: GARAGE AREA: OTHER: exterior

BASEMENT AREA: TO BE FINISHED: UNFINISHED: SPRINKLED AREA: A/C AREA

TOTAL LOT AREA (SQ.FT.): **ROOF COVERING:** **EXTERIOR WALL COVERING:**

CONSTRUCTION TYPE: **OCCUPANCY:** **TYPE OF FOUNDATIONS:** **TOTAL UNITS:**

ELECTRICAL PERMIT INFORMATION: PERMIT TO INCLUDE ELECTRICAL WORK () NOT APPLICABLE ()

CONSTRUCTION SERVICE ENTRANCE SIGNS ELECTRICAL APPLIANCE FIRE DETECTION SYSTEM

METER SIZE 200A SIZE 200A TYPE TYPE TYPE

PLUMBING PERMIT INFORMATION: PERMIT TO INCLUDE PLUMBING WORK () NOT APPLICABLE ()

BACKFLOW DEVICE WATER HEATER FIRE SPRINKLER SYSTEM WATER REPAIR SEWER REPAIR

MAKE/MODEL BTU INPUT AREA

MECHANICAL PERMIT INFORMATION: PERMIT TO INCLUDE MECHANICAL WORK () NOT APPLICABLE ()

FURNACE TYPE OTHER GAS APPLIANCES GAS PIPE SCHEMATIC ATTACHED

BTU INPUT TYPE SIZE LENGTH

WORK DESCRIPTION/REMARKS: upgrade electrical service with new 200a main breaker panel and meter can. Overhead service drop to remain. Refeed all existing branch circuits as is. no additional work.

VALUATION \$ 1500.00 **TOTAL PERMIT FEE \$** 86.88

INCLUDE LABOR & MATERIALS (BUILDING DEPARTMENT WILL CALCULATE)

APPROVALS	SIGNATURES	DATE	COMMENTS
BUILDING PLAN CHECK			
ELECTRICAL PLAN CHECK			
ZONING PLAN CHECK			
FIRE DEPT. PLAN CHECK			
ELEVATOR REVIEW			

THIS APPLICATION BECOMES NULL AND VOID IF PERMIT IS NOT ISSUED WITHIN 180 DAYS OF APPLICATION DATE. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY STATE OR LOCAL REGULATING CONSTRUCTION OR PERFORMANCE OF CONSTRUCTION. PERMIT AND TAP FEES ARE SUBJECT TO CHANGE AT THE BEGINNING OF EACH CALENDAR YEAR. NOTE: A SEPARATE PERMIT IS REQUIRED FOR SIGNS, FENCES, IRRIGATION SYSTEMS & SWIMMING POOLS UNLESS NOTED ON THIS APPLICATION. FEES ARE ASSESSED AT TIME OF PERMIT ISSUANCE AND ARE SUBJECT TO CITY ORDINANCE IN EFFECT AT THAT TIME.

SIGNATURE OF APPLICANT/OWNER REPRESENTATIVE: Peter Matthews **DATE:** 5/5/10 **PHONE:** 720-318-8394

PRINTED NAME: Peter Matthews **APPLICANT'S ADDRESS:** 5763 Arapahoe Ave Suite #J
Boulder, CO. 80303

NOTE: FOR A MULTIPLE TRADE PERMIT THE SUB-CONTRACTOR SIGNATURE FORM WITH ORIGINAL SIGNATURES IS REQUIRED PRIOR TO ISSUANCE OF THE PERMIT

CITY OF LOUISVILLE
BUILDING SAFETY DIVISION
749 MAIN STREET
LOUISVILLE, COLORADO 80027

Permit Number: E10-0058
Address: 833 LAFARGE AV LSVL
Receipt No: 000047602
Total Payment Amount: \$86.88 05/05/2010 11:56
Notation: Peter Matthews

ITEM#	DESCRIPTION	ACCOUNT CODE	PAYMENTS
1200	ELECTRICAL FEES	010-001-42240-00(3)	82.00
2150	BLDR CO USE TAX	010-000-20170-(9)	4.88



City of Louisville

749 Main Street • Louisville, CO 80027

• FIELD INSPECTION REPORT •

(303) 335-4584

• Fax(303) 335-4588

WHEN WANTED	DATE 06/24/2010	TIME	OWNER DAVE SUTTON	
PROJECT elec service change			LOCATION 833 LAFARGE AV LSVL	
ACTIVITY E10-0058	PHONE 303-641-3009		CONTRACTOR Dave	
BUILDING		ELECTRICAL		MECHANICAL
FOOTING		CONST METER		VENT
FOUNDATION		ROUGH-IN		COM HOOD
H2O ☐ P DRAIN ☐		SERVICE ☒		DUCT WORK
FRAME		UNDERGROUND		INSIDE GAS
INSULATION				
DRYWALL				
FINAL		FINAL		FINAL
1. APPROVED 2. PARTIAL 3. REJECT		TIME/DATE MADE 6-24-10		INSP. INITIAL <i>ARS</i>
COMMENTS				
AM please				
NOTICE				
<i>Permit Final</i>				
NOTE: It is the contractor's responsibility to call for all meter releases after inspection approval has been received. Call x-cal - 939-2233 & WATER DEPT. 335-4750.				
ELECTRIC METER RELEASE		☐ HEAT ☐ CONSTRUCTION ☐ FINAL		DATE _____ TIME _____
GAS METER RELEASED		Person contacted _____		DATE _____ TIME _____
WEATHER		SUPERVISOR SIGN		REINSPECTION FEE REQUIRED



CITY OF LOUISVILLE

Final
✓**BUILDING PERMIT**

Job Address: 833 LAFARGE AV LSVL Permit No: E10-0058

Parcel #: 008443001
Owner: DAVE SUTTONStatus: ISSUED
Issued: 05/05/2010
Expires: 08/03/2010

Contractor:

Description of work: elec. service change

Total Valuation: \$1,500 00

Item#	Description	Account Code	Fee	Payments
1200	ELECTRICAL FEES	010-001-42240-00 (3	82.00	82.00
2150	BLDR CO USE TAX	010-000-20170-(9)	4.88	4 88
			TOTAL FEES PAID	\$86 88

MUST BE POSTED

9:30-12

Caution, Before Digging Call 1-800-922-1987 For Utility Locations
Call 303-335-4583 For Inspections-Inspections Must Be Called By 3:00 P.M.
FOR NEXT BUSINESS DAY INSPECTION

Required Inspections:Final: *[Signature]* 6-24-10
Approved By/Date_____
Comment/Conditions**NOTICE**

This permit becomes null and void if work or construction authorized is not commenced within 90 days, or if construction or work is suspended or abandoned for a period of 90 days at any time after work is commenced. When required, a Certification of Occupancy must be obtained prior to structure's or areas being occupied. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or performance of construction.

Signature of Applicant

[Signature]

Date 5/5/10



CITY OF LOUISVILLE

BUILDING PERMIT

Job Address 833 LAFARGE AV LSVL Permit No B09-0282

Parcel # 008443001 Status ISSUED
Issued 10/30/2009
Expires 01/28/2010

Owner DAVID SUTTON

Contractor

Description of work 4 windows and a door w/ framing modifications

Total Valuation \$5,100 00

Item#	Description	Account Code	Fee	Payments
1000	BUILDING FEES	010-001-42200-00(1	125 25	125 25
1100	PLAN CHECK FEES	010-001-42200-00(2	81 41	81 41
2150	BLDR CO USE TAX	010-000-20170-(9)	16 57	16 57
TOTAL FEES PAID			\$223 23	

MUST BE POSTED

Caution, Before Digging Call 1-800-922-1987 For Utility Locations
Call 303-335-4583 For Inspections-Inspections Must Be Called By 3 00 P M
For Next Business Day Inspection

Required Inspections

Final

Approved By/Date

Comment/Conditions

NOTICE

This permit becomes null and void if work or construction authorized is not commenced within 90 days or if construction or work is suspended or abandoned for a period of 90 days at any time after work is commenced. When required a Certification of Occupancy must be obtained prior to structure s or areas being occupied. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or performance of construction.

Signature of Applicant

Date 10 30 09



CITY OF LOUISVILLE - BUILDING SAFETY DIVISION RESIDENTIAL PERMIT APPLICATION

ADDRESS OF JOB: 833 La Farge Ave PERMIT NUMBER: B09-0282

LEGAL DESCRIPTION LOT: 10011 BLOCK: 5 SUBDIVISION: Jefferson Place

CLASS OF WORK: NEW () ADDITION: () ALTERATION: (X) REPAIR: () MOVE: () DEMOLITION: ()

BUILDING OWNER: Dave Sutton ADDRESS: Same PHONE: 303-641-3009

CONTRACTOR NAME: LOUISVILLE LICENSE # CITY: ZIP:

ADDRESS: CITY: PHONE: ZIP:

JOB SUPERVISOR: MOBILE/PAGER# JOBSITE PHONE #:

ARCHITECT/ENGINEER OF RECORD: COLO. LICENSE # 12123 PHONE:

NAME: Kenneth Rollin ADDRESS: 840 Eagle Drive CITY: Eaton ZIP: 80615

DESCRIPTION OF WORK: FILL IN ALL APPLICABLE BOXES PLEASE INCLUDE SQ. FOOTAGE

1st FLOOR AREA: 2nd FLOOR AREA: GARAGE AREA: OTHER:

BASEMENT AREA: FOUR EGRESS WINDOWS AND ONE DOOR - DOUBLE

TO BE FINISHED: UNFINISHED: SPRINKLED AREA: A/C AREA:

TOTAL LOT AREA (SQ.FT): ROOF COVERING: 72 SF EXTERIOR WALL COVERING:

CONSTRUCTION TYPE: OCCUPANCY: TYPE OF FOUNDATIONS: Cement TOTAL UNITS:

ELECTRICAL PERMIT INFORMATION: PERMIT TO INCLUDE ELECTRICAL WORK () NOT APPLICABLE (X)

CONSTRUCTION SERVICE ENTRANCE SIGNS ELECTRICAL APPLIANCE FIRE DETECTION SYSTEM

METER SIZE: SIZE: TYPE: TYPE: TYPE:

PLUMBING PERMIT INFORMATION: PERMIT TO INCLUDE PLUMBING WORK () NOT APPLICABLE (X)

BACKFLOW DEVICE WATER HEATER FIRE SPRINKLER SYSTEM WATER REPAIR SEWER REPAIR

MAKE/MODEL: BTU INPUT: AREA:

MECHANICAL PERMIT INFORMATION: PERMIT TO INCLUDE MECHANICAL WORK () NOT APPLICABLE (X)

FURNACE TYPE OTHER GAS APPLIANCES GAS PIPE SCHEMATIC ATTACHED

BTU INPUT: TYPE: SIZE: LENGTH:

WORK DESCRIPTION/REMARKS: Lengthening four windows for egress, cutting a

Fifth window wider to accommodate a patio door, four window wells,

one sunken patio at patio door, 72 SF. roof over patio & door

VALUATION \$ 5100 TOTAL PERMIT FEES 223.23

INCLUDE LABOR & MATERIALS (BUILDING DEPARTMENT WILL CALCULATE)

APPROVALS SIGNATURES DATE COMMENTS

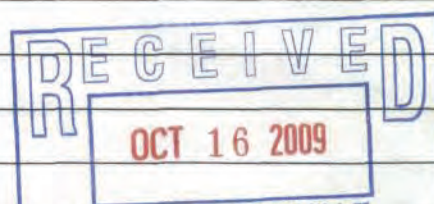
BUILDING PLAN CHECK Rd 10-30-09

ELECTRICAL PLAN CHECK

ZONING PLAN CHECK Geri 10.20.9

FIRE DEPT. PLAN CHECK

ELEVATOR REVIEW



THIS APPLICATION BECOMES NULL AND VOID IF PERMIT IS NOT ISSUED WITHIN 180 DAYS OF APPLICATION DATE. THEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS

AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CIRCUMVENT THE PROVISIONS OF ANY STATE OR LOCAL

REGULATING CONSTRUCTION OR PERFORMANCE OF CONSTRUCTION. PERMIT AND TAP FEES ARE SUBJECT TO CHANGE AT THE BEGINNING OF EACH CALENDAR YEAR. HOMEOWNERS MUST MAINTAIN RECORDS FOR PERMITS, FEES, IRRIGATION SYSTEMS &

SWIMMING POOLS UNLESS NOTED ON THIS APPLICATION. FEES ARE ASSESSED AT TIME OF PERMIT ISSUANCE AND ARE SUBJECT TO CITY ORDINANCE IN EFFECT AT THAT TIME.

SIGNATURE OF APPLICANT/OWNER REPRESENTATIVE: X DS DATE: 10/16/09 PHONE: 303-641-3009

PRINTED NAME: Dave Sutton APPLICANT'S ADDRESS: 833 La Farge Ave

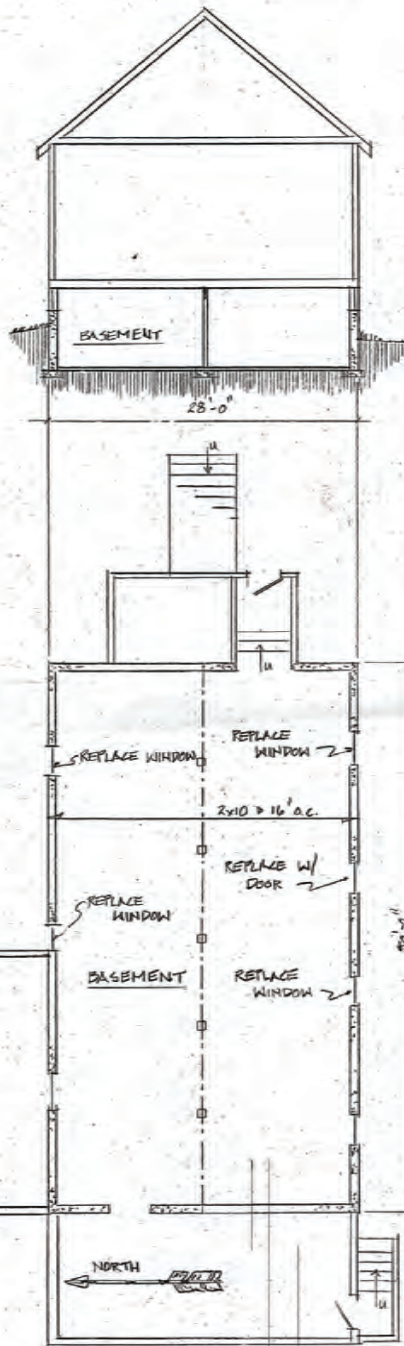
NOTE: FOR A MULTIPLE TRADE PERMIT THE SUB-CONTRACTOR SIGNATURE FORM WITH ORIGINAL SIGNATURES IS REQUIRED PRIOR TO

ISSUANCE OF THE PERMIT

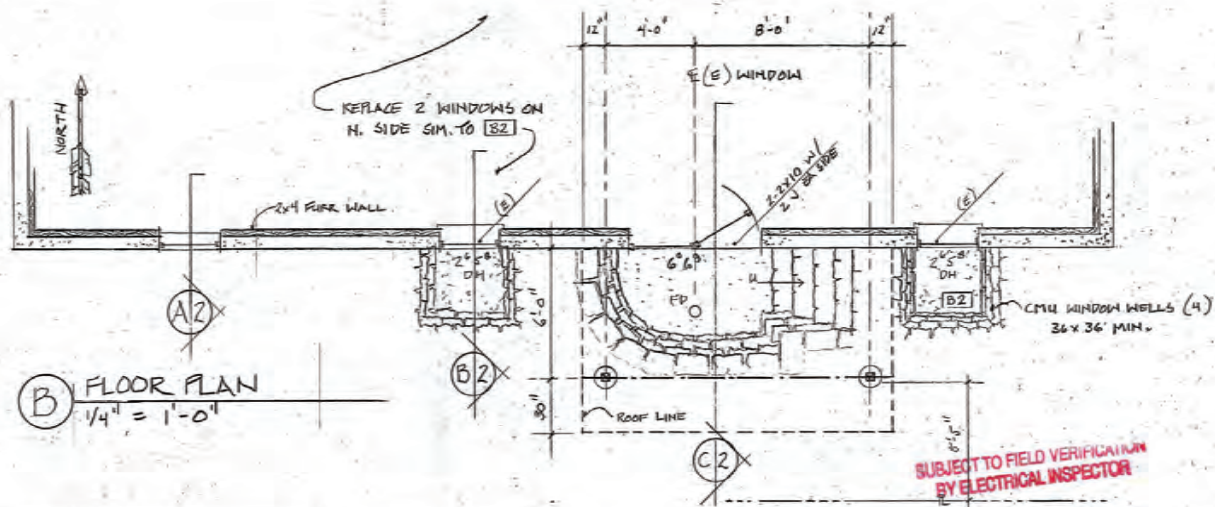
CITY OF LOUISVILLE
BUILDING SAFETY DIVISION
749 MAIN STREET
LOUISVILLE, COLORADO 80027

Permit Number B09-0282
Address 833 LAFARGE AV LSVL
Receipt No 000045966
Total Payment Amount \$223 23 10/30/2009 16 20
Notation Dave Sutton

ITEM#	DESCRIPTION	ACCOUNT CODE	PAYMENTS
1000	BUILDING FEES	010-001-42200-00(1)	125 25
1100	PLAN CHECK FEES	010-001-42200-00(2)	81 41
2150	BLDR CO USE TAX	010-000-20170-(9)	16 57



(A) EXISTING PLAN & SECTION
1/8" = 1'-0"



(B) FLOOR PLAN
1/4" = 1'-0"



(C) SOUTH ELEVATION
1/4" = 1'-0"

*Each level will need Hardwired
Smoke detectors & each Bedroom will
need at least Battery operated Smoke detectors
at time of final*

Make Sure No New Windows Need to be Tempred

*a switched light is Required
on Exterior of any main door
to outside*

A PLAN TO REPLACE 5 BASEMENT WINDOWS WITH
4 EGRESS WINDOWS, 1 DOOR, & A ROOF FOR
DAVE SUTTON
835 LA FARGE ST. LOUISVILLE, CO 80027

The approval of plans and
specifications does NOT permit the
violation of the 2003 International
Series of Codes or other city of
Louisville ordinance or State Law.

Current Codes enforced by the
Louisville Building Safety
Division are the 2003 International
Series of Codes and 2002 NEC

BUILDING DEPT. COPY

These plans have been reviewed for code compliance
in accordance with the adopted building codes for
The City of Louisville
Building Safety Dept.
By: *RA*
Date: *10-30-07*

Act of Permit

RECEIVED
OCT 16 2009
CITY OF LOUISVILLE
BUILDING SAFETY

REGISTERED
CITY OF LOUISVILLE
BUILDING SAFETY
12123
PROFESSIONAL ENGINEER

BY: *TR* 8/14/09





City of Louisville

749 Main Street Louisville CO 80027

• FIELD INSPECTION REPORT •

(303) 335-4584

• Fax(303) 335-4588



WHEN WANTED		DATE 01/11/2011	TIME	OWNER DAVID SUTTON	
PROJECT 4 windows and a door w/ framing modifications				LOCATION 833 LAFARGE AV LSVL	
ACTIVITY B09 0282		PHONE 303-641 3009		CONTRACTOR Dave	

BUILDING	ELECTRICAL	MECHANICAL	PLUMBING	SPECIAL
FOOTING	CONST METER	VENT	OUTSIDE WATER	EX LATH
FOUNDATION	ROUGH IN	COM HOOD	BUILDING SEWER	JOB CHECK
H2O ☐ P DRAIN ☐	SERVICE	DUCT WORK	UNDERGROUND	CONSULTATION
FRAME	UNDERGROUND	INSIDE GAS	DWV	COMPLAINT
INSULATION			INSIDE WATER	LOT DRAINAGE
DRYWALL			WINDOW	LANDSCAPE
FINAL	FINAL	FINAL	FINAL	OTHER DPT

1 **APPROVED** 2 PARTIAL 3 REJECT
 TIME/DATE MADE 1-11-11
 INSP INITIAL *[Signature]*

COMMENTS
 AM please Window frame ~~be~~ done open

NOTICE

Window Frame OK
 Need to see insulation Done
 Need to move Elec. Box Done
 OK to Drywall

NOTE It is the contractor's responsibility to call for all meter releases after inspection approval has been received Call x-cel 938 2233 & WATER DEPT 335-4750

ELECTRIC METER RELEASE	☐ HEAT	☐ CONSTRUCTION	☐ FINAL	DATE _____	TIME _____
GAS METER RELEASED	Person contacted _____			DATE _____	TIME _____
WEATHER	SUPERVISOR SIGN			REINSPECTION FEE REQUIRED	



City of Louisville
749 Main Street Louisville CO 80027

• FIELD INSPECTION REPORT •
(303) 335-4584 • Fax(303) 335-4588

WHEN WANTED		DATE 01/13/2011	TIME	OWNER DAVID SUTTON	
PROJECT 4 windows and a door w/ framing modifications				LOCATION 833 LAFARGE AV LSVL	
ACTIVITY B09 0282		PHONE 303-641 3009		CONTRACTOR david sutton	
BUILDING		ELECTRICAL		MECHANICAL	
FOOTING		CONST METER		VENT	
FOUNDATION		ROUGH IN		COM HOOD	
H2O P DRAIN		SERVICE		DUCT WORK	
FRAME		UNDERGROUND		INSIDE GAS	
INSULATION					
DRYWALL					
FINAL		FINAL		FINAL	
1 APPROVED 2 PARTIAL 3 REJECT		TIME/DATE MADE 1-13-10		INSP INITIAL ARS	
COMMENTS					
drywall screw insp Am please					
NOTICE					
Drywall O.K.					
NOTE It is the contractor's responsibility to call for all meter releases after inspection approval has been received Call x-cal 938 2233 & WATER DEPT 335-4760					
ELECTRIC METER RELEASE		☐ HEAT ☐ CONSTRUCTION ☐ FINAL		DATE TIME	
GAS METER RELEASED		Person contacted		DATE TIME	
WEATHER		SUPERVISOR SIGN		REINSPECTION FEE REQUIRED	

No final insp called in-finaled by
drive by that work was
completed-no onsite insp



CITY OF LOUISVILLE

BUILDING PERMIT

Job Address: 833 LAFARGE AV LSVL Permit No: B04-0071
Parcel #: 008443001 Status: ISSUED
Owner: UNITED PENTECOSTAL CHURCH OF LOUISV Issued: 03/29/2004
Contractor: Expires: 06/27/2004
Description of work: REROOF CHURCH
Total Valuation: \$3,500.00

Item#	Description	Account Code	Fee	Payments
1000	BUILDING FEES	010-001-42200-00 (1)	97.25	97.25
2150	BLDR CO USE TAX (.55%)	010-000-20170-(9)	9.63	9.63
2200	USE TAX (COMM) (3%)	042-001-41220-(10)	52.50	52.50
2300	USE TAX OPEN SPACE.375%	028-001-41220-(11)	6.56	6.56
			TOTAL FEES PAID	\$165.94

MUST BE POSTED

Caution, Before Digging Call 1-800-922-1987 For Utility Locations
Call 303-335-4583 For Inspections-Inspections Must Be Called By 4:00 P.M.
For Next Business Day Inspection

NOTE: All roof inspections require a ladder on site and access to the ladder and roof. Failure to provide either will result in a reinspection fee being assessed. Check installation requirements for high wind application. For 3-tab six fastners per shingle are typically required.

Required Inspections:

Mid-roof:

Approved By/Date

Comment/Conditions

Final:

Approved By/Date

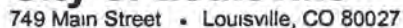
Comment/Conditions

NOTICE

This permit becomes null and void if work or construction authorized is not commenced within 90 days, or if construction or work is suspended or abandoned for a period of 90 days at any time after work is commenced. When required, a Certification of Occupancy must be obtained prior to structure's or areas being occupied. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or performance of construction.

Signature of Applicant

Date 3-29-04



• Fax(303) 335-4588

[illegible]



CITY OF LOUISVILLE- BUILDING SAFETY DIVISION
COMMERCIAL PERMIT APPLICATION

ADDRESS OF JOB: 833 LA FARGE Louisville, Co PERMIT NUMBER: B04-0071

LEGAL DESCRIPTION LOT BLOCK SUBDIVISION

CLASS OF WORK NEW () ADDITION () ALTERATION () REPAIR (X) MOVE () DEMOLITION ()

BUILDING United Pentecostal PHONE

OWNER UPCI ADDRESS 833 LA FARGE CITY Louisville ZIP 80027

CONTRACTOR LOUISVILLE LICENSE # CITY PHONE

NAME ADDRESS ZIP

JOB SUPERVISOR JUAN ACUNA MOBILE/PAGER# (303) 905-0619 JOBSITE PHONE # (303) 905-0619

ARCHITECT/ENGINEER OF RECORD COLO LICENSE # PHONE:

NAME ADDRESS CITY: ZIP:

DESCRIPTION OF WORK: FILL IN ALL APPLICABLE BOXES PLEASE INCLUDE SQ. FOOTAGE

1ST FLOOR AREA. 2ND FLOOR AREA. GARAGE AREA OTHER Roof

BASEMENT AREA TO BE FINISHED UNFINISHED SPRINKLED AREA A/C AREA

TOTAL LOT AREA (SQ.FT): ROOF COVERING: 3300sq EXTERIOR WALL COVERING:

CONSTRUCTION TYPE: OCCUPANCY: TYPE OF FOUNDATIONS: TOTAL UNITS:

ELECTRICAL PERMIT INFORMATION: PERMIT TO INCLUDE ELECTRICAL WORK () NOT APPLICABLE (X)

CONSTRUCTION SERVICE ENTRANCE SIGNS ELECTRICAL APPLIANCE FIRE DETECTION SYSTEM

METER SIZE SIZE TYPE TYPE TYPE

PLUMBING PERMIT INFORMATION: PERMIT TO INCLUDE PLUMBING WORK (X) NOT APPLICABLE ()

BACKFLOW DEVICE WATER HEATER FIRE SPRINKLER SYSTEM WATER REPAIR SEWER REPAIR

MAKE/MODEL BTU INPUT AREA

MECHANICAL PERMIT INFORMATION: PERMIT TO INCLUDE MECHANICAL WORK () NOT APPLICABLE (X)

FURNACE TYPE OTHER GAS APPLIANCES GAS PIPE SCHEMATIC ATTACHED

BTU INPUT TYPE SIZE LENGTH

USE CATEGORY:

COMMERCIAL / SHOP CENTER 50,000 SF OR LESS () 50,001-200,000 SF () OVER 200,000 SF ()

OFFICE 25,000 SF OR LESS () 25,001-100,000 SF () OVER 100,000 SF ()

BUSINESS PARK () LIGHT INDUSTRIAL () WAREHOUSING () INSTITUTIONAL ()

WORK DESCRIPTION/REMARKS.

Remove ALL ROOF shingles AND INSTALL NEW ONES

VALUATION \$ 3500

INCLUDE LABOR & MATERIALS

TOTAL PERMIT FEE \$ 165.94

(BUILDING DEPARTMENT WILL CALCULATE)

APPROVALS SIGNATURES DATE COMMENTS

BUILDING PLAN CHECK

ELECTRICAL PLAN CHECK

ZONING PLAN CHECK

FIRE DEPT. PLAN CHECK

ELEVATOR REVIEW

THIS APPLICATION BECOMES NULL AND VOID IF PERMIT IS NOT ISSUED WITHIN 180 DAYS OF APPLICATION DATE. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY STATE OR LO REGulating CONSTRUCTION OR PERFORMANCE OF CONSTRUCTION PERMIT AND TAP FEES ARE SUBJECT TO CHANGE AT THE BEGINNING OF EACH CALENDAR YEAR. NOTE: A SEPARATE PERMIT IS REQUIRED FOR SIGNS, FENCES, IRRIGATION SYSTEMS & SWIMMING POOLS UNLESS NOTED ON THIS APPLICATION. FEES ARE ASSESSED AT TIME OF PERMIT ISSUANCE AND ARE SUBJECT TO CITY ORDINANCE IN EFFECT AT THAT TIME.

SIGNATURE OF APPLICANT/OWNER REPRESENTATIVE: X DATE: 3-29-04 PHONE: (303) 905-0619

PRINTED NAME: JUAN M. ACUNA APPLICANT'S ADDRESS: 1674 INNS ST. Brookville Co.

NOTE: FOR A MULTIPLE TRADE PERMIT THE SUB-CONTRACTOR SIGNATURE FORM WITH ORIGINAL SIGNATURES IS REQUIRED PRIOR TO ISSUANCE OF THE PERMIT

CITY OF LOUISVILLE
BUILDING SAFETY DIVISION
749 MAIN STREET
LOUISVILLE, COLORADO 80027

Permit Number: B04-0071
Receipt No: 000020786
Total Payment Amount: \$165.94 03/29/2004 12:27
Notation: TORRE FUERTE

ITEM#	DESCRIPTION	ACCOUNT CODE	PAYMENTS
1000	BUILDING FEES	010-001-42200-00(1)	97.25
2150	BLDR CO USE TAX (.55%)	010-000-20170-(9)	9.63
2200	USE TAX (COMM) (3%)	042-001-41220-(10)	52.50
2300	USE TAX OPEN SPACE.37	028-001-41220-(11)	6.56



• FIELD INSPECTION REPORT •
(303) 335-4584 • Fax(303) 335-4588

[illegible]



CITY OF LOUISVILLE

BUILDING PERMIT

Job Address: 833 LAFARGE AV LSVL Permit No: C04-0241

Parcel #: 008443001

Status: ISSUED
Issued: 12/06/2004
Expires: 06/04/2005

Owner: DAVE SUTTON

Contractor: EC-3 CONSTRUCTION

Description of work: INTERIOR REMODEL

Total Valuation:

Valuation	Occupancy	Type	Factor	Sq Feet
	Totals...			\$65,000 00*

MUST BE POSTED

Caution, Before Digging Call 1-800-922-1987 For Utility Locations
Call 303-335-4583 For Inspections-Inspections Must Be Called By 3:00 P.M.
For Next Business Day Inspection

Description	Account Code	Fee	Payments
1050 COMBINATION BUILDING	010-001-42200-00	748.75	748.75
1100 PLAN CHECK FEES	010-001-42200-00 (2)	486.69	486.69
1250 COMBINATION ELECTRIC	010-001-42250-00 (2)	149.75	149.75
1450 COMBINATION PLUMBING	010-001-42250-00 (2)	74.88	74.88
2150 BLDR CO USE TAX (.55%)	010-000-20170-(9)	178.75	178.75
TOTAL FEES PAID		\$1,638.82	

NOTICE

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. When required, a Certification of Occupancy must be obtained prior to structure's or areas being occupied. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or performance of construction.

Signature of Applicant

Date

12-6-04

CITY OF LOUISVILLE
BUILDING SAFETY DIVISION
749 MAIN STREET
LOUISVILLE, COLORADO 80027

Permit Number: C04-0241
Address: 833 LAFARGE AV LSVL
Receipt No: 000028120
Total Payment Amount: \$1,638.82 12/06/2004 15:08
Notation: DM SUTTON

ITEM#	DESCRIPTION	ACCOUNT CODE	PAYMENTS
1050	COMBINATION BUILDING	010-001-42200-00	748.75
1100	PLAN CHECK FEES	010-001-42200-00(2)	486.69
1250	COMBINATION ELECTRIC	010-001-42250-00(25)	149.75
1450	COMBINATION PLUMBING	010-001-42250-00(27)	74.88
2150	BLDR CO USE TAX (.55%)	010-000-20170-(9)	178.75



CITY OF LOUISVILLE BUILDING SAFETY DIVISION
(PLEASE SIGN AND RETURN)

GENERAL & SUB CONTRACTOR'S SIGNATURE FORM FOR MULTIPLE TRADE PERMIT

PROJECT ADDRESS 833 LaFarge, Lsvl PERMIT NUMBER C040241

GENERAL CONTRACTOR

COMPANY NAME _____ CITY LICENSE # _____

ADDRESS _____ PHONE # _____

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT X

ELECTRICAL CONTRACTOR

COMPANY NAME Bighorn Electric CITY LICENSE # 03751

ADDRESS 637 Lincoln Ave Louisville PHONE # (303) 665-3373

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT X Benson F. Delaney

MECHANICAL CONTRACTOR

COMPANY NAME _____ CITY LICENSE # _____

ADDRESS _____ PHONE # _____

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT X

PLUMBING CONTRACTOR

COMPANY NAME _____ CITY LICENSE # _____

ADDRESS _____ PHONE # _____

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT X

OTHER/SPECIALTY CONTRACTOR

COMPANY NAME _____ CITY LICENSE # _____

ADDRESS _____ PHONE # _____

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT X

THE GENERAL CONTRACTOR HERBY ACCEPTS RESPONSIBILITY TO NOTIFY THE BUILDING SAFETY DIVISION OF ANY CHANGE IN ANY SUBCONTRACTORS RECORD.

CHAPTER 5 12 OF THE LOUISVILLE MUNICIPAL CODE REQUIRES THAT ALL CONTRACTORS WORKING ON CONSTRUCTION PROJECTS WITHIN THE CITY OBTAIN A CITY CONTRACTORS LICENSE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ASSURE THAT ALL SUBCONTRACTORS DOING LABOR FOR PAY ON THE PROJECT HAVE REGISTERED WITH THE CITY.

ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT OR THE APPROVAL OF PLANS, OR SPECIFICATIONS DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

749 Main Street, Louisville CO. 80027

(303) 335-4584 Fax: (303) 335-4588



CITY OF LOUISVILLE- BUILDING SAFETY DIVISION RESIDENTIAL PERMIT APPLICATION

ADDRESS OF JOB:

PERMIT NUMBER:

LEGAL DESCRIPTION	LOT:	BLOCK:	SUBDIVISION:
CLASS OF WORK	NEW ()	ADDITION ()	ALTERATION ☒ REPAIR () MOVE () DEMOLITION ()
BUILDING OWNER	ADDRESS		PHONE
CONTRACTOR	LOUISVILLE LICENSE #	CITY:	ZIP:
NAME:	ADDRESS	CITY:	PHONE:
JOB SUPERVISOR	MOBILE/PAGER#	LOUISVILLE	ZIP:
ARCHITECT/ENGINEER OF RECORD:	COLO. LICENSE #	PHONE:	
NAME:	ADDRESS:	CITY:	ZIP:

DESCRIPTION OF WORK: FILL IN ALL APPLICABLE BOXES PLEASE INCLUDE SQ. FOOTAGE

1 st FLOOR AREA	2 nd FLOOR AREA	GARAGE AREA	OTHER
BASEMENT AREA			
TO BE FINISHED	UNFINISHED	SPRINKLED AREA	A/C AREA
TOTAL LOT AREA (SQ.FT):	ROOF COVERING:	EXTERIOR WALL COVERING:	
CONSTRUCTION TYPE:	OCCUPANCY:	TYPE OF FOUNDATIONS:	TOTAL UNITS:
ELECTRICAL PERMIT INFORMATION: PERMIT TO INCLUDE ELECTRICAL WORK (S) NOT APPLICABLE ()			
CONSTRUCTION	SERVICE ENTRANCE	SIGNS	ELECTRICAL APPLIANCE
METER SIZE	SIZE	TYPE	TYPE
PLUMBING PERMIT INFORMATION: PERMIT TO INCLUDE PLUMBING WORK (S) NOT APPLICABLE ()			
BACKFLOW DEVICE	WATER HEATER	FIRE SPRINKLER SYSTEM	WATER REPAIR
MAKE/MODEL	BTU INPUT	AREA	SEWER REPAIR
MECHANICAL PERMIT INFORMATION: PERMIT TO INCLUDE MECHANICAL WORK (S) NOT APPLICABLE ()			
FURNACE TYPE	OTHER GAS APPLIANCES	GAS PIPE SCHEMATIC ATTACHED	
BTU INPUT	TYPE	SIZE	LENGTH

WORK DESCRIPTION/REMARKS: Remodel of Building, first floor primarily, kitchen, bath, etc

VALUATION \$ 3000

TOTAL PERMIT FEE \$

INCLUDE LABOR & MATERIALS

(BUILDING DEPARTMENT WILL CALCULATE)

APPROVALS	SIGNATURES	DATE	COMMENTS
BUILDING PLAN CHECK			
ELECTRICAL PLAN CHECK			
ZONING PLAN CHECK			
FIRE DEPT. PLAN CHECK			
ELEVATOR REVIEW			

Included in original permit fee 7/21/05

THIS APPLICATION BECOMES NULL AND VOID IF PERMIT IS NOT ISSUED WITHIN 180 DAYS OF APPLICATION DATE. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY STATE OR LOCAL REGULATING CONSTRUCTION OR PERFORMANCE OF CONSTRUCTION PERMIT AND TAP FEES ARE SUBJECT TO CHANGE AT THE BEGINNING OF EACH CALENDAR YEAR. NOTE: A SEPARATE PERMIT IS REQUIRED FOR SIGNS, FENCES, IRRIGATION SYSTEMS & SWIMMING POOLS UNLESS NOTED ON THIS APPLICATION. FEES ARE ASSESSED AT TIME OF PERMIT ISSUANCE AND ARE SUBJECT TO CITY ORDINANCE IN EFFECT AT THAT TIME.

SIGNATURE OF APPLICANT/OWNER REPRESENTATIVE: Bennett F. Schmidt DATE: 2/1/05 PHONE: (303) 605-3373

PRINTED NAME: Bennett F. Schmidt APPLICANT'S ADDRESS:

NOTE: FOR A MULTIPLE TRADE PERMIT THE SUB-CONTRACTOR SIGNATURE FORM WITH ORIGINAL SIGNATURES IS REQUIRED PRIOR TO ISSUANCE OF THE PERMIT



CITY OF LOUISVILLE- BUILDING SAFETY DIVISION RESIDENTIAL PERMIT APPLICATION

ADDRESS OF JOB: 833 La Farge **PERMIT NUMBER:** CO4-0241

LEGAL DESCRIPTION LOT BLOCK SUBDIVISION

CLASS OF WORK: NEW () ADDITION () ALTERATION: ☒ REPAIR () MOVE () DEMOLITION ()

BUILDING OWNER: DAVE SUTTON ADDRESS 833 LAFARGE PHONE: CITY: Louisville ZIP: 40027

CONTRACTOR NAME EL-3 CONSTRUCT LOUISVILLE LICENSE # 1209 GRANT AVE CITY: LOUISVILLE PHONE: (303) 673-9565 ZIP: 80027

JOB SUPERVISOR MOBILE/PAGER# JOBSITE PHONE #:

ARCHITECT/ENGINEER OF RECORD COLO LICENSE # PHONE: CITY: ZIP:

DESCRIPTION OF WORK: FILL IN ALL APPLICABLE BOXES PLEASE INCLUDE SQ. FOOTAGE

1st FLOOR AREA: 1500 2nd FLOOR AREA: GARAGE AREA: OTHER:

BASEMENT AREA: TO BE FINISHED: ☒ UNFINISHED: SPRINKLED AREA: A/C AREA:

TOTAL LOT AREA (SQ.FT.): 6500 **ROOF COVERING:** 3-AS **EXTERIOR WALL COVERING:** COR SIDING

CONSTRUCTION TYPE: WOOD OCCUPANCY: SINCE FIRM TYPE OF FOUNDATIONS: POURED TOTAL UNITS: 1

ELECTRICAL PERMIT INFORMATION: PERMIT TO INCLUDE ELECTRICAL WORK: ☒ **NOT APPLICABLE**

CONSTRUCTION SERVICE ENTRANCE SIGNS ELECTRICAL APPLIANCE FIRE DETECTION SYSTEM
METER SIZE SIZE TYPE TYPE TYPE

PLUMBING PERMIT INFORMATION: PERMIT TO INCLUDE PLUMBING WORK: ☒ **NOT APPLICABLE**

BACKFLOW DEVICE WATER HEATER FIRE SPRINKLER SYSTEM WATER REPAIR SEWER REPAIR
MAKE/MODEL BTU INPUT AREA

MECHANICAL PERMIT INFORMATION: PERMIT TO INCLUDE MECHANICAL WORK: ☒ **NOT APPLICABLE**

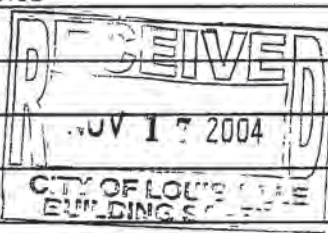
FURNACE TYPE OTHER GAS APPLIANCES GAS PIPE SCHEMATIC ATTACHED
BTU INPUT TYPE SIZE LENGTH

WORK DESCRIPTION/REMARKS:

INTERIOR REMODEL

VALUATION \$ 165,000.00 **TOTAL PERMIT FEE \$** 1638.82

INCLUDE LABOR & MATERIALS (BUILDING DEPARTMENT WILL CALCULATE)

APPROVALS	SIGNATURES	DATE	COMMENTS
BUILDING PLAN CHECK			
ELECTRICAL PLAN CHECK			
ZONING PLAN CHECK			
FIRE DEPT. PLAN CHECK			
ELEVATOR REVIEW			

THIS APPLICATION BECOMES NULL AND VOID IF PERMIT IS NOT ISSUED WITHIN 180 DAYS OF APPLICATION DATE. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY STATE OR LOCAL REGULATING CONSTRUCTION OR PERFORMANCE OF CONSTRUCTION PERMIT AND TAP FEES ARE SUBJECT TO CHANGE AT THE BEGINNING OF EACH CALENDAR YEAR. NOTE: A SEPARATE PERMIT IS REQUIRED FOR SIGNS, FENCES, IRRIGATION SYSTEMS & SWIMMING POOLS UNLESS NOTED ON THIS APPLICATION. FEES ARE ASSESSED AT TIME OF PERMIT ISSUANCE AND ARE SUBJECT TO CITY ORDINANCE IN EFFECT AT THAT TIME.

SIGNATURE OF APPLICANT/OWNER REPRESENTATIVE: [Signature] DATE: 11/16/04 PHONE: (303) 673-9565

PRINTED NAME: Edward Connolly APPLICANT'S ADDRESS: 1209 GRANT AVE
LOUISVILLE, CO 80027

NOTE: FOR A MULTIPLE TRADE PERMIT THE SUB-CONTRACTOR SIGNATURE FORM WITH ORIGINAL SIGNATURES IS REQUIRED PRIOR TO ISSUANCE OF THE PERMIT



CITY OF LOUISVILLE- BUILDING SAFETY DIVISION RESIDENTIAL PERMIT APPLICATION

ADDRESS OF JOB: 833 La Farge **PERMIT NUMBER:** 104-0241

LEGAL DESCRIPTION LOT. BLOCK: SUBDIVISION:

CLASS OF WORK: NEW () ADDITION: () ALTERATION: ☒ REPAIR: () MOVE: () DEMOLITION: ()

BUILDING OWNER: DAVE SUTTON ADDRESS 833 LAFARGE PHONE: CITY: Louisville ZIP: 80027

CONTRACTOR NAME: EC-3 Contractors ADDRESS: 1209 GRANT AVE CITY: Louisville PHONE: (303) 673-9565 ZIP: 80027

JOB SUPERVISOR: MOBILE/PAGER# JOBSITE PHONE #:

ARCHITECT/ENGINEER OF RECORD: COLO. LICENSE # PHONE: NAME: ADDRESS: CITY: ZIP:

DESCRIPTION OF WORK: FILL IN ALL APPLICABLE BOXES PLEASE INCLUDE SQ. FOOTAGE

1st FLOOR AREA: 1500 2nd FLOOR AREA: GARAGE AREA: OTHER:

BASEMENT AREA: TO BE FINISHED: ☒ UNFINISHED: SPRINKLED AREA: A/C AREA:

TOTAL LOT AREA (SQ.FT.): 6500 4 ROOF COVERING: 3-AR EXTERIOR WALL COVERING: COP SIDING

CONSTRUCTION TYPE: WOOD OCCUPANCY: SLEP FRAM. TYPE OF FOUNDATIONS: BUREN TOTAL UNITS: 1

ELECTRICAL PERMIT INFORMATION: PERMIT TO INCLUDE ELECTRICAL WORK: ☒ NOT APPLICABLE: ()

CONSTRUCTION SERVICE ENTRANCE SIGNS ELECTRICAL APPLIANCE FIRE DETECTION SYSTEM
METER SIZE SIZE TYPE TYPE TYPE

PLUMBING PERMIT INFORMATION: PERMIT TO INCLUDE PLUMBING WORK: ☒ NOT APPLICABLE: ()

BACKFLOW DEVICE WATER HEATER FIRE SPRINKLER SYSTEM WATER REPAIR SEWER REPAIR
MAKE/MODEL BTU INPUT AREA

MECHANICAL PERMIT INFORMATION: PERMIT TO INCLUDE MECHANICAL WORK: ☒ NOT APPLICABLE: ()

FURNACE TYPE OTHER GAS APPLIANCES GAS PIPE SCHEMATIC ATTACHED
BTU INPUT TYPE SIZE LENGTH

WORK DESCRIPTION/REMARKS.

INTERIOR REMODEL

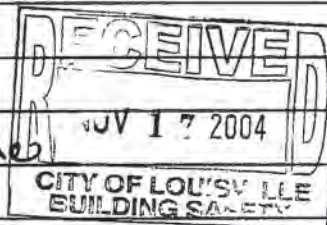
VALUATION \$ 165,000 00 TOTAL PERMIT FEE \$ 1638.82

INCLUDE LABOR & MATERIALS

(BUILDING DEPARTMENT WILL CALCULATE)

APPROVALS SIGNATURES DATE COMMENTS

BUILDING PLAN CHECK	<i>[Signature]</i>	12/02/04	Verify walls 3' to PL
ELECTRICAL PLAN CHECK	<i>[Signature]</i>		NEED more APPROVAL
ZONING PLAN CHECK	<i>[Signature]</i>	12/3/04	REQUESTED SITE PLAN
FIRE DEPT. PLAN CHECK			11/29/04.
ELEVATOR REVIEW			



THIS APPLICATION BECOMES NULL AND VOID IF PERMIT IS NOT ISSUED WITHIN 180 DAYS OF APPLICATION DATE. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY STATE OR LOCAL REGULATING CONSTRUCTION OR PERFORMANCE OF CONSTRUCTION. PERMIT AND TAP FEES ARE SUBJECT TO CHANGE AT THE BEGINNING OF EACH CALENDAR YEAR. NOTE: A SEPARATE PERMIT IS REQUIRED FOR SIGNS, FENCES, IRRIGATION SYSTEMS & SWIMMING POOLS UNLESS NOTED ON THIS APPLICATION. FEES ARE ASSESSED AT TIME OF PERMIT ISSUANCE AND ARE SUBJECT TO CITY ORDINANCE IN EFFECT AT THAT TIME.

SIGNATURE OF APPLICANT/OWNER REPRESENTATIVE: *[Signature]* DATE: 11/16/04 PHONE: (303) 673-9565

PRINTED NAME: Edward Connolly APPLICANT'S ADDRESS: 1209 GRANT AVE
Louisville, CO 80027

NOTE: FOR A MULTIPLE TRADE PERMIT THE SUB-CONTRACTOR SIGNATURE FORM WITH ORIGINAL SIGNATURES IS REQUIRED PRIOR TO ISSUANCE OF THE PERMIT

303-489 2355 cell.



City of Louisville

Building Safety Division

www.ci.louisville.co.us

file on wall

Dave Sutton
833 La Farge
Permit # C04-0241

Dear Mr. Sutton,

You are in violation of 2003 IRC building code.
On January 19, 2006, upon final inspection
you agreed to correct the guardrail and handrail
on the front steps of this residence and bring it up to current code.
As of this date these modifications have still not been done.
(Enclosed is our current handrail handout)

Should you have any questions, please contact me at the City of Louisville
Building Safety Department at 303-335-4586.

The Building Safety Department will allow you an additional 30 days
to correct the violations.

Sincerely,

Randy Dewitz
Combination Building Inspector
City of Louisville
Building Safety Department
749 Main St
Louisville, CO 80027

Entries for Item.2003 - Planning Approval

13.39 12/03/2004

Action	Comments	By	Date
RCVD	gave to KJohnstone for review	JJS	11/18/2004
AP	Requested site plan on 11/29/04 Received site plan on 12/3/04 Application is a change of use of an existing structure Captial Improvement Fee does not apply Impact Fee does not apply, as the change of use will not cause a greater impact on servies than the previous use of the structure Approved	PSW	12/03/2004

Total Rows 2



2638056

 Page 1 of 1
 10/27/2004 01:41P
 0 0 00

Boulder County Clerk, CO PCA

R 6 00

**A POWER OF ATTORNEY MAY AFFECT YOUR LEGAL RIGHTS,
 LEGAL ADVICE SHOULD BE OBTAINED IN THE DRAFTING OF
 ANY POWER OF ATTORNEY**

**POWER OF ATTORNEY
 BUYER**

KNOW ALL MEN BY THESE PRESENTS:

THAT, I, Forrestine Sutton, of the County of Boulder, State of Colorado reposing special trust and confidence in Dave Sutton, of the County of Boulder, State of Colorado have made, constituted and appointed, and by these presents do make, constitute and appoint Dave Sutton to be my true and lawful attorney-in-fact, to act for me and in my name, place and stead, to purchase and accept title in my name to the following property:

Lots Ten (10) and Eleven (11), and Lot Nine (9), Except the South Fifteen (15) feet of said Lot Nine (9),
 All in Block Five (5),
 Jefferson Place Addition to the Town of Louisville,
 County of Boulder,
 State of Colorado.

Also known by street address as: 833 La Farge Avenue Louisville, CO 80027

or any interest in said land for such price as my attorney-in-fact may deem advisable.

My attorney-in-fact is hereby authorized to sign, seal and deliver, as my act and deed any contract, deed, deed of trust, promissory note, agreement, for purchase or any other document required, including but not limited to the HUD-1 form in such manner that the estate and interest in said land may be effectually conveyed and assured to me, or to such other person or entity as my attorney-in-fact may name or appoint, and I hereby declare that any and all of the contracts, deeds, receipts, notes, or matters and things which shall be given by my attorney-in-fact, made or done for the aforesaid purposes, shall be as good, valid, and effectual as if they had been signed, sealed and delivered by me in my own proper person; and I hereby undertake at all times to ratify whatsoever my said attorney-in-fact shall lawfully do or cause to be done in or concerning the premises by virtue of these presents.

My said attorney-in-fact is hereby authorized to apply the consideration or purchaser price arising from the purchase of said land or any interest therein. If funds are received at time of closing from any lender which requires endorsement, my attorney-in-fact is authorized to endorse and/or cash said check or draft to complete the purchase of the above described property.

This power of attorney shall continue to be effective even though I become disabled, incapacitated, or incompetent.

My attorney-in-fact may not delegate the power constituted in them by this power of attorney despite any contrary provisions of any applicable law or regulation.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 4th Day of October, 2004.

Forrestine C. Sutton
 Forrestine Sutton

STATE OF COLORADO }
 COUNTY OF Boulder } ss:
Washington Island

The foregoing instrument was acknowledged before me this 4th Day of October, 2004, by Forrestine Sutton.

Witness my hand and official seal.
 My Commission expires:



Paulette F. McNett
 Notary Public

POABYR

RECORDER'S NOTE:
 RECEIVED IN THIS CONDITION.

600
Sgt
 File No. S0011796
 Buyer Power of Attorney



2638057

Page 1 of 1
10/27/2004 01:41P
D 27 00

Boulder County Clerk, CO WD

R 6 00

D 27 00

WARRANTY DEED**THIS DEED**, Made this **October 13, 2004** between**First Pentecostal Church of Louisville**, a Colorado non-profit corporation

of the City and County of Boulder, State of Colorado, grantor and

Forrestine C. Suttonwhose legal address is **833 La Farge Avenue, Louisville, CO 80027**

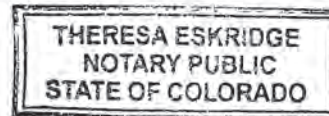
of the City and County of Boulder, State of Colorado, grantee(s)

WITNESSETH, That the grantor for and in consideration of the sum of **TWO HUNDRED SEVENTY THOUSAND AND 00/100 DOLLARS (\$270,000.00)**, the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell, convey and confirm, unto the grantee, his heirs and assigns forever, all the real property together with improvements, if any, situate, lying and being in the City and County of Boulder, and State of **COLORADO**, described as followsLots Ten (10) and Eleven (11), and Lot Nine (9), Except the South Fifteen (15) feet of said Lot Nine (9),
All in Block Five (5),
Jefferson Place Addition to the Town of Louisville,
County of Boulder,
State of Coloradoalso known by street and number as **833 La Farge Avenue, Louisville, CO 80027****TOGETHER** with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances**TO HAVE AND TO HOLD** the said premises above bargained and described, with the appurtenances, unto the grantee, his heirs and assigns forever. And the grantor, for himself, his heirs, and personal representatives, does covenant, grant, bargain and agree to and with the grantee, his heirs and assigns, that at the time of the enrolling and delivery of these presents, he is well seized of the premises above conveyed, has good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and has good right, full power and lawful authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except for taxes for the current year, a lien but not yet due and payable, and those specific Exceptions described by reference to recorded documents as reflected in the Title Documents accepted by Buyer in accordance with section 8a (Title Review), of the contract dated September 16, 2004, between the parties.The grantor shall and will **WARRANT AND FOREVER DEFEND** the above-bargained premises in the quiet and peaceable possession of the grantee his heirs and assigns, against all and every person or persons lawfully claiming the whole or any part thereof. The singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders**IN WITNESS WHEREOF**, the grantor has executed this deed on the date set forth above**SELLER**

First Pentecostal Church of Louisville

Maxey R. Young, CEO/Pastor
By Maxey R. Young, CEO/Pastor**STATE OF COLORADO**
COUNTY OF BOULDER} **SS:**The foregoing instrument was acknowledged before me this **13th** day of **October, 2004**, by **First Pentecostal Church of Louisville**, a Colorado non-profit corporation by **Maxey R. Young, CEO/Pastor**

Witness my Hand and Official Seal

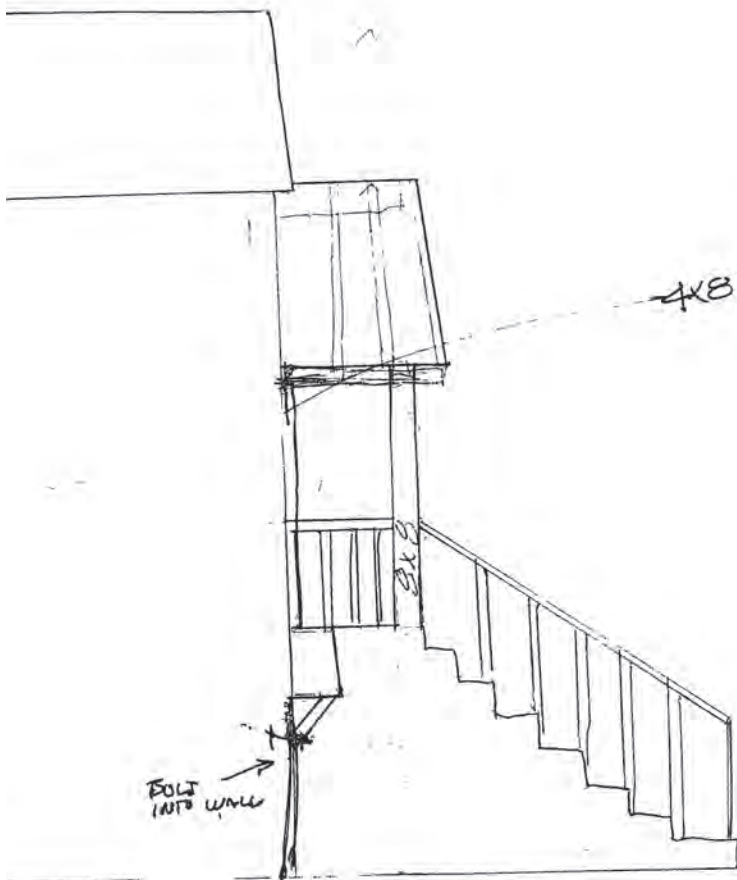
My Commission Expires 8/10/07Theresa Eskridge
Notary PublicMy Commission expires **August 06, 2007**

Entries for Item:2003 - Planning Approval

13:39 12/03/2004

Action	Comments	By	Date
RCVD	gave to KJohnstone for review	JJS	11/18/2004
AP	Requested site plan on 11/29/04 Received site plan on 12/3/04 Application is a change of use of an existing structure Capital Improvement Fee does not apply Impact Fee does not apply, as the change of use will not cause a greater impact on servies than the previous use of the structure Approved	PSW	12/03/2004

Total Rows 2



2x6" - RATED
ON 18" OC

4x8 PLASTER OR
(EQUIV. IN
WALL INTERIOR)

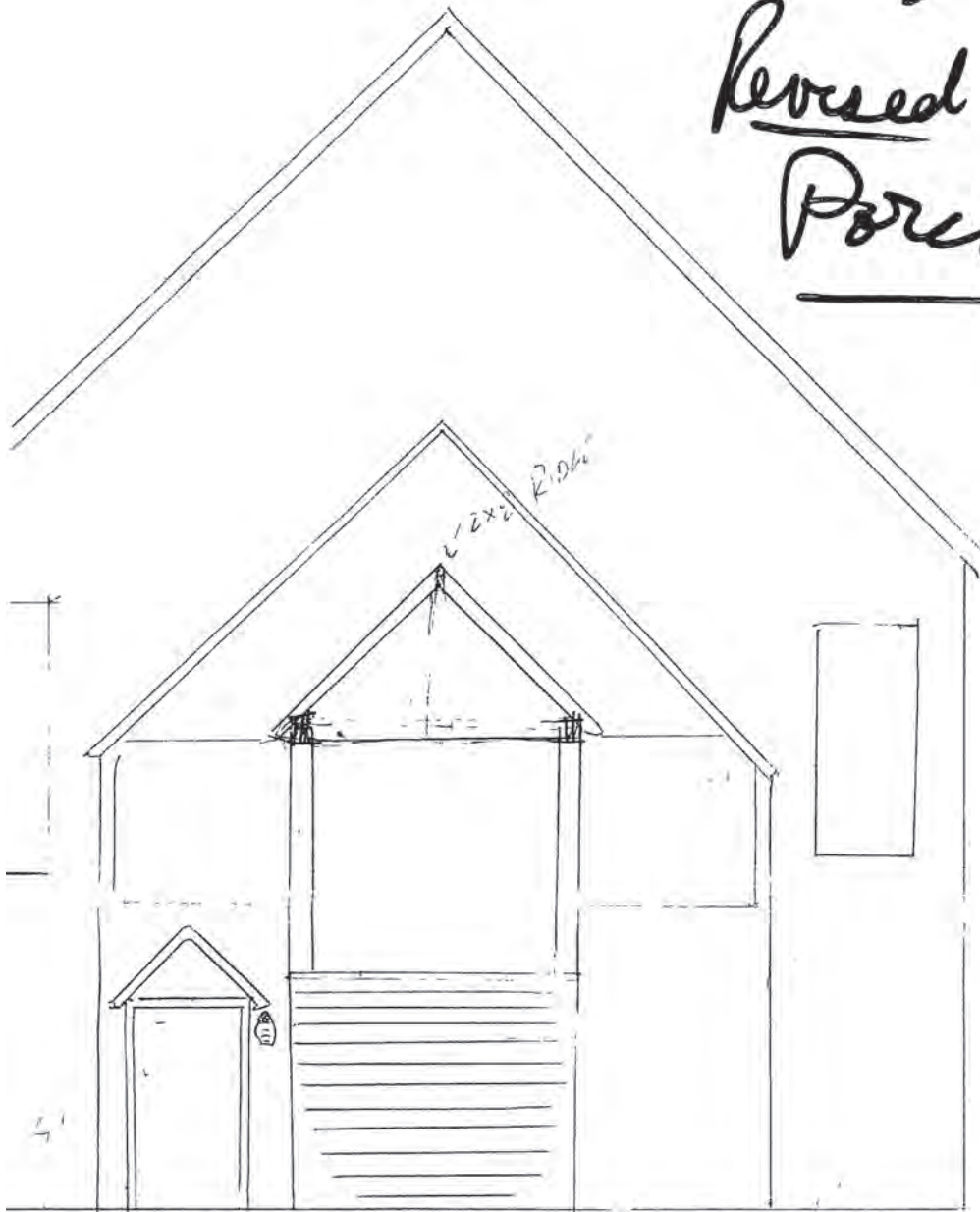
BOLT
INTO WALL

STRUCTURE
IMPROVED

Elly 04/10/05

Paul Sider
4/19/05

Revised Porch



STRUCTURE
IMPROVED

July 04/18

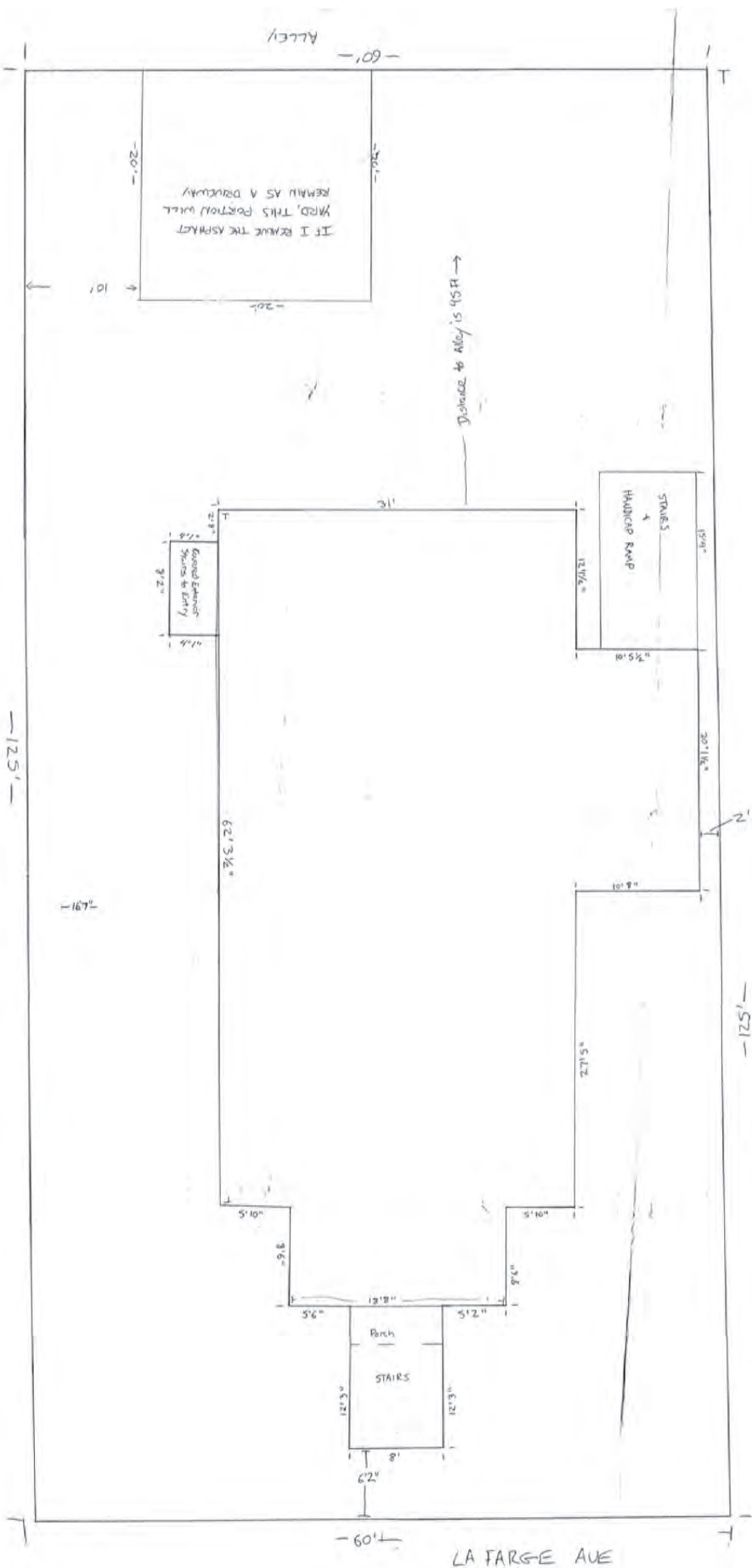
Paul Gaudin
4/9/18

TO:

Mr. [unclear]

83 [unclear]

Call Jeff
303-673-9565



WALNUT ST

833 LA FARGE

LOT SIZE = 7500 S.F.

BUILDING SIZE = 2304.32 S.F.

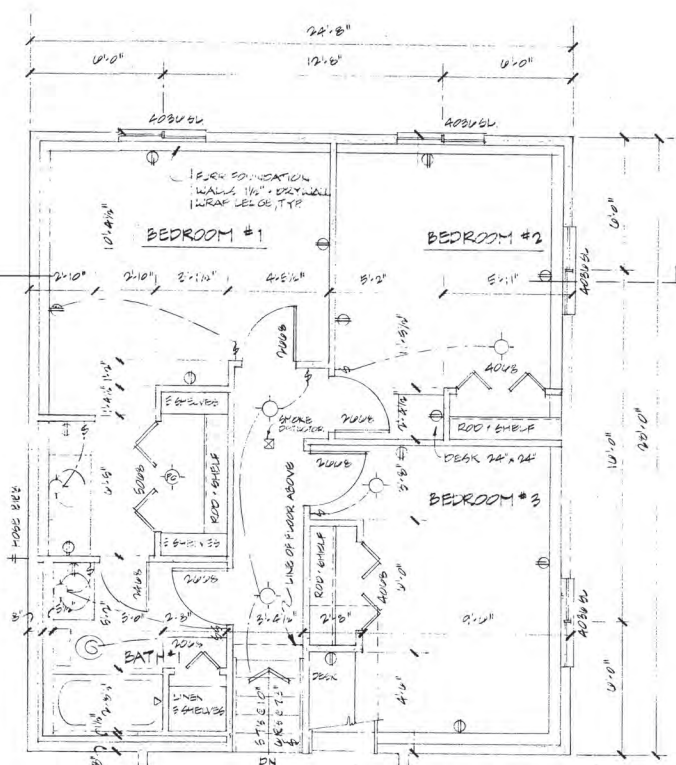
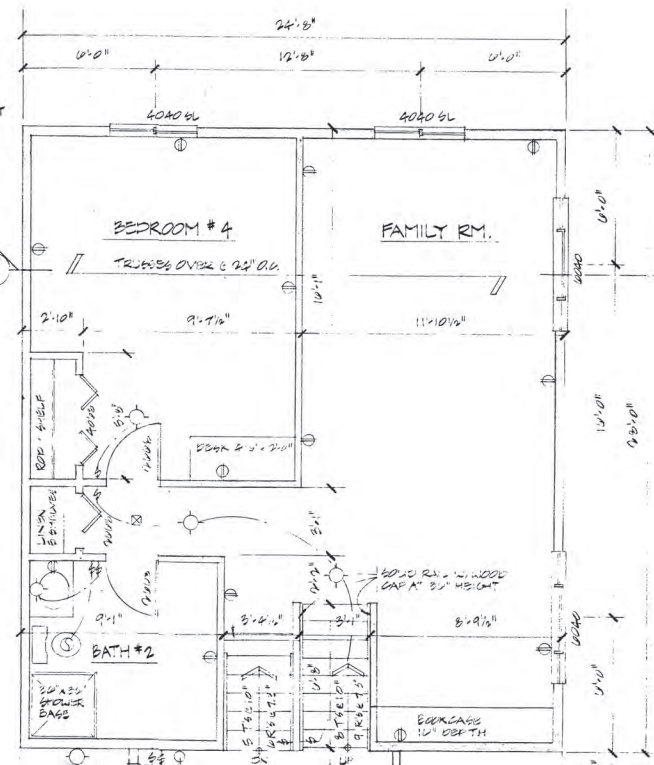
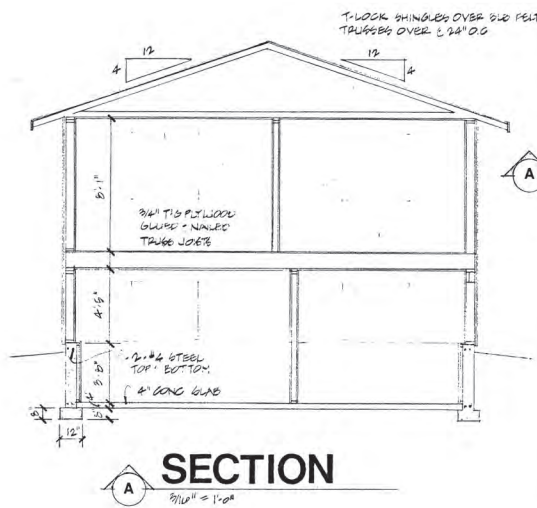
Dave Sutton 303-641-3009





APPROVED BY
The City of Louisville
Building Department
Date 12/02/04
By [Signature]

BUILDING DEPT. CONN.





(303) 335-4584

● Fax(303) 335-4588

[illegible]



City of Louisville

749 Main Street • Louisville, CO 80027

• FIELD INSPECTION REPORT •

(303) 335-4584

• Fax(303) 335-4588

WHEN WANTED	DATE 7/18/05	TIME	OWNER		
PROJECT	604-0241		LOCATION 833 Lafarge Ave		
ACTIVITY	PHONE	CONTRACTOR			
BUILDING		ELECTRICAL	MECHANICAL	PLUMBING	SPECIAL
FOOTING		CONST METER	VENT	OUTSIDE WATER	EX LATH
FOUNDATION		ROUGH-IN	COM HOOD	BUILDING SEWER	JOB CHECK
H2O	P DRAIN	SERVICE	DUCT WORK	UNDERGROUND	CONSULTATION
FRAME		UNDERGROUND	INSIDE GAS	DWV	COMPLAINT
INSULATION				INSIDE WATER	LOT DRAINAGE
DRYWALL				WINDOW	LANDSCAPE
FINAL		FINAL	FINAL	FINAL	OTHER DPT
1. APPROVED 2. PARTIAL 3. REJECT		TIME/DATE MADE 7-18-05	INSP INITIAL Rd		
COMMENTS					
NOTICE					
NOTE: It is the contractor's responsibility to call for all meter releases after inspection approval has been received. Call x-cel - 938-2233 & WATER DEPT- 335-4750.					
ELECTRIC METER RELEASE.		☐ HEAT	☐ CONSTRUCTION	☐ FINAL	DATE TIME :
GAS METER RELEASED		Person contacted		DATE	TIME :
WEATHER.		SUPERVISOR SIGN.		REINSPECTION FEE REQUIRED	



City of Louisville

749 Main Street • Louisville, CO 80027

• FIELD INSPECTION REPORT •

(303) 335-4584

• Fax(303) 335-4588

PM
✓

WHEN WANTED	DATE 12/19/2005	TIME	OWNER DAVE SUTTON	
PROJECT INTERIOR REMODEL			LOCATION 833 LAFARGE AV LSVL	
ACTIVITY C04-0241	PHONE 303-641-3009	CONTRACTOR Chip		
BUILDING		ELECTRICAL	MECHANICAL	PLUMBING
FOOTING		CONST METER	VENT	OUTSIDE WATER
FOUNDATION		ROUGH-IN	COM HOOD	BUILDING SEWER
H2O ☐ P DRAIN ☐		SERVICE	DUCT WORK	UNDERGROUND
FRAME		UNDERGROUND	INSIDE GAS	DWV
INSULATION				INSIDE WATER
DRYWALL				WINDOW
FINAL ☒		FINAL ☒	FINAL ☒	FINAL ☒
1. APPROVED 2. PARTIAL 3. REJECT		TIME/DATE MADE 12-19-05 INSP. INITIAL <i>[Signature]</i>		
COMMENTS				
PM please				
NOTICE				
<i>File. Final only</i>				
NOTE: It is the contractor's responsibility to call for all meter releases after inspection approval has been received. Call x-cel - 938-2233 & WATER DEPT. 335-4750.				
ELECTRIC METER RELEASE ☐ HEAT ☐ CONSTRUCTION ☐ FINAL ☐		DATE _____ TIME _____		
GAS METER RELEASED. Person contacted _____		DATE _____ TIME _____		
WEATHER.		SUPERVISOR SIGN _____		REINSPECTION FEE REQUIRED ☐



City of Louisville
749 Main Street • Louisville, CO 80027

PM
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✓

chip

WHEN WANTED	DATE 07/12/2005	TIME	OWNER DAVE SUTTON	
PROJECT INTERIOR REMODEL			LOCATION 833 LAFARGE AV LSVL	
ACTIVITY C04-0241	PHONE 673-9565		CONTRACTOR EC-3 CONSTRUCTION	
BUILDING		ELECTRICAL		MECHANICAL
FOOTING		CONST METER		VENT
FOUNDATION		ROUGH-IN X 2		COM HOOD
H2O P DRAIN		SERVICE		DUCT WORK
FRAME X		UNDERGROUND		INSIDE GAS
INSULATION				DWV X
DRYWALL				INSIDE WATER X
FINAL		FINAL		WINDOW
				FINAL
1. APPROVED 2. PARTIAL 3. REJECT		TIME/DATE MADE 7-12-05		INSP. INITIAL [Signature]

COMMENTS

roughs

NOTICE

Rough Elec. Only

NOTE: It is the contractor's responsibility to call for all meter releases after inspection approval has been received. Call x-cal - 938-2233 & WATER DEPT. 335-4750.

ELECTRIC METER RELEASE:	☐ HEAT	☐ CONSTRUCTION	☐ FINAL	DATE	TIME	:
GAS METER RELEASED:	Person contacted			DATE	TIME	:
WEATHER:	SUPERVISOR SIGN:			REINSPECTION FEE REQUIRED		



City of Louisville

749 Main Street • Louisville, CO 80027

• FIELD INSPECTION REPORT •

(303) 335-4584

• Fax(303) 335-4588

WHEN WANTED	DATE 07/15/2005	TIME	OWNER DAVE SUTTON								
PROJECT INTERIOR REMODEL			LOCATION 833 LAFARGE AV LSVL								
ACTIVITY C04-0241	PHONE 673-9565		CONTRACTOR EC-3 CONSTRUCTION								
BUILDING		ELECTRICAL	MECHANICAL	PLUMBING	SPECIAL						
FOOTING		CONST METER		VENT		OUTSIDE WATER		EX LATH			
FOUNDATION		ROUGH-IN		COM HOOD		BUILDING SEWER		JOB CHECK			
H2O		P DRAIN		SERVICE		DUCT WORK		UNDERGROUND		CONSULTATION	
FRAME		UNDERGROUND		INSIDE GAS		DWV		COMPLAINT			
INSULATION	X					INSIDE WATER		LOT DRAINAGE			
DRYWALL						WINDOW		LANDSCAPE			
FINAL		FINAL		FINAL		FINAL		OTHER DPT			
1. APPROVED 2. PARTIAL 3. REJECT		TIME/DATE MADE 7-15-05		INSP. INITIAL RD							
COMMENTS											
NOTICE											
NOTE: It is the contractor's responsibility to call for all meter releases after inspection approval has been received. Call x-car - 938-2233 & WATER DEPT. 335-4750.											
ELECTRIC METER RELEASE:		☐ HEAT ☐ CONSTRUCTION ☐ FINAL		DATE _____ TIME _____ :							
GAS METER RELEASED: Person contacted _____		DATE _____		TIME _____							
WEATHER:		SUPERVISOR SIGN.		REINSPECTION FEE REQUIRED							



(303) 335-4584

● Fax(303) 335-4588

[illegible]



City of Louisville

749 Main Street • Louisville, CO 80027

• FIELD INSPECTION REPORT •

(303) 335-4584

• Fax(303) 335-4588

✓ 4:00 pm

WHEN WANTED		DATE 12/19/2005		TIME		OWNER DAVE SUTTON	
PROJECT INTERIOR REMODEL						LOCATION 833 LAFARGE AV LSVL	
ACTIVITY C04-0241		PHONE 303-641-3009				CONTRACTOR Chip	
BUILDING		ELECTRICAL		MECHANICAL		PLUMBING	
FOOTING		CONST METER		VENT		OUTSIDE WATER	
FOUNDATION		ROUGH-IN		COM HOOD		BUILDING SEWER	
H2O ☐ P DRAIN ☐		SERVICE		DUCT WORK		UNDERGROUND	
FRAME		UNDERGROUND		INSIDE GAS		DWV	
INSULATION						INSIDE WATER	
DRYWALL						WINDOW	
FINAL ☒		FINAL ☒		FINAL ☒		FINAL ☒	
1. APPROVED		2. PARTIAL		3. REJECT		TIME/DATE MADE 12-19-06	
						INSP. INITIAL	
COMMENTS							
PM please							
NOTICE							
<i>Basement finished Not completely finished NOT adequate for sleeping Area Needs Egress windows when finished completely</i>							
NOTE: It is the contractor's responsibility to call for all meter releases after inspection approval has been received. Call x-cel - 938-2233 & WATER DEPT. 335-4750.							
ELECTRIC METER RELEASE		☐ HEAT		☐ CONSTRUCTION		☐ FINAL	
GAS METER RELEASED		Person contacted		DATE		TIME	
WEATHER		SUPERVISOR SIGN:				REINSPECTION FEE REQUIRED	

City of Louisville *Final* BUILDING PERMIT INSPECTION RECORD

CALL INSPECTION REQUEST LINE 303-335-4583 YOU MUST CALL BEFORE 4:00 PM FOR NEXT BUSINESS DAY
INSPECTION SCHEDULE LINE: 303-335-4587 FRONT DESK: 303-335-4584

BUILDING PERMIT NO. CD4 0241

ADDRESS 833 LaFarge DATE ISSUED 12-06-04
OWNER _____ PERMIT APPLICANT _____
MINIMUM SET BACKS: FRONT _____ SIDE _____ REAR _____
LEGAL DESCRIPTION: LOT _____ BLOCK _____ SUBDIVISION _____
GENERAL _____ MECHANICAL _____
ELECTRICAL _____ PLUMBING _____

CAUTION - BEFORE DIGGING CALL 1-800-922-1987 FOR UTILITY LOCATIONS

CONST. TYPE: _____ OCCUPANCY: _____ DESCRIPTION: _____

INSPECTIONS	APPROVALS		COMMENTS (PHASED INSPECTIONS ON BACK OF CARD)
BUILDING	DATE	INSPECTOR	SEE FIELD REPORT
☐ Footings	<u>1-14-05</u>	<u>rd</u>	
☐ Survey Location Letter			

WORK MAY NOT PROCEED UNTIL SURVEY LOCATION LETTER IS RECEIVED AND APPROVED BY BLDG DEPT.

☐ Foundation			
☐ Weather Proofing			
☐ Peripheral Drain			
☐ Frame (after rough electrical, mechanical and plumbing)	<u>7-12-05</u>	<u>rd</u>	
☐ Insulation	<u>7-15-05</u>	<u>rd</u>	
☐ Drywall	<u>7-18-05</u>	<u>rd</u>	
☐			
☐			
☐ FINAL	<u>12-19-05</u>	<u>rd</u>	

ELECTRICAL

☒ Rough (before insulation or dry wall applied)	<u>7-12-05</u>	<u>rd</u>	<u>Fastin Rough Elec.</u>
☐ Construction Meter			
☐ Service/Heat Meter			
☐ Underground			
☐ FINAL	<u>12-19-05</u>	<u>rd</u>	

MECHANICAL

☐ Vent (before insulation or dry wall applied)	<u>7-12-05</u>	<u>rd</u>	
☐ Comm. Hood (before insulation or dry wall applied)			
☐ Duct Work (before insulation or dry wall applied)	<u>7-12-05</u>	<u>rd</u>	
☐ Inside Gas (before insulation or dry wall applied)	<u>7-12-05</u>	<u>rd</u>	
☐ Outside Gas/Gas Meter			
☐ FINAL	<u>12-19-05</u>	<u>rd</u>	

PLUMBING

☐ Outside Water			
☐ Building Sewer			
☐ Underground	<u>1-14-05</u>	<u>rd</u>	
☐ DWV (before insulation or dry wall applied)	<u>7-12-05</u>	<u>rd</u>	
☐ Inside Water (before insulation or dry wall applied)	<u>7-12-05</u>	<u>rd</u>	
☐ FINAL	<u>12-19-05</u>	<u>rd</u>	
☐ PLANNING DEPARTMENT FINAL			
☐ PUBLIC WORKS DEPARTMENT FINAL			
☐ FIRE DEPARTMENT FINAL			
☐ HEALTH DEPARTMENT FINAL			

833

La Jarge
Avenue

City of Louisville

CALL 866-5565, EXT. 153 FOR EACH INSPECTION. A 24 HOUR NOTICE IS REQUIRED FOR ALL INSPECTIONS.

BUILDING PERMIT

Caution, Before Digging Call 303-534-6700 for Utility Locations

Job Address: 833 LAFARGE AV
Subdivision: JEFFERSON PLACE
833 LAFARGE AV
Parcel #: 008443001

Permit No: E97-0018

Status: ISSUED
Issued: 07/08/1997
Expires: 01/04/1998

APPLICANT: CRYSTAL ELECTRIC, INC
1270 ROCK CREEK CR, LAFAYETTE CO 80026 Phone: 666-0667
CONTRACTOR: CRYSTAL ELECTRIC, INC
1270 ROCK CREEK CR, LAFAYETTE CO 80026 Phone: 666-0667
OWNER: UNITED PENTECOSTAL CHURCH OF LOU
NKA FIRST PENEUCOSTAL LHUR, PO BOX 126, LOUISVILLE CO 80027

Description:
INSTALL 20-AMP SERVICE/INSTALL NEW SUBPANEL

Valuation: 1,200.00

Total Calculated Fee: 34.50 Tax Exempt Id:
Additional Fees: .00
Total Permit Fee: 34.50
Payments: 34.50
Balance Due: .00

NOTICE

This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. When required, a Certification of Occupancy must be obtained prior to the structure being occupied. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or performance of construction.

Signature of Applicant

Wayne A. Mader

Date: 7/8/97

White - Building

Canary - County

Pink - Customer



City of Louisville - Building Safety Division

PERMIT APPLICATION

ADDRESS OF JOB: <u>833 LAFARGE AVE Louisville</u>		PERMIT NO: <u>677-CC18</u>
LEGAL DESCRIPTION	LOT	BLOCK
(SUBDIVISION) <u>38</u>		
CLASS OF WORK: NEW ☐ ADDITION ☐ ALTERATION ☒ REPAIR ☐ MOVE ☐ DEMOLITION ☐		
OWNER NAME: <u>1ST PENTECOSTAL CHURCH</u>	ADDRESS: <u>833 LAFARGE AVE</u>	CITY: <u>LOUISVILLE</u>
PHONE: <u>666-9098</u>	ZIP: <u></u>	
CONTRACTOR NAME: <u>CRYSTAL ELECTRIC</u>	LOUISVILLE LICENSE #: <u></u>	PHONE: <u>666-6648</u>
ADDRESS: <u>1290 ROCK CREEK</u>	CITY: <u>LAFAYETTE</u>	ZIP: <u>60026</u>
JOB SUPERVISOR: <u></u>	MOBILE/PAGER #: <u></u>	JOB SITE PHONE: <u></u>
SURVEYOR	COLO LIC # <u></u>	ARCHITECT OR ENGINEER OF RECORD
		COLO. LIC # <u></u>

DESCRIPTION OF WORK: FILL IN ALL APPLICABLE BOXES

1ST FLOOR AREA	2ND FLOOR AREA	OTHER FLOOR AREA	GARAGE AREA
BASEMENT AREA ☐ FINISHED ☐ UNFINISHED	SPRINKLED AREA		A/C AREA
ROOF COVERING		EXTERIOR WALL COVERING	
TYPE OF CONSTRUCTION	OCCUPANCY CLASSIFICATION	TYPE OF FOUNDATION	TOTAL UNITS

ELECTRICAL PERMIT INFORMATION: PERMIT TO INCLUDE ELECTRICAL WORK. ☐

CONSTRUCTION METER ☐	SERVICE ENTRANCE ☐	SEAMS TYPE ☐	APPLIANCE TYPE ☐	FIRE DETECTION SYSTEM TYPE ☐
---	---	-------------------------------------	---	---

PLUMBING PERMIT INFORMATION: PERMIT TO INCLUDE PLUMBING WORK. ☐

BACKFLOW DEVICE ☐	WATER HEATER BTU INPUT ☐	FIRE SPRINKLER SYSTEM AREA ☐	WATER REPAIR ☐	SEWER REPAIR ☐
--	---	---	---------------------------------------	---------------------------------------

MECHANICAL PERMIT INFORMATION: PERMIT TO INCLUDE MECHANICAL WORK. ☐

FURNACE TYPE ☐	SIZE ☐	BOILER/COMPRESSOR/ABSORPTION SYSTEM TYPE ☐	SIZE ☐	AIR HANDLER/EVAP. COOLER TYPE ☐	SIZE ☐
VENTILATION EXHAUST SYSTEM TYPE ☐	SIZE ☐	GAS APPLIANCE TYPE ☐	SIZE ☐	GAS PIPE SCHEMATIC ATTACHED ☐	LENGTH ☐

REMARKS/DESCRIPTION:
<u>INSTALL 200 AMP SERVICE</u>
<u>RECONNECT A.C. INSTALL NEW</u>
<u>SUB. PANEL</u>
TOTAL VARIATION: <u>\$1,200.00</u>
TOTAL PERMIT FEES: <u>1134.50</u>

APPROVALS	SIGNATURE	DATE
BUILDING DEPT	<u>TP</u>	<u>7/8/97</u>
ELECTRICAL		
PLAN/ZONE		
PUBLIC WORKS		
FIRE DEPT	<u>JUL</u>	<u>08 1997</u>
HEALTH DEPT		

NOTICE
THIS APPLICATION BECOMES NULL AND VOID IF PERMIT NOT ISSUED WITHIN 180 DAYS OF APPLICATION DATE. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE OBSERVED WITH WHATEVER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY STATE OR LOCAL LAW REGULATING CONSTRUCTION OR PERFORMANCE OF CONSTRUCTION. PERMIT AND TAP FEES ARE SUBJECT TO CHANGE AT THE BEGINNING OF EACH CALENDAR YEAR. NOTE: A SEPARATE PERMIT IS REQUIRED FOR SIGMA, FENCES, IRRIGATION SYSTEMS & SWIMMING POOLS UNLESS NOTED ON THIS APPLICATION. FEES ARE ASSESSED AT TIME OF PERMIT ISSUANCE AND ARE SUBJECT TO CITY ORDINANCE IN EFFECT AT THAT TIME.

SIGNATURE OF APPLICANT/OWNER REPRESENTATIVE

Wayne A. Mader

DATE

7/8/97

PRINTED NAME OF APPLICANT/OWNER REPRESENTATIVE

DR 100 (807)
DEPARTMENT OF REVENUE
1575 SHADOWN STREET
DENVER, COLORADO 80202

THIS LICENSE IS NOT TRANSFERABLE

State of Colorado

CERTIFICATE OF EXEMPTION FOR SALES AND USE TAX ONLY

FIRST PENTECOSTAL
CHURCH OF LOUISVILLE
PO BOX 126
LOUISVILLE CO 80027



[Signature]
Executive Director
Department of Revenue

ACCOUNT NUMBER	LIABILITY INFORMATION	ISSUE DATE
98-08066	07 041 8661 9 120189	DEC 14 1989
833 LAFARGE AVE LOUISVILLE CO		

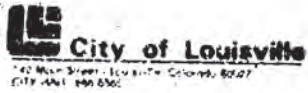
CITY OF COVINGTON, LA. Printed: 07/08/97 10:56 RECEIPT

Receipt Number: 00000001 Amount: 34.50 07/08/97 10:56
Payment Method: CHECK Initials: JLD

Permit No: 74-0013 Fee: \$35.00 ELECTRICAL PERMIT
Parcel No: 00000001
Site Address: 833 LAFARGE A.
Location: 833 LAFARGE AV

This Payment	\$4.50	Total Due:	\$4.50
		Total All Dates:	\$4.50
		Balance:	.00

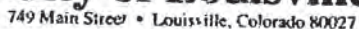
Account Code	Description	Amount
010-001-42240-(3)	ELECTRICAL FEE	\$4.50



06979

NAME 1st International Bank AMOUNT \$ 0 -
DATE 3-22

DESCRIPTION	AMOUNT OF SERVICE
<u>Transferred</u>	
<u>14-10-500-5540</u>	
<u>16-50 -</u>	
RECEIPT BY: <u>C. DeWitt</u>	



(303) 666-6565 ext. 153 • Fax (303) 673-9043

COMMENTS: Dec 94 Crystal 666-0667

NOT RELEASED
RD 7/10/87

ELECTRIC METER RELEASE: ☐ HEAT ☐ CONSTRUCTION ☒ FIRMAL		DATE	7-9-97	TIME	:
GAS METER RELEASED: () PATRICIA () MARILYN () ROXANNE ()		DATE		TIME	:
WEATHER:	SUPERVISOR SIGN:		INVESTIGATION FIRM SIGNATURE:		

Write Original - City Copy

Yellow - Contractor/Owner Copy

BUILDING INSPECTION DEPARTMENT
CITY OF LOUISVILLE, COLO.

ADDRESS OF JOB 833 La Tiange	PLUMBING OR DOMESTIC APPL. PERMIT	4
-------------------------------------	-----------------------------------	----------

WHEN SIGNED AND VALIDATED BY BUILDING INSPECTION DEPARTMENT THIS PERMIT AUTHORIZES THE WORK DESCRIBED BELOW.

CLASS OF WORK: NEW ☐ ADDITION ☐ ALTERATION ☐ REPAIR ☐ MOVE ☐ WRECK ☐

OWNER NAME **Vannette** ADDRESS **833 La Tiange** PHONE _____

CONTRACTOR NAME (AS LICENSED) **Colorado Landscape Irrigation** LICENSE CLASS _____ LICENSE NUMBER _____

CONTRACTOR ADDRESS **P.O. Box 2101** PHONE **442-2290**

SUPERVISOR FOR THIS JOB NAME **Mark Mazeski** DATE CERTIFIED _____

PLUMBING											DOMESTIC APPLIANCES	
FLOOR	BSMT.	1	2	3	4	5	6	7	8	OTHERS	NO. OF UNITS	DESCRIPTION OF WORK
AUTO. WASHER												AUTOMATIC WASHER
BATH TUB												DISH WASHER
DRINK. FOUNTAIN												WATER SOFTENER
DISH WASHER												OTHER-
FLOOR DRAIN												
GARB. DISPOSAL												
GREASE TRAP												
SAND TRAP												
SEWER-SANITARY												
SEWER-STORM												
SHOWER												
SINK												
SLOP SINK												
UNDERGROUND SPRINKLER SYS.												
URINAL												
WASH BOWL												
WASH TUB												
WATER CLOSET												
WATER DISTRIB. SYST.												
WELL												
OTHER												
TOTAL FIXTURES BY FLOORS												
TOTAL FIXTURES ON JOB												

25 heads, 3 zones, PVB - high flow pressure

REMARKS

AGENCY	AUTHORIZED BY	DATE
ZONING		
PUBLIC HEALTH		
STATE ENGINEER		

NOTES TO APPLICANT:

THE VALUATION OF EACH OF THE ABOVE UNITS SHALL BE INCLUDED IN THE VALUATION OF WORK. FOR ALL WORK DONE UNDER THIS PERMIT THE PERMITTEE ACCEPTS FULL RESPONSIBILITY FOR COMPLIANCE WITH THE TECHNICAL PLUMBING CODE REGULATIONS, PUBLIC HEALTH DEPARTMENT, STATE OF COLORADO, CITY OF LOUISVILLE ORDINANCES, AND ALL OTHER COUNTY RESOLUTIONS, CITY ORDINANCES, STATE LAWS, WHICHEVER APPLIES.

REQUIRED INSPECTIONS SHALL BE REQUESTED ONE WORKING DAY IN ADVANCE. PERMIT SUBJECT TO REVOCATION OR SUSPENSION FOR VIOLATION OF ANY LAWS GOVERNING SAME.

A FINAL INSPECTION SHALL BE MADE BEFORE OCCUPANCY IS PERMITTED.

SIGNATURE OF APPLICANT: *Mark Mazeski*

VALUATION OF WORK \$ **900**

PLAN FILED	T	P	TOTAL FEE
DOUBLE FEE ☐	CHECK ☐	CASH ☐	<i>Double Fee \$ 20</i>

BUILDING INSPECTION DEPARTMENT

APPROVAL BY *[Signature]* DATE **7-3-84**

THIS FORM IS A PERMIT ONLY WHEN VALIDATED HERE →

DATE	PERMIT NO.	LICENSE #	RECEIPT CLASS	AMOUNT
7-3-84	41472			20.00

1st - INSPECTOR'S COPY



749 Main Street - Louisville, Colorado 80027
CITY HALL 404-5505

014650

NAME Colorado Landscape Irrigation AMOUNT \$ 20.00
DATE July 5, 1984

#4 permit

01-100-510-5121

20⁰⁰

#41472

RECEIPT BY: AK

BUILDING INSPECTION DEPARTMENT
CITY OF LOUISVILLE, COLO. 686-5565

ADDRESS OF JOB 833 LAFARG		ELECTRICAL PERMIT	3											
WHEN SIGNED AND VALIDATED BY BUILDING INSPECTION DEPARTMENT THIS PERMIT AUTHORIZES THE WORK DESCRIBED BELOW.														
CLASS OF WORK: NEW ☐ ADDITION ☒ ALTERATION ☐ REPAIR ☐ MOVE ☐ WRECK ☐														
OWNER NAME 1st Pentecostal Church ADDRESS 833 LAFARG PHONE _____														
CONTRACTOR	NAME (AS LICENSED) AAC ELECTRICAL CO.		LICENSE CLASS _____											
			LICENSE NUMBER _____											
	ADDRESS PO Box 35 Louisville		PHONE 685-2880											
	SUPERVISOR FOR THIS JOB NAME Dennis Grother DATE CERTIFIED _____													
NO. OF UNITS		DESCRIPTION OF WORK	NO. OF UNITS											
		TEMPORARY METER	TRANSFORMERS & RECTIFIERS											
		NEW SERVICE ENTRANCE	WIRING MOTORS & CONTROLS											
		NO. AMPS _____	NO. OF OIL BURNERS, STOKERS, FORCED AIR SYSTEMS											
		CHANGE SERVICE ENTRANCE	OTHER _____											
		NO. AMPS _____	MOTORS _____ H.P.											
		CIRCUITS	SIGNS											
1		LIGHTING	NEON EXT'R SIGN & 1 TRANSFORMER											
		HEATING	NEON INT'R SIGN & 1 TRANSFORMER											
		POWER SUB-CIRCUITS	ADDITIONAL TRANSFORMERS, EXT. OR INT.											
		UTILITY (RANGE, DISPOSER, COOLER, FAN, DRYER, WATER HEATER)	NO. OF INCANDESCENT LIGHTS											
		OTHER _____	FIRE DETECTION-ALARM SYS'M.											
1		FIXTURES _____	OTHER _____											
REMARKS														
		AGENCY	AUTHORIZED BY											
		PUBLIC WORKS	DATE											
NOTES TO APPLICANT: THE VALUATION OF EACH OF THE ABOVE UNITS SHALL BE INCLUDED IN THE VALUATION OF WORK. FOR ALL WORK DONE UNDER THIS PERMIT THE PERMITTEE ACCEPTS FULL RESPONSIBILITY FOR COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE, THE CITY OF LOUISVILLE ORDINANCES, AND ALL OTHER COUNTY RESOLUTIONS, CITY ORDINANCES, STATE LAWS, WHICHEVER APPLIES. PERMIT SUBJECT TO REVOCATION OR SUSPENSION FOR VIOLATION OF ANY LAWS GOVERNING SAME. REQUIRED INSPECTIONS SHALL BE REQUESTED ONE WORKING DAY IN ADVANCE. A FINAL INSPECTION SHALL BE MADE BEFORE POWER WILL BE RELEASED, AND BEFORE THE BUILDING MAY BE OCCUPIED. SIGNATURE OF APPLICANT:		VALUATION OF WORK \$ 900- <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td>PLAN FILED</td> <td>T</td> <td>P</td> <td rowspan="2" style="text-align: center; vertical-align: middle;">TOTAL FEE</td> </tr> <tr> <td>DOUBLE FEE 11</td> <td>CHECK 13</td> <td>CASH 13</td> </tr> <tr> <td colspan="3"></td> <td style="text-align: center; font-size: 1.5em;">\$ 23.00</td> </tr> </table> BUILDING DEPARTMENT 7/29/83 APPROVAL BY _____ DATE _____		PLAN FILED	T	P	TOTAL FEE	DOUBLE FEE 11	CHECK 13	CASH 13				\$ 23.00
PLAN FILED	T	P	TOTAL FEE											
DOUBLE FEE 11	CHECK 13	CASH 13												
			\$ 23.00											
THIS FORM IS A PERMIT ONLY WHEN VALIDATED HERE →		DATE	PERMIT NO.											
		7/29/83	31475											
		LICENSE #	RECEIPTS CLASS											
			AMOUNT											
			23.00											

White - Bldg Dept - Canary - County of Boulder - Pink - Finance - Goldenrod - Contractor



City of Louisville

749 Main Street - Louisville, Colorado 80027
CITY MAIL 800-6565

10321

NAME

H & H Electrical

AMOUNT \$ 23.00

DATE

9/183

DESCRIPTION

AMOUNT OF SERVICE

#3 Permit

01-110-510-5127

\$23.00

RECEIPT BY:

Greg Serra

BUILDING INSPECTION DEPARTMENT
CITY OF LOUISVILLE, COLO.

ADDRESS OF JOB <u>833 LA Farge</u>		GENERAL CONSTRUCTION PERMIT	1
WHEN SIGNED AND VALIDATED BY BUILDING INSPECTION DEPARTMENT THIS PERMIT AUTHORIZES THE WORK DESCRIBED BELOW.			
CLASS OF WORK: NEW ☒ ADDITION ☐ ALTERATION ☐ REPAIR ☐ MOVE ☐ WRECK ☐			
OWNER NAME <u>First Pentecostal Church</u> ADDRESS <u>833 LA Farge</u> PHONE <u>666-8101</u>			
CONTRACTOR	NAME (AS LICENSED) <u>First Pentecostal Church</u>		LICENSE CLASS <u>GLASS</u>
	ADDRESS <u>833 LA Farge</u>		LICENSE NUMBER <u>666-8101</u>
	SUPERVISOR FOR THIS JOB NAME <u>Rev James E Johnston</u>		INSURANCE ☒
	DATE CERTIFIED _____		
LEGAL DESCRIPTION LOT NO. _____ BLOCK NO. _____ ADDITION _____			
SURVEY BY _____ DESIGN BY _____ A LIC PE NC			
AREA (S.F.) AT GRADE _____		HEIGHT (FEET) _____	NO. STORIES _____
BASEMENT ☐ FIN UNFIN ☐		GARAGE ☐ SINGLE ☐ DOUBLE ☐	ATTACHED ☐ DETACHED ☐
TYP. CONSTR. _____		FIRE ZONE _____	
FOUNDATION	DEPTH BELOW GRADE _____	FIRST FLOOR _____	
	EXTERIOR FOOTING SIZE _____	CEILING _____	
	EXTERIOR IDN. WALL THICKNESS _____	ROOF _____	
	THICK SLAB ☐	ROOFING MATERIAL _____	
MASONRY THICKNESS _____		ABOVE 1ST FLR _____	ABOVE 2ND FLR _____
STUD. SIZE & SPACE _____		ABOVE 1ST FLR _____	ABOVE 2ND FLR _____
REMARKS <u>Replace Fence</u>		VALUATION OF WORK \$ <u>200.00</u>	
<u>South Property Line</u>		TOTAL FEE \$ <u>10.00</u>	
<u>40' of Fence to Cedar</u>		BUILDING DEPARTMENT <u>5/23/83</u>	
NOTES TO APPLICANT: FOR ALL WORK DONE UNDER THIS PERMIT THE PERMITTEE ACCEPTS FULL RESPONSIBILITY FOR COMPLIANCE WITH THE UNIFORM BUILDING CODE, THE COUNTY ZONING RESOLUTION OR CITY ZONING ORDINANCE, AND ALL OTHER COUNTY RESOLUTIONS OR CITY ORDINANCES WHICHEVER APPLIES. SEPARATE PERMITS MUST BE OBTAINED FOR ELECTRICAL, PLUMBING AND HEATING, SIGNS, SWIMMING POOLS AND FENCES. PERMIT EXPIRES 60 DAYS FROM DATE ISSUED UNLESS WORK IS STARTED. REQUIRED INSPECTIONS SHALL BE REQUESTED ONE WORKING DAY IN ADVANCE. ALL FINAL INSPECTIONS SHALL BE MADE ON ALL ITEMS OF WORK BEFORE OCCUPANCY IS PERMITTED. THIS BUILDING SHALL NOT BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED. ☐ PERMIT SUBJECT TO REVOCATION OR SUSPENSION FOR VIOLATION OF ANY LAWS GOVERNING SAME.		APPROVAL BY <u>[Signature]</u> DATE _____	
SIGNATURE OF APPLICANT <u>Rev James E Johnston</u>		DATE <u>5/23/83</u>	
THIS FORM IS A PERMIT ONLY WHEN VALIDATED HERE →		PERMIT NO. <u>11193</u>	RECEIPTS CLASS <u>10.00</u>

INSPECTOR'S COPY



City of Louisville

700 Main Street - Louisville, Colorado 80027
CITY HALL 666-6563

07929

NAME 1st Pentecostal Church of Louisville AMOUNT \$ 42.50
DATE 5-24

2# / Permits

01/100-510-5121
#4250

RECEIPT BY

C Del Prado

099 3570 0/24/03 42.50 IL

CITY OF LOUISVILLE, COLORADO

749 MAIN STREET - 686-6565
OFFICE OF BUILDING DEPARTMENT

REQUEST FOR INSPECTION

DATE 5-26-93 PERMIT NO. _____TIME _____ AM
RECEIVED _____ PMJOB ADDRESS 833 LafargeOWNER'S NAME 1st Pentecostal Church CONTRACTOR _____

BUILDING	PLUMBING	HEATING	WALL COVERINGS
Footing _____	☒ Ground Plumb. _____	☐ Rough _____	☐ Insulation _____
Foundation _____	☐ Rough Plumb. _____	☐ Venting _____	☐ Dry Wall _____
Framing _____	☐ Water Serv. _____	☐ FINAL _____	☐ FINAL _____
Masonry _____	☐ Sewer Serv. _____	☐ Garage _____	☐ Miscellaneous _____
Fire Prot. _____	☐ Gas Piping _____	☐ Fence _____	☐ Remodel _____
FINAL _____	☐ Lawn Sprink. _____	☐ Sign _____	☐ Mobile Home _____
	FINAL _____	FINAL _____	FINAL _____

READY FOR INSPECTION

DATE: 5-27 MON. TUES. WED. THURS. FRI. A.M.
P.M.Inspection Made: _____ A.M. APPROVED X
P.M. DENIED _____

REMARKS: _____

SP
INSPECTOR

ELECTRICAL INSPECTION REPORT AND CORRECTIONS NOTICE

TYPE OF INSPECTION: PERMIT NO. _____
Residential ☐ Commercial ☒ Rough-in ☒ Final ☐
Temp Meter ☐ Temp Heat ☐ Mobile Home ☐ Service ☐
Pump or Well ☐ Sprinkler ☐ Air Cond. ☐ Elec. Ht. ☐

Service:
Type 1 Ø or 3 Ø _____ GFI Cir. Yes _____ No _____ Size _____
Size _____ Hazardous area Yes _____ No _____
Overhead _____ Finished bsmt Yes _____ No _____
Undergrd _____ Sub Panels Yes _____ No _____
Type Grd. _____ # of single phase _____
Size Grd. _____ # of three phase _____
Res: Range _____ Dryer ☒ Water Htr. _____
ACTION: Accepted _____ Rejected ☒ Remarks _____

\$20 REINSPECTION FEE REQUIRED ☒ (You are ordered to make the following corrections to the electrical construction which is now in progress at the address below)

Corrections if Rejected ☐:

Power locked panel
not given

Address: *883 Lafayette*

Contractor's/
Home Owner _____

Time on travel _____ Arrival Time _____ a.m.
p.m.

Time on Inspection _____ Date Rec. *6-20-83*

Consult Time *1/1* Date Insp. *6-20-83*

Inspector *HP*

BUILDING INSPECTION DEPARTMENT
CITY OF LOUISVILLE, COLO.

ADDRESS OF JOB <u>833 LA Farge</u>		GENERAL CONSTRUCTION PERMIT	1
WHEN SIGNED AND VALIDATED BY BUILDING INSPECTION DEPARTMENT THIS PERMIT AUTHORIZES THE WORK DESCRIBED BELOW.			
CLASS OF WORK: NEW ☐ ADDITION ☒ ALTERATION ☐ REPAIR ☐ MOVE ☐ WRECK ☐			
OWNER NAME <u>First Pentecostal Church</u> ADDRESS <u>833 LA Farge</u> PHONE <u>666-8181</u>			
CONTRACTOR	NAME (AS LICENSED) <u>First Pentecostal Church</u>		LICENSE CLASS <u> </u> LICENSE NUMBER <u> </u>
	ADDRESS <u>833 LA Farge</u>		PHONE <u>666-8181</u> INSURANCE ☐
	SUPERVISOR FOR THIS JOB NAME <u>Rev James E Johnston</u>		DATE CERTIFIED <u> </u>
LEGAL DESCRIPTION LOT NO. <u> </u> BLOCK NO. <u> </u> ADDITION <u> </u>			
SURVEY BY <u> </u>		ATTACHED ☐ DESIGN BY <u> </u> A LIC PE NO <u> </u>	
AREA (S.F.) AT GRADE <u> </u>	HEIGHT (FEET) <u> </u>	NO. STORIES <u> </u>	TOTAL UNITS <u> </u>
BASEMENT ☐ FIN UNIN ☐ GARAGE ☐		SINGLE ☐ DOUBLE ☐	ATTACHED ☐ DETACHED ☐ TOTAL ROOMS <u> </u>
OCCUPANCY GROUP <u> </u>		DIV. <u> </u>	
TYPE CONSTR. <u> </u>		FIRE ZONE <u> </u>	
FOUNDATION	DEPTH BELOW GRADE <u> </u>	FIRST FLOOR SIZE SPACING SPAN <u> </u>	
	EXTERIOR FOOTING SIZE <u> </u>	CEILING <u> </u>	
	EXTERIOR FDN WALL THICKNESS <u> </u> CONC ☐ MASY ☐	ROOF <u> </u>	
	THICK SLAB ☐ CAISSONS & GR BEAMS ☐ ROOFING MATERIAL <u> </u>		
EXTERIOR WALL	MASONRY THICKNESS <u> </u>	ABOVE 1ST FLR <u> </u>	ABOVE 2ND FLR <u> </u>
	STUD SIZE & SPACE <u> </u>	ABOVE 1ST FLR <u> </u>	ABOVE 2ND FLR <u> </u>
REMARKS <u>Handicap Entrance</u> <u>North side of Building</u>			
NOTES TO APPLICANT: FOR ALL WORK DONE UNDER THIS PERMIT THE PERMITTEE ACCEPTS FULL RESPONSIBILITY FOR COMPLIANCE WITH THE UNIFORM BUILDING CODE, THE COUNTY ZONING RESOLUTION OR CITY ZONING ORDINANCE, AND ALL OTHER COUNTY RESOLUTIONS OR CITY ORDINANCES WHICHEVER APPLIES. SEPARATE PERMITS MUST BE OBTAINED FOR ELECTRICAL, PLUMBING AND HEATING, SIGNS, SWIMMING POOLS AND FENCES. PERMIT EXPIRES 60 DAYS FROM DATE ISSUED UNLESS WORK IS STARTED. REQUIRED INSPECTIONS SHALL BE REQUESTED ONE WORKING DAY IN ADVANCE. ALL FINAL INSPECTIONS SHALL BE MADE ON ALL ITEMS OF WORK BEFORE OCCUPANCY IS PERMITTED. THIS BUILDING SHALL NOT BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED. ☐ PERMIT SUBJECT TO REVOCATION OR SUSPENSION FOR VIOLATION OF ANY LAWS GOVERNING SAME. SIGNATURE OF APPLICANT <u>Rev James E Johnston</u>			
VALUATION OF WORK \$ <u>2,050.00</u>		TOTAL FEE \$ <u>32.50</u>	
BUILDING DEPARTMENT <u>J. Stucke</u>		DATE <u>5/23/83</u>	
APPROVAL BY <u> </u>		DATE <u> </u>	
THIS FORM IS A PERMIT ONLY WHEN VALIDATED HERE →			
DATE <u>5/23/83</u>	PERMIT NO. <u>Nº 11194</u>	LICENSE # <u> </u>	RECEIPTS CLASS <u> </u>
		AMOUNT <u>32.50</u>	

INSPECTOR'S COPY



City of Louisville
749 Main Street - Louisville, Colorado 80027
CITY HALL 600-6365

07929

NAME 1st Pentecostal Church of Louis AMOUNT \$ 42.50
DATE 5-24

DESCRIPTION	AMOUNT OF SERVICE
2#1 Permits	
01-100-510-512/	
#4250	
RECEIPT BY <u>C DelPizzo</u>	

BUILDING INSPECTION DEPARTMENT
CITY OF LOUISVILLE, COLO.

ADDRESS OF JOB <u>First Pentecostal Church</u> <u>833 LaFarge, Louisville Co.</u>		PLUMBING OR DOMESTIC APPL. PERMIT	4
WHEN SIGNED AND VALIDATED BY BUILDING INSPECTION DEPARTMENT THIS PERMIT AUTHORIZES THE WORK DESCRIBED BELOW.			
CLASS OF WORK: NEW ☐ ADDITION ☒ ALTERATION ☐ REPAIR ☐ MOVE ☐ WRECK ☐			
OWNER NAME <u>First Pentecostal</u> ADDRESS <u>833 LaFarge</u> PHONE <u>466-8101</u>			
CONTRACTOR	NAME (AS LICENSED) <u>Pete LaBella & Sons</u>		LICENSE CLASS <u>A</u>
	ADDRESS <u>1015 Delphi Lafayette</u>		LICENSE NUMBER <u>3475</u>
	SUPERVISOR FOR THIS JOB NAME <u>Pete LaBella</u>		DATE CERTIFIED _____

PLUMBING											DOMESTIC APPLIANCES	
FLOOR	BSMT.	1	2	3	4	5	6	7	8	OTHERS	NO. OF UNITS	DESCRIPTION OF WORK
AUTO. WASHER												AUTOMATIC WASHER
BATH TUB		1										DISH WASHER
DRINK. FOUNTAIN												WATER SOFTENER
DISH WASHER												OTHER-
FLOOR DRAIN												
GARB. DISPOSAL												
GREASE TRAP												
SAND TRAP												
SEWER-SANITARY												
SEWER-STORM												
SHOWER												
SINK												
SLOP SINK												
UNDERGROUND SPRINKLER SYS.												
URINAL												
WASH BOWL												
WASH TUB												
WATER CLOSET												
WATER DISTRIB. SYST.												
WELL												
OTHER												
TOTAL FIXTURES BY FLOORS												
TOTAL FIXTURES ON JOB		1										

NOTES TO APPLICANT:

THE VALUATION OF EACH OF THE ABOVE UNITS SHALL BE INCLUDED IN THE VALUATION OF WORK. FOR ALL WORK DONE UNDER THIS PERMIT THE PERMITTEE ACCEPTS FULL RESPONSIBILITY FOR COMPLIANCE WITH THE TECHNICAL PLUMBING CODE REGULATIONS, PUBLIC HEALTH DEPARTMENT, STATE OF COLORADO, CITY OF LOUISVILLE ORDINANCES, AND ALL OTHER COUNTY RESOLUTIONS, CITY ORDINANCES, STATE LAWS, WHICHEVER APPLIES.

REQUIRED INSPECTIONS SHALL BE REQUESTED ONE WORKING DAY IN ADVANCE. PERMIT SUBJECT TO REVOCATION OR SUSPENSION FOR VIOLATION OF ANY LAWS GOVERNING SAME.

A FINAL INSPECTION SHALL BE MADE BY THE OCCUPANCY INSPECTOR.

SIGNATURE OF APPLICANT: [Signature] NO. **40534**

AGENCY		AUTHORIZED BY	DATE
ZONING			
PUBLIC HEALTH			
STATE ENGINEER			

VALUATION OF WORK	\$ <u>350.00</u>
PLAN FILED	T ☐ P ☒
DOUBLE FEE ☐	CHECK ☒ CASH ☐ TOTAL FEE \$ <u>10.00</u>
BUILDING INSPECTION DEPARTMENT	
<u>[Signature]</u> 3/1/83 APPROVAL BY DATE	

THIS FORM IS A PERMIT ONLY
WHEN VALIDATED HERE →

DATE	PERMIT NO.	LICENSE #	RECEIPTS CLASS	AMOUNT
3/1/83				10.00

INSPECTOR'S COPY



City of Louisville

779 Main Street - Louisville, Colorado 80027
CITY HALL 666-6565

06672

NAME Pete LaBella & Sons
DATE 3/2/83

AMOUNT \$ 10.00

DESCRIPTION	AMOUNT OF SERVICE
#4 Primer	
01-100-510-512	
\$10.00	
RECEIPT BY <u>[Signature]</u>	

CITY OF LOUISVILLE, COLORADO
749 MAIN STREET - 668-6565
OFFICE OF BUILDING DEPARTMENT

REQUEST FOR INSPECTION

DATE 3-3-73 PERMIT NO. _____

TIME _____
RECEIVED

AM
PM

JOB ADDRESS 833 LaFarce

OWNER'S NAME Pentecostal Church CONTRACTOR _____

BUILDING	PLUMBING	HEATING	WALL COVERINGS
Footling ☐	Ground Plumb. ☐	Rough ☐	Insulation ☐
Foundation ☐	Rough Plumb. ☒	Venting ☐	Dry Wall ☐
Framing ☒	Water Serv. ☐	FINAL ☐	FINAL ☐
Masonry ☐	Sewer Serv. ☐	Garage ☐	Miscellaneous ☐
Fire Prot. ☐	Gas Piping ☐	Fence ☐	Remodel ☐
FINAL ☐	Lawn Sprink. ☐	Sign ☐	Mobile Home ☐
	FINAL ☐	FINAL ☐	FINAL ☐

READY FOR INSPECTION

DATE 3-4 MON. TUES. WED. THURS. FRI. A.M.
P.M.

Inspection Made: _____
A.M. APPROVED _____
P.M. DENIED _____

REMARKS: _____

INSPECTOR _____

BUILDING INSPECTION DEPARTMENT
CITY OF LOUISVILLE, COLO. 806-8585

ADDRESS OF JOB 833 LA FARGE		ELECTRICAL PERMIT	3
WHEN SIGNED AND VALIDATED BY BUILDING INSPECTION DEPARTMENT THIS PERMIT AUTHORIZES THE WORK DESCRIBED BELOW.			
CLASS OF WORK: NEW ☐ ADDITION ☒ ALTERATION ☐ REPAIR ☐ MOVE ☐ WRECK ☐			
OWNER NAME 1st Pentecostal Church		PHONE _____	
CONTRACTOR	NAME (AS LICENSED) ALG ELECTRICAL CO		LICENSE CLASS _____
	ADDRESS PO Box 35 Louisville		LICENSE NUMBER _____
	SUPERVISOR FOR THIS JOB NAME DENNIS BANTLER		DATE CERTIFIED _____
	PHONE 665-2880		

NO. OF UNITS	DESCRIPTION OF WORK	NO. OF UNITS	DESCRIPTION OF WORK
_____	TEMPORARY METER	_____	TRANSFORMERS & RECTIFIER:
_____	NEW SERVICE ENTRANCE	_____	WIRING MOTORS & CONTROLS
_____	NO. AMPS _____	_____	NO. OF OIL BURNERS, STOKERS, FORCED AIR SYSTEMS
_____	CHANGE SERVICE ENTRANCE	_____	OTHER _____
_____	NO. AMPS _____	_____	MOTORS _____ H.P.
4	CIRCUITS	_____	SIGNS
_____	LIGHTING	_____	NEON EXT'R SIGN & 1 TRANSFORMER
_____	HEATING	_____	NEON INT'R SIGN & 1 TRANSFORMER
_____	POWER SUB-CIRCUITS	_____	ADDITIONAL TRANSFORMERS, EXT. OR INT.
_____	UTILITY (RANGE, DISPOSER, COOLER, FAN, DRYER, WATER HEATER)	_____	NO. OF INCANDESCENT LIGHTS
_____	OTHER _____	_____	FIRE DETECTION-ALARM SYS'M.
_____	FIXTURES _____	_____	OTHER _____

REMARKS	AGENCY	AUTHORIZED BY	DATE
	PUBLIC WORKS		

NOTES TO APPLICANT:

THE VALUATION OF EACH OF THE ABOVE UNITS SHALL BE INCLUDED IN THE VALUATION OF WORK. FOR ALL WORK DONE UNDER THIS PERMIT THE PERMITTEE ACCEPTS FULL RESPONSIBILITY FOR COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE, THE CITY OF LOUISVILLE ORDINANCES, AND ALL OTHER COUNTY RESOLUTIONS, CITY ORDINANCES, STATE LAWS, WHICHEVER APPLIES. PERMIT SUBJECT TO REVOCATION OR SUSPENSION FOR VIOLATION OF ANY LAWS GOVERNING SAME. REQUIRED INSPECTIONS SHALL BE REQUESTED ONE WORKING DAY IN ADVANCE. A FINAL INSPECTION SHALL BE MADE BEFORE POWER WILL BE RELEASED, AND BEFORE THE BUILDING MAY BE OCCUPIED.

SIGNATURE OF APPLICANT:

VALUATION OF WORK \$ **1500 -**

PLAN FILED	T	P	TOTAL FEE
DOUBLE FEE ☐	CHECK ☒	CASH ☐	\$34.50

BUILDING DEPARTMENT

APPROVAL BY: DATE: **2/6/83**

DATE	PERMIT NO.	LICENSE #	RECEIPTS CLASS	AMOUNT
2/6/83	Nº 30607			34.50



 **City of Louisville**
747 Main Street - Louisville, Colorado 80027
CITY HALL 466-5365

06181

NAME A&S Electrical
DATE 2/2/83

AMOUNT \$ 69.00



2nd 3rd Floor
Electrical
01-100-310-5127
\$69.00
[Signature]
RECEIPT BY: [Signature]

033 1403	2/02/83	69.00	IL
033 1433	2/02/83	03.00	IL

ELECTRICAL INSPECTION REPORT AND CORRECTIONS NOTICE

TYPE OF INSPECTION:

PERMIT NO. _____

Residential ☐ Commercial ☒ Rough-in ☒ Final ☐
Temp Meter ☐ Temp Heat ☐ Mobile Home ☐ Service ☐
Pump or Well ☐ Sprinkler ☐ Air Cond. ☐ Elec. Ht. ☐

Service:

Type 1 Ø or 3 Ø _____ GFI Cir. Yes _____ No _____ Size _____
Size _____ Hazardous area Yes _____ No _____
Overhead _____ Finished bsmt Yes _____ No _____
Undergrd _____ Sub Panels Yes _____ No _____
Type Grd. _____ # of single phase _____
Size Grd. _____ # of three phase _____
Res: Range _____ Dryer _____ Water Htr. _____

ACTION: Accepted ☒ Rejected _____ Remarks _____

\$20 REINSPECTION FEE REQUIRED ☐ (You are ordered to
make the following corrections to the electrical const-
ruction which is now in progress at the address below)

Corrections if Rejected ☐ : _____

Address: 833 Lafarge

Contractor's/
Home Owner Pentecostal Church / A+G Electric

Time on travel _____ Arrival Time _____ a.m.
p.m.

Time on Inspection _____ Date Rec. 2-28-83

Consult Time _____ Date Insp. 3-1-83

Inspector HP

BUILDING INSPECTION DEPARTMENT
CITY OF LOUISVILLE, COLO.

ADDRESS OF JOB 833 La Farge		GENERAL CONSTRUCTION PERMIT 1	
WHEN SIGNED AND VALIDATED BY BUILDING INSPECTION DEPARTMENT THIS PERMIT AUTHORIZES THE WORK DESCRIBED BELOW.			
CLASS OF WORK: NEW ☐ ADDITION ☒ ALTERATION ☐ REPAIR ☐ MOVE ☐ WRECK ☐			
OWNER NAME First Pentecostal church ADDRESS 833 La farge PHONE 666 8101			
CONTRACTOR	NAME (AS LICENSED) Rev James E. Johnston Sr		LICENSE CLASS
	ADDRESS 339 Sherman Longmont		PHONE 776-6962
	SUPERVISOR FOR THIS JOB NAME Same		DATE CERTIFIED
LEGAL DESCRIPTION LOT NO. 10, 11 and 12 Sub 5 ADDITION Jefferson Place addition			
SURVEY BY		DESIGN BY	
AREA (S.F.) AT GRADE	HEIGHT (FEET) Same as existing	NO. STORIES 2	TOTAL UNITS
BASEMENT	FIN UNFIN ☐	GARAGE	SINGLE DOUBLE ☐ ATTACHED ☐ DETACHED ☐
TYP. CONSTR. Block & Frame		FIRE ZONE	
FOUNDATION	DEPTH BELOW GRADE	SPAN	
	EXTERIOR FOOTING SIZE 24" deep 18" wide	FIRST FLOOR 2x8 16" oc 12'	
	EXTERIOR FDN WALL THICKNESS 8" CONC MASONRY	CEILING 2x6 24" oc 12'	
	THICK SLAB ☐ CANYONS & GR. WAMS ☐	ROOF 2x6 24" oc 16'	
POOFING MATERIAL 260# asphalt T Lok		AGENCY AUTHORIZED BY DATE	
EXTERIOR WALL		BUILDING REVIEW	
MASONRY THICKNESS ABOVE 1ST FLR		ZONING	
STUD SIZE & SPACE ABOVE 1ST FLR 2x4 24" oc 16'		PARKING	
REMARKS addition of 12' on existing building		PUBLIC HEALTH	
Remainder of Rear lot to be put in parking off of Allen - This does not include the handi-capped on North of Building.		ENGINEERING	
NOTES TO APPLICANT:		FIRE	
FOR ALL WORK DONE UNDER THIS PERMIT THE PERMITTEE ACCEPTS FULL RESPONSIBILITY FOR COMPLIANCE WITH THE UNIFORM BUILDING CODE, THE COUNTY ZONING RESOLUTION OR CITY ZONING ORDINANCE, AND ALL OTHER COUNTY RESOLUTIONS OR CITY ORDINANCES WHICHEVER APPLIES. SEPARATE PERMITS MUST BE OBTAINED FOR ELECTRICAL, PLUMBING AND HEATING, SIGNS, SWIMMING POOLS AND FENCES. PERMIT EXPIRES 60 DAYS FROM DATE ISSUED UNLESS WORK IS STARTED. REQUIRED INSPECTIONS SHALL BE REQUESTED ONE WORKING DAY IN ADVANCE. ALL FINAL INSPECTIONS SHALL BE MADE ON ALL ITEMS OF WORK BEFORE OCCUPANCY IS PERMITTED. THIS BUILDING SHALL NOT BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED. ☐ PERMIT SUBJECT TO REVOCATION OR SUSPENSION FOR VIOLATION OF ANY LAWS GOVERNING SAME. SIGNATURE OF APPLICANT: Rev James E. Johnston Sr		VALUATION OF WORK \$ 18,000.00	
		TOTAL FEE \$ 176.50	
		BUILDING DEPARTMENT	
		APPROVAL BY [Signature] DATE 10-25-82	
THIS FORM IS A PERMIT ONLY WHEN VALIDATED HERE →		DATE	PERMIT NO.
		LICENSE #	RECEIPTS CLASS
		AMOUNT	
		10-25-82	10446
			176.50

INSPECTOR'S COPY



City of Louisville
749 Main Street - Louisville, Colorado 80027
CITY HALL 666-6565

04669

NAME

James Johnston

AMOUNT \$

176.50

DATE

10/26/82

DESCRIPTION

AMOUNT OF SERVICE

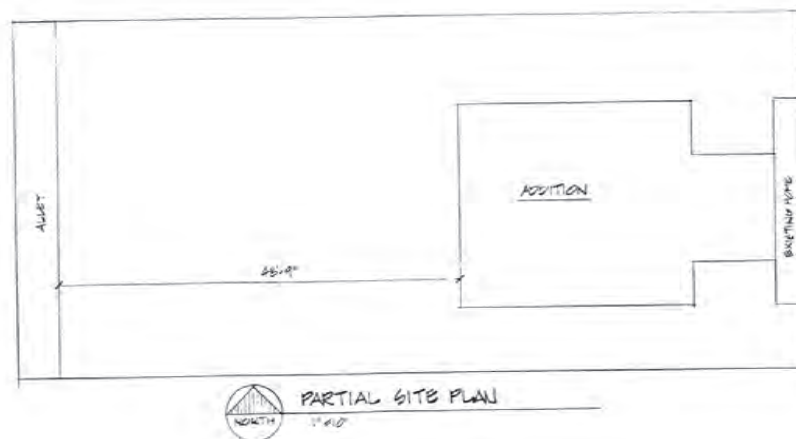
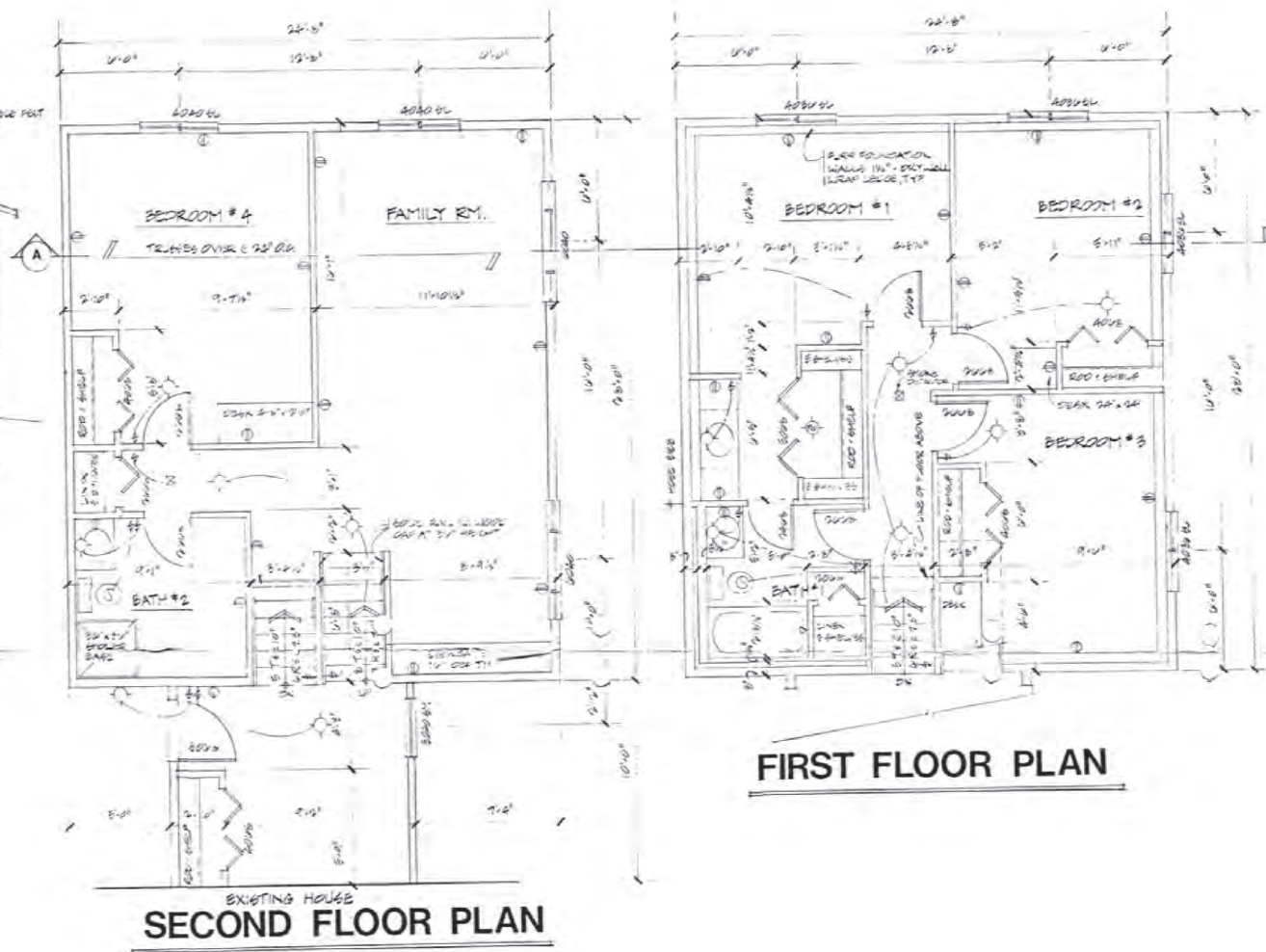
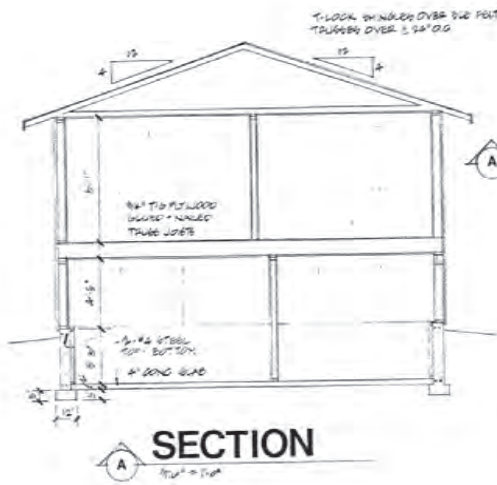
#1 Permit

01-100-510-5/21

\$176.50

RECEIPT BY:

[Signature]



CITY OF LOUISVILLE, COLORADO
749 MAIN STREET - 666-6565
OFFICE OF BUILDING DEPARTMENT

REQUEST FOR INSPECTION

DATE 1-11-83 PERMIT NO. _____

TIME 3:30 AM
RECEIVED PM

JOB ADDRESS 833 Lafayette

OWNER'S NAME Episcopal Church CONTRACTOR Jim Johnson

BUILDING	PLUMBING	HEATING	WALL COVERINGS
Footings ☐	Ground Plumb. ☐	Rough ☐	Insulation ☐
Foundation ☒	Rough Plumb. ☐	Venting ☐	Dry Wall ☐
Framing ☐	Water Serv. ☐	FINAL ☐	FINAL ☐
Masonry ☐	Sewer Serv. ☐	Garage ☐	Miscellaneous ☐
Fire Prot. ☐	Gas Piping ☐	Fence ☐	Remodel ☐
FINAL ☐	Lawn Sprink. ☐	Sign ☐	Mobile Home ☐
	FINAL ☐	FINAL ☐	FINAL ☐

WATERPROOFING

READY FOR INSPECTION

DATE 1-12-83 MON. TUES. WED THURS. FRI. 8:45 A.M. P.M.

Inspection Made: 8:45 APPROVED P.M. DENIED

REMARKS: _____

J. Ewan
INSPECTOR

BUILDING INSPECTION DEPARTMENT
CITY OF LOUISVILLE, COLO.

ADDRESS OF JOB <u>833 LaFarge Ave.</u>		GENERAL CONSTRUCTION PERMIT 1	
WHEN SIGNED AND VALIDATED BY BUILDING INSPECTION DEPARTMENT THIS PERMIT AUTHORIZES THE WORK DESCRIBED BELOW.			
CLASS OF WORK: NEW ☒ ADDITION ☐ ALTERATION ☐ REPAIR ☐ MOVE ☐ WRECK ☐			
OWNER NAME <u>First Penecostal Church</u> ADDRESS <u>833 LaFarge</u> PHONE _____			
CONTRACTOR	NAME (AS LICENSED) <u>J & L Lawn Systems</u>		LICENSE Special CLASS <u>contractor</u> LICENSE NUMBER _____
	ADDRESS <u>1155 So Main St Longmont</u>		PHONE <u>776-3276</u> INSURANCE ☒
	SUPERVISOR FOR THIS JOB NAME <u>Larry Hulse</u>		DATE CERTIFIED _____
	LEGAL DESCRIPTION LOT NO. <u>11</u> BLOCK NO. <u>5</u> ADDITION <u>Old Louisville</u>		
SURVEY BY _____		DESIGN BY <u>J & L Lawn Systems</u>	A LIC PE NO. _____
AREA (S.F.) AT GRADE _____	HEIGHT (FEET) _____	NO. STORIES _____	TOTAL UNITS _____
BASEMENT FIN ☐ UNFIN ☐ GARAGE _____		SINGLE ☐ DOUBLE ☐ ATTACHED ☐ DETACHED ☐	TOTAL ROOMS _____
OCCUPANCY GROUP _____		DIV. _____	
TYPE CONSTR. _____		FIRE ZONE _____	
FOUNDATION	DEPTH BELOW GRADE _____	FIRST FLOOR SIZE SPACING SPAN _____	
	EXTERIOR FOOTING SIZE _____	CEILING _____	
	EXTERIOR TON WALL THICKNESS _____ CONC. ☐ MASONRY ☐	ROOF _____	
	THICK SLAB ☐ CARBONS & GR. BAMS ☐	ROOFING MATERIAL _____	
EXTERIOR WALL	MASONRY THICKNESS _____	ABOVE 1ST FLR. _____	ABOVE 2ND FLR. _____
	STUD SIZE & SPACE _____	ABOVE 1ST FLR. _____	ABOVE 2ND FLR. _____
REMARKS <u>Permit for underground Lawn Sprinkling System - Atmospheric Valve must be installed 6" (minimum) Higher than the Highest sprinkler head extends.</u>			
NOTES TO APPLICANT: FOR ALL WORK DONE UNDER THIS PERMIT THE PERMITTEE ACCEPTS FULL RESPONSIBILITY FOR COMPLIANCE WITH THE UNIFORM BUILDING CODE, THE COUNTY ZONING RESOLUTION OR CITY ZONING ORDINANCE, AND ALL OTHER COUNTY RESOLUTIONS OR CITY ORDINANCES WHICHEVER APPLIES. SEPARATE PERMITS MUST BE OBTAINED FOR ELECTRICAL, PLUMBING AND HEATING, SIGNS, SWIMMING POOLS AND FENCES. PERMIT EXPIRES 60 DAYS FROM DATE ISSUED UNLESS WORK IS STARTED. REQUIRED INSPECTIONS SHALL BE REQUESTED ONE WORKING DAY IN ADVANCE. ALL FINAL INSPECTIONS SHALL BE MADE ON ALL ITEMS OF WORK BEFORE OCCUPANCY IS PERMITTED. THIS BUILDING SHALL NOT BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED. ☐ PERMIT SUBJECT TO REVOCATION OR SUSPENSION FOR VIOLATION OF ANY LAWS GOVERNING SAME. SIGNATURE OF APPLICANT: <u>Larry W. Hulse</u>			
VALUATION OF WORK \$ <u>2,100.00</u> TOTAL FEE \$ <u>24.00</u>		BUILDING DEPARTMENT <u>Lewis</u> 9/1/78 APPROVAL BY DATE	
THIS FORM IS A PERMIT ONLY WHEN VALIDATED HERE →			
DATE <u>9/1</u>	PERMIT NO. <u>1610</u>	LICENSE # _____	RECEIPTS CLASS _____
			AMOUNT \$ <u>24.00</u>

INSPECTOR'S COPY

ELECTRICAL INSPECTION REPORT AND CORRECTIONS NOTICE

TYPE OF INSPECTION:

PERMIT NO. 31479

Residential ☐ Commercial ☒ Rough-in ☒ Final ☐

Temp Meter ☐ Temp Heat ☐ Mobile Home ☐ Service ☐

Pump or Well ☐ Sprinkler ☐ Air Cond. ☐ Elec. Ht. ☐

Service:

Type 1 Ø or 3 Ø _____ GFI Cir. Yes _____ No _____ Size _____
Size _____ Hazardous area Yes _____ No _____
Overhead _____ Finished bsmt Yes _____ No _____
Undergrd _____ Sub Panels Yes _____ No _____
Type Grd. _____ # of single phase _____
Size Grd. _____ # of three phase _____
Res: Range _____ Dryer _____ Water Htr. _____

ACTION: Accepted ☒ Rejected _____ Remarks _____

\$20 REINSPECTION FEE REQUIRED ☐ (You are ordered to make the following corrections to the electrical construction which is now in progress at the address below)

Corrections if Rejected ☐ : _____

(0815) Called at 10:00
10:00
1:00

Address: 833 Lafarge

Contractor's/
Home Owner A & G Electric

Time on travel _____ **Arrival Time** _____ a.m.
p.m.

Time on Inspection _____ **Date Rec.** 10-3

Consult Time _____ **Date Insp.** 10-5

Inspector CHP

LOUISVILLE BUILDING INSPECTION DEPT.

BUILDING PERMIT

DATE 9-1-78

ADDRESS 833 LA FARGE AVE.

PERMIT NUMBER 4610

OWNER FIRST PENTACOSTAL CHURCH

CONTRACTOR J&L LAWN SPRINKLER SYSTEMS

SETBACK FRONT ESTABLISHED

SIDE

SIDE

REAR

SPRINKLERS

INSPECTION RECORD

Type of Inspection	Rough	Date	Final	Date	Remarks
Footings					
Foundation					
Frame					
Plumbing					
Electric					
Furnace Vent					
Water Service					
Sewer Service					
Gas Piping					
ATMOSPHERIC VALVE					
TAP	OK	9/6			Valve to be installed 9/6

Call 666-6565 when you are ready for the above inspections. Failure to do so may result in penalty.
This card must be posted so that it is plainly visible from the street, until final inspection has been made.

BUILDING INSPECTION DEPARTMENT CITY OF LOUISVILLE, COLO.

ADDRESS OF JOB 833 LAFARGE		GENERAL CONSTRUCTION PERMIT	1
WHEN SIGNED AND VALIDATED BY BUILDING INSPECTION DEPARTMENT THIS PERMIT AUTHORIZES THE WORK DESCRIBED BELOW.			
CLASS OF WORK: NEW ☐ ADDITION ☐ ALTERATION ☒ REPAIR ☐ MOVE ☐ WRECK ☐			
OWNER NAME FIRST PENTECOSTAL CHURCH ADDRESS 833 LAFARGE PHONE 666-8101			
CONTRACTOR	NAME (AS LICENSED) SELF		LICENSE CLASS
			LICENSE NUMBER
	ADDRESS		PHONE
	SUPERVISOR FOR THIS JOB		DATE CERTIFIED
LEGAL DESCRIPTION LOT NO. 10X11 BLOCK NO. 5 ADDITION JEFFERSON PL.			
SURVEY BY		DESIGN BY	A LIC. NO.
AREA (S.F.) AT GRADE	HEIGHT (FEET)	NO. STORIES	TOTAL UNITS
BASEMENT FIN ☐ UNFIN ☐		GARAGE	SINGLE DOUBLE ☐ ATTACHED ☐ DETACHED ☐
TYP. CONSTR.		FIRE ZONE	
FOUNDATION	DEPTH BELOW GRADE	JOISTS	FIRST FLOOR
	EXTERIOR FOOTING SIZE		CILING
	EXTERIOR FDN WALL THICKNESS		ROOF
	THICK SLAB ☐		CARSONS & GR. BEAMS ☐
EXTERIOR WALL	MASONRY THICKNESS	ABOVE 1ST FLR.	ABOVE 2ND FLR.
	STUD SIZE & SPACE	ABOVE 1ST FLR.	ABOVE 2ND FLR.
REMARKS REPLACE STEPS @ REAR ENTRANCE. INSTALL HAND RAIL @ REAR ENTRANCE. INSTALL 5/8" SHEET ROCK IN FURNACE ROOM			
NOTES TO APPLICANT: FOR ALL WORK DONE UNDER THIS PERMIT THE PERMITTEE ACCEPTS FULL RESPONSIBILITY FOR COMPLIANCE WITH THE UNIFORM BUILDING CODE, THE COUNTY ZONING RESOLUTION OR CITY ZONING ORDINANCE, AND ALL OTHER COUNTY RESOLUTIONS OR CITY ORDINANCES WHICHEVER APPLIES. SEPARATE PERMITS MUST BE OBTAINED FOR ELECTRICAL, PLUMBING AND HEATING, SIGNS, SWIMMING POOLS AND FENCES. PERMIT EXPIRES 60 DAYS FROM DATE ISSUED UNLESS WORK IS STARTED. REQUIRED INSPECTIONS SHALL BE REQUESTED ONE WORKING DAY IN ADVANCE. ALL FINAL INSPECTIONS SHALL BE MADE ON ALL ITEMS OF WORK BEFORE OCCUPANCY IS PERMITTED. THIS BUILDING SHALL NOT BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED. ☐ PERMIT SUBJECT TO REVOCATION OR SUSPENSION FOR VIOLATION OF ANY LAWS GOVERNING SAME. SIGNATURE OF APPLICANT: Jay M. Johnston 4516577			
VALUATION OF WORK \$ 150.00		TOTAL FEE \$ 5.00	
BUILDING DEPARTMENT		DATE	
APPROVAL BY [Signature]		8/21/78	
THIS FORM IS A PERMIT ONLY WHEN VALIDATED HERE →		DATE	PERMIT NO.
		8/21/78	4566
		LICENSE #	RECEIPTS CLASS
			AMOUNT
			5.00

INSPECTOR'S COPY

BUILDING INSPECTION DEPARTMENT
CITY OF LOUISVILLE, COLO.

ADDRESS OF JOB	Lafarge St & Walnut St <u>833 Lafarge Ave</u>	HEATING, AIR CONDITIONING & VENTILATING PERMIT	5
-----------------------	---	---	----------

WHEN SIGNED AND VALIDATED BY BUILDING DEPARTMENT THIS PERMIT AUTHORIZES THE WORK DESCRIBED BELOW.

CLASS OF WORK: NEW ☐ ADDITION ☐ REPLACEMENT ☒ ALTERATION ☐ REPAIR ☐ MOVE ☐ WRECK ☐

OWNER			
NAME	Apostolic Church	ADDRESS	Same
		PHONE	
CONTRACTOR	NAME (AS LICENSED)	LICENSE CLASS	LICENSE NUMBER
	Vantage Heating & A/C Inc.	class A	pending
	ADDRESS	5611 Kendall Ct	PHONE
	SUPERVISOR FOR THIS JOB	NAME	Gart Geist

OCCUPANCY		GROUP	DIVISION
NO. OF UNITS	TYPE OF UNIT	NO. OF UNITS	TYPE OF UNIT
1	HEATING:		VENTILATING SYSTEMS:
	FURNACE	165800	DUST, STOCK, & VAPOR REMOVAL SYSTEMS
	SPACE HEATER	B.T.U.	RANGE HOOD CO2 SYSTEM REQUIRED
	THROUGH-WALL HEATERS	B.T.U.	EXHAUST SYSTEM
	UNIT HEATERS	B.T.U.	AIR CONDITIONING SYSTEM <u>6 h.p.</u>
	WALL HEATERS	B.T.U.	OTHERS ..
	BOILER	SO. FT. RADIATION	
	POWER BOILERS	HP	
	OTHERS ..		PRESSURE VESSELS:
Connections To Existing Duct			

REMARKS

NOTES TO APPLICANT:
THE VALUATION OF EACH PERMANENT FIXTURE OR APPLIANCE SHALL BE INCLUDED IN THE PERMIT APPLICATION.

FOR ALL WORK DONE UNDER THIS PERMIT THE PERMITTEE ACCEPTS FULL RESPONSIBILITY FOR COMPLIANCE WITH BUILDING REGULATIONS CITY OF LOUISVILLE, THE UNIFORM BUILDING CODE AND ALL OTHER CITY ORDINANCES OR COUNTY RESOLUTIONS WHICHEVER APPLIES.

PERMIT SUBJECT TO REVOCATION OR SUSPENSION FOR VIOLATION OF ANY LAWS GOVERNING SAME.

REQUIRED INSPECTIONS SHALL BE REQUESTED ONE WORKING DAY IN ADVANCE. A FINAL INSPECTION SHALL BE MADE BEFORE OCCUPANCY IS PERMITTED.

SIGNATURE OF APPLICANT: Olivia Fontenberry

VALUATION OF WORK \$2500.00

PLAN FILED T P ☒ **TOTAL FEE**

DOUBLE CHECK ☐ \$23.00
FEE ☐ CASH ☐

BUILDING DEPARTMENT
Nel Stephen
APPROVAL BY 9/6/74
DATE

THIS FORM IS A PERMIT ONLY WHEN VALIDATED HERE →	DATE	PERMIT NO.	LICENSE #	RECEIPTS CLASS	AMOUNT
	9/6	668			\$23.00

INSPECTOR'S COPY

9/6/74	Vantage Heating & Air C.	Bldg. Pkrm	\$ 23.00
DATE	RECEIVED FROM	DESCRIPTION	AMOUNT
833 La Farge Ave		RECEIPT NO	2250
CITY OF LOUISVILLE 749 MAIN STREET LOUISVILLE, COLORADO 80027 <i>Laura Kerra</i>			

CITY OF LOUISVILLE, COLO.

ADDRESS
OF JOB

WALNUT & LA FARGE

GENERAL
CONSTRUCTION
PERMIT

1

WHEN SIGNED AND VALIDATED BY BUILDING INSPECTION DEPARTMENT THIS PERMIT AUTHORIZES THE WORK DESCRIBED BELOW.

CLASS OF WORK: NEW ☐ ADDITION ☒ ALTERATION ☐ REPAIR ☐ MOVE ☐ WRECK ☐

OWNER

NAME APOSTOLIC CHURCH OF LOUISVILLE ADDRESS

PHONE

CONTRACTOR

NAME (AS LICENSED) OWNER

LICENSE
CLASSLICENSE
NUMBER

INSURANCE

☐

PHONE

ADDRESS

SUPERVISOR
FOR THIS JOB

NAME

DATE CERTIFIED

LEGAL
DESCRIPTION

LOT NO.

BLOCK NO.

ADDITION

A LIC
PE NOSURVEY
BYATTACHED ☐DESIGN
BYAREA (S.F.)
AT GRADEHEIGHT
(FEET)NO.
STORIESTOTAL
UNITSOCCUPANCY
GROUP

DIV.

BASEMENT

FIN ☐
UNFIN ☐

GARAGE

SINGLE
DOUBLE ☐ATTACHED ☐
DETACHED ☐TOTAL
ROOMSTYPE
CONSTR.FIRE
ZONE

FOUNDATION

DEPTH
BELOW
GRADEEXTERIOR
FOOTING
SIZEEXTERIOR
TON WALL
THICKNESSCONC. ☐
MASONRY ☐THICK
SLAB ☐CAISSONS
& GILBEAMS ☐ROOFING
MATERIAL

JOISTS

FIRST
FLOOR

CEILING

ROOF

SIZE

SPACING

SPAN

AGENCY

AUTHORIZED
BY

DATE

BUILDING
REVIEW

ZONING

PARKING

PUBLIC
HEALTH

ENGINEERING

FIRE

EXTERIOR
WALLMASONRY
THICKNESSABOVE
1ST FLRABOVE
2ND FLRABOVE
3RD FLRSTUD SIZE
& SPACEABOVE
1ST FLRABOVE
2ND FLRABOVE
3RD FLR

REMARKS

CONSTRUCT 7'x10' TEMPORARY STORAGE
SHED ON CONCRETE SLAB.

NOTES TO APPLICANT:

FOR ALL WORK DONE UNDER THIS PERMIT THE PERMITTEE ACCEPTS FULL RESPONSIBILITY FOR COMPLIANCE WITH THE UNIFORM BUILDING CODE, THE COUNTY ZONING RESOLUTION OR CITY ZONING ORDINANCE, AND ALL OTHER COUNTY RESOLUTIONS OR CITY ORDINANCES WHICHEVER APPLIES. SEPARATE PERMITS MUST BE OBTAINED FOR ELECTRICAL, PLUMBING AND HEATING, SIGNS, SWIMMING POOLS AND FENCES. PERMIT EXPIRES 60 DAYS FROM DATE ISSUED UNLESS WORK IS STARTED.

REQUIRED INSPECTIONS SHALL BE REQUESTED ONE WORKING DAY IN ADVANCE. ALL FINAL INSPECTIONS SHALL BE MADE ON ALL ITEMS OF WORK BEFORE OCCUPANCY IS PERMITTED.

THIS BUILDING SHALL NOT BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED. ☐ PERMIT SUBJECT TO REVOCATION OR SUSPENSION FOR VIOLATION OF ANY LAWS GOVERNING SAME.

SIGNATURE OF APPLICANT:

J. A. Stambaugh

VALUATION
OF WORK

\$ 2750.00

PLAN
FILED

T P

TOTAL FEE

DOUBLE

CHECK ☐FEE ☐CASH ☐

\$ 500

BUILDING DEPARTMENT

APPROVAL BY

Mel Stephan

6/10/74

DATE

DATE

PERMIT NO.

LICENSE #

RECEIPTS CLASS

AMOUNT

THIS FORM IS A PERMIT ONLY
WHEN VALIDATED HERE

6/10/74 510

500

INSPECTOR'S COPY

61074 Apostolic Church of Louisville Bldg. Per. Association

\$ 5.00

WALNUT & LAFARGE

RECEIPT NO 0830

CITY OF LOUISVILLE
749 MAIN STREET
LOUISVILLE, COLORADO 80027

Paul Sanatti



833 La Farge Ave. History

Legal Description: LOTS 10 AND 11 AND LOT 9 EXCEPT S 15 FT OF LOT 9 BLK 5 JEFFERSON PLACE

Year of Construction: 1947-1949

Summary: The history of 833 La Farge provides significant insight into the religious and community life of Louisville residents. This location was the original site for the St. Louis Catholic Church and later for the United Pentecostal Church of Louisville. Most notable is the construction of the Pentecostal (Apostolic) Church which was built completely by members of the Parish over several years. This history also reflects how churches collaborated with each other and contributed to the welfare of the community.

Development of the Jefferson Place Subdivision

The Jefferson Place subdivision was the first residential area created outside, and immediately west of the original town. Charles Welch, the founder of the Welch Mine, platted the subdivision to create a residential area for mine workers and people in supporting lines of business in 1880. The 20-acre subdivision consists of 170 lots, bordered by La Farge and Jefferson Avenues, with Pine, Spruce, and Walnut as cross-streets.

Early History

Much of the early history of this property comes from a report written by Bridget Bacon in 2011 which is included here and updated by Gigi Yang. The current property at 833 La Farge was built for the Apostolic Church between 1947-1949. However, the site was the original home of the St. Louis Catholic Church between 1884-1944.

Report from Bridget Bacon

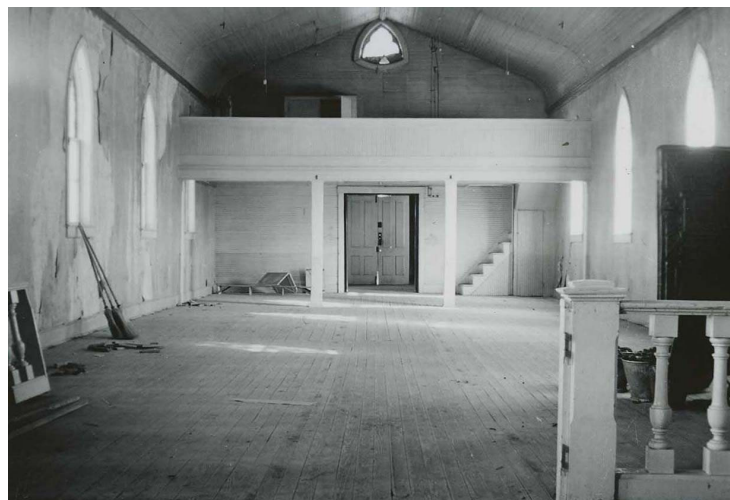
This building was constructed to be, and was used as, a church. It is now a private residence. The property was previously the original site of the St. Louis Catholic Church building (now gone). These two

churches were two out of three churches located on this particular block of Jefferson Place, the third being the Pillar of Fire Church located across the street at 804 Walnut.

Louisville's original St. Louis Catholic Church, on which construction was finished in 1884, was located on this parcel and obviously contributed to the community life of this block of Jefferson Place on which so many Italian Catholic families lived. The Catholic Church building on this site served Louisville's many Catholic immigrants, Italian and otherwise, for nearly sixty years. In the 1930s, efforts were being made to raise money to fund a new Catholic Church in Louisville, and the new St. Louis Church at 902 Grant was constructed in 1940-41 and dedicated in 1942.

This property, when it was used for the Catholic Church building, consisted of Lots 9, 10, and 11 of Block 5. In 1943, Santino and Mary Biella, owners of 825 La Farge just to the south, purchased part of Lot 9 from the Roman Catholic Congregation of St. Louis to add to enlarge their property. Today, this is in the vicinity of the driveway and garage at 825 La Farge.

The following photos from the Louisville Historical Museum show the Church exterior (undated) and the interior (circa early 1940s, after the Catholic Church vacated it):



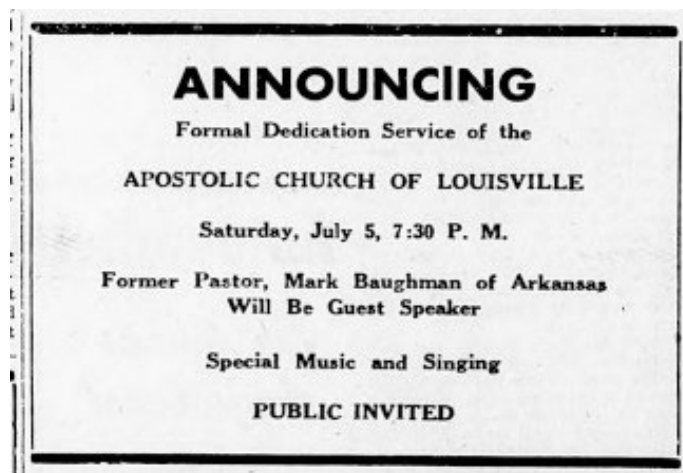
The old Catholic Church building at this location was torn down and the Church congregation sold the property to Anthony and Amelia La Salle in 1945, who then sold the property to Mark Baughman for the construction of an Apostolic Church in 1946. That Church congregation had been meeting in other places in Louisville since 1938. By August 1946, the legal owner was the "United Pentecostal Church."

Updates for 2024

United Pentecostal Church Ownership, 1946-2004

Mark Baughman purchased the land from the La Salles in 1946 and within the year sold it to the United Pentecostal Church of Louisville for \$10.

The old St. Louis Church was torn down in 1945 and work began by the United Pentecostal Church to build a new building on the site from the ground up. Under the direction of pastor Mark Baughman, the building was primarily constructed by ten men and boys of the parish who volunteered their time and worked on the construction of the building in the evenings and on Saturdays. Women in the parish also worked to raise financial support from local merchants and residents. The first service was held in the basement in October of 1948. Construction on the upstairs began in 1949 and was completed in time for Christmas in 1950. The parish consisted of 42 members in 1948. According to a Louisville Times article from 1952, the building was 30' x 50' and included a baptistry, Sunday School rooms, and a parsonage.

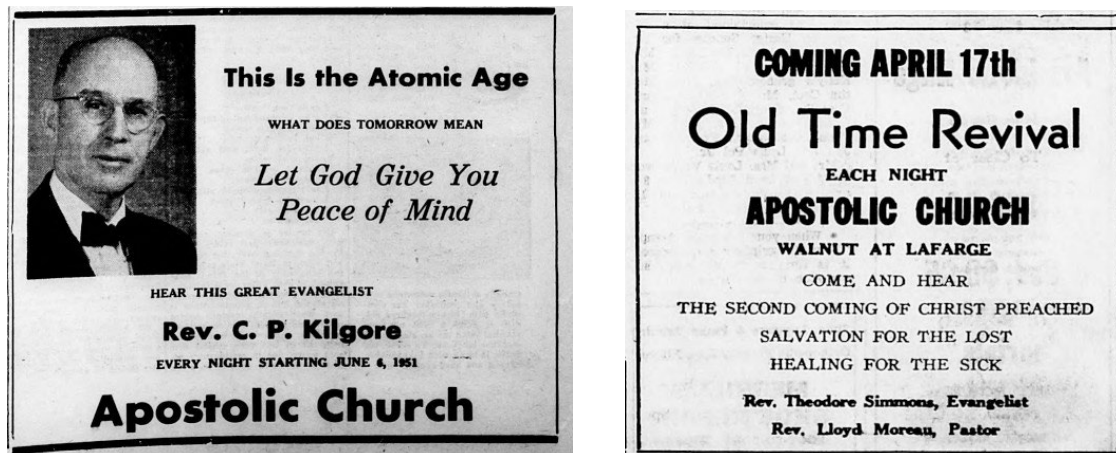


The United Pentecostal Church was dedicated in 1952.

Baughman was the first pastor for the church on La Farge and lived in Louisville with his wife, Zealous Baughman, and their two sons. He and his family traveled to other states including Utah, Oklahoma, and Texas to run revival meetings. He coordinated a Camp Meeting in 1947 in Louisville that drew 200 visitors from out of town for which he rented rooms for lodging and meeting spaces. A large tent was set up on the south end of La Farge Ave. and a mess hall was set up at the VFW Hall.

Advertisements in the Louisville Times also show that the Baughman family took on additional jobs to supplement their income. Mark Baughman worked as a house painter and Zealous made baby clothes to order. Mark Baughman painted the interior of the Recreation Center (currently the Louisville Center for the Arts) on Grant Street, during renovations for the Library and Boy Scouts who occupied the building in 1947. The Baughman's teenaged son, A.J., attended Louisville High School and ran a bicycle sales and repair shop from their home on Front Street. He also advertised services for hauling coal and cleaning ash pits. The Baughman family moved to Arkansas in 1952, but occasionally returned to visit and attend church meetings over the following years.

The Pentecostal Church existed in Louisville as the Pentecostal Mission as early as 1938. Until the new church was built on La Farge, meetings were held in homes and in various buildings in Louisville including the Joe Biella store building and the VFW building. Revivals and youth rallies frequently brought in pastors, evangelists, and members from surrounding cities and states.



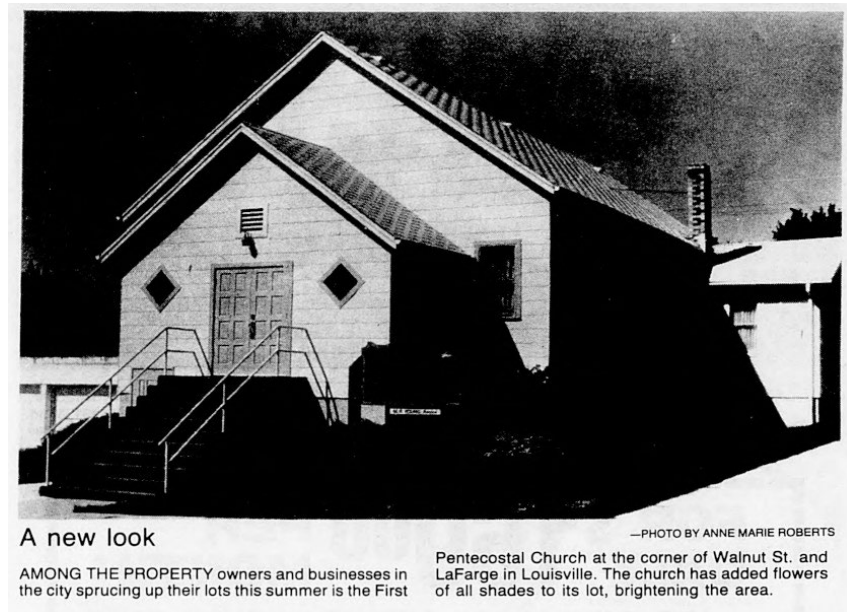
Advertisements in 1951 and 1966 editions of the Louisville Times.

From the 1940s into the 1990s, the United Pentecostal Church, often known as the Apostolic Church, regularly joined with other Louisville churches for religious celebrations and participated in community events such as paper drives, donating to the Christmas treat bags for children, and contributing to the Centaurus scholarship fund. A 1955 survey of 1,700 Louisville residents reported that only 1.9% belonged to the Apostolic church, compared to 48% being Catholic. Despite its small size, the Apostolic Church seemed to have an active membership that regularly held services and revival meetings for both the Louisville area and Pentecostals from a multi-state region.

Some time around 1975, the United Pentecostal Church changed its name to the First Pentecostal Church. However, property ownership remained under United Pentecostal until 2002 when a quit claim deed transferred it to the First Pentecostal Church.



1973 Boulder County Assessor photo of 833 La Farge.



First Pentecostal Church c. 1988, as shown in the Louisville Times.

Other addresses used for the Church over the years were 829 La Farge (1953 Louisville directory) and 827 La Farge (1956 directory).

Pastors in the church appeared to change every few years. Below is a list of some that were mentioned in the Louisville Times.

- 1946-1952 – Mark Baughman
- 1956 - Kenneth King
- 1960 - Carl Mullenix
- 1977 - Alice Zimmerman – part-time minister at First Pentecostal
- 1979-1982 – Calvin Rashall - First Pentecostal church
- 1985 – Kevin R. Hale
- 1987-1996 – Maxey Young

Current Ownership

As late as 2000, the First Pentecostal Church was listed in the Louisville Times as a place of worship, however, information on exactly when it stopped being used for services could not be identified. The Apostolic, or Pentecostal, Church owned this property until 2004 when the property was sold to Forrestine C Sutton. In 2008, Louisville City Council approved an adaptive reuse of 833 La Farge as a private residence. Forrestine Sutton transferred ownership to David M Sutton in 2013. David M Sutton sold the house to the current owners, Ronan O'Maitiu and Helen Galvin.



2014 Boulder County Assessor photo showing 833 La Farge as a private residence.

The preceding research is based on a review of relevant and available online County property records, census records, oral history interviews, Louisville directories, and Louisville Historical Museum maps, files, and obituary records.

ITEM: 1237 Grant Avenue Probable Cause Determination

APPLICANT: Rosemary Kavanagh-Whidden
1200 LaFarge Ave
Louisville, CO 80027

OWNER: Same as applicant

PROJECT INFORMATION:
ADDRESS: 1237 Grant Avenue
LEGAL DESCRIPTION: Lots 81-82, Block 4 Nicola DiGiacomo Addition
DATE OF CONSTRUCTION: 1948

REQUEST: A request to find probable cause for a landmark designation to allow for funding of a historic structure assessment for 1237 Grant Avenue.

VICINITY MAP:



SUMMARY:

The applicant requests finding probable cause for landmark designation to allow for funding of a historic structure assessment for 1237 Grant Avenue. Under Resolution No. 17, Series 2019, a property may be eligible for reimbursement for a historic structure assessment (HSA) from the Historic Preservation Fund (HPF) if the Historic Preservation Commission finds *“probable cause to believe the building may be eligible for landmarking under the criteria in section 15.36.050 of the Louisville Municipal Code.”* Further, *“a finding of probable cause under this Section is solely for the purposes of action on the pre-landmarking building assessment grant request, and such finding shall not be binding upon the HPC, City Council or other party to a landmarking hearing.”*

HISTORICAL BACKGROUND:

Information from Gigi Yang, Louisville Historical Museum

The history of 1237 Grant exemplifies multigenerational property ownership by women and the pull of family relationships in building close-knit communities and neighborhoods. The residence of the Hansen family for 75 years at this address is also a notable example of the deep roots that many families have in Louisville history.

In 1922, Annie Patete purchased Lots 81-82 Block 4 from Jemima McHugh. The property would stay in the family for three generations and 100 years until 2023. Anna Lombardi Bartimoccio Patete was born in Italy and she and her first husband, Michelangelo Bartimoccio, came to the US around 1898. They were living in Louisville by 1900 where they had one daughter – Angelina Bartimoccio. Michelangelo worked as a coal miner and passed away in 1903, the same year Angelina was born. The following year, in 1904, Anna married Ferdinando “Frank” Lombardi. The Lombardis had two children, Pascal and Nellie, who was born in 1908, the same year that her father, Frank died. The next year, in 1909, Anna married Michael Patete. The Patetes had three children, Dominic, Thelma, and Annetta. Records indicate the family lived in homes near 1237 Grant Avenue, but the subject lot remained undeveloped.

In 1949, Angelina (Bartimoccio) Dagostino deeded the lot at 1237 Grant to her oldest daughter, Anna Dagostino Hansen, and her husband, Glen Hansen, after having received ownership of the lot from her mother, Annie, in 1933. Anna and Glen attended Louisville High School together and graduated in 1942. Anna and Glen married in 1944 and during the early days of their marriage, Anna worked as an operator for Mountain States Telephone while Glen served in the Army overseas in Germany. Glen was discharged in 1946 and took up work as a carpenter in building construction. Around 1948, he built the house currently on the property at 1237 Grant.

Please see the attached Social History Report for a more detailed history.



Photo of 1237 Grant Avenue from the 1948 Assessor's Card.



Street view of 1237 Grant Avenue (2023).



Street view of 1237 Grant Avenue (2023).

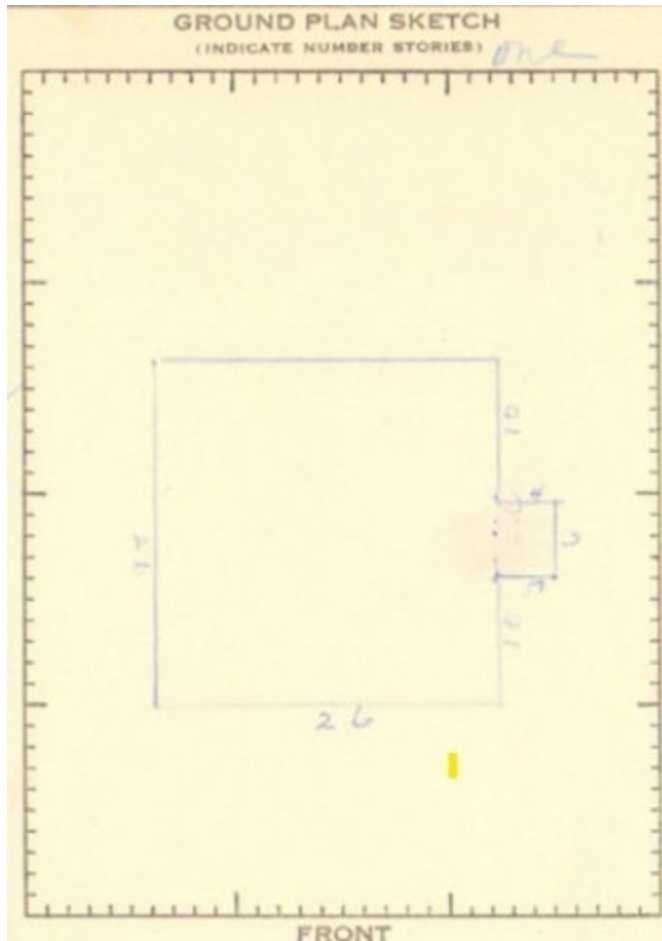
ARCHITECTURAL INTEGRITY:

1237 Grant Avenue was documented in the PaleoWest “Stories in Places” residential context as a minimal traditional style house, which was a style common post-World War II. The context report recommended the house be documented based on its significance of architectural style. The property exhibits a side-gabled roof with a small front-gabled extension over the front entryway, which is original to the house.

Permit records indicate minor changes, including a re-roof and replacement of windows, however the overall footprint of the building has remained.

The construction history was documented in the Colorado Cultural Resource Survey as following:

The original house footprint was square, consisting of the side-gabled eastern section and small gabled entryway. The west and south gabled sections were later additions post-1956. The garage existed by 1950 and may have been built in 1948 along with the house. The porch on the north side of the garage is a post-1956 addition.



Floor plan of 1237 Grant Avenue from the 1948 Assessor Card.

HISTORICAL SIGNIFICANCE ANALYSIS AND CRITERIA FOR FINDING PROBABLE CAUSE FOR LISTING AS LOCAL LANDMARK:

Under Resolution No. 17, Series 2019, a property may be eligible for reimbursement for a historic structure assessment (HSA) from the Historic Preservation Fund (HPF) if the Historic Preservation Commission finds *“Probable cause to believe the building may be eligible for landmarking under the criteria in section 15.36.050 of the Louisville Municipal Code.”* Further, *“A finding of probable cause under this Section is solely for the purposes of action on the pre-landmarking building assessment grant request, and such finding shall not be binding upon the HPC, City Council or other party to a landmarking hearing.”*

Staff analysis of the criteria is as follows:

CRITERIA	FINDINGS
<i>Landmarks must be at least 50 years old</i>	1237 Grant Ave was constructed in 1948, making it 76 years old.

	Staff find the age of the structure meets the criteria.
<i>Landmarks must meet one or more of the criteria for architectural, social or geographic/environmental significance</i>	<u>Social Significance</u> - <i>Exemplifies cultural, political, economic, or social heritage of the community.</i> The social history of 1237 Grant Ave includes association with: • Italian immigration history • Woman ownership Staff find that the structure meets the cultural and social heritage of the community and there is probable cause to meet the criterion for social significance. <u>Architectural Significance</u> – <i>exemplifies specific elements of an architectural style or period.</i> • The property has maintained its minimal traditional architectural style and gabled roof structure. • The minimal traditional style was a common architectural style post-WWII. Staff find that the location of the structure does have probable cause to meet the criteria for architectural significance in its current form.
<i>Landmarks should meet one or more criteria for physical integrity</i>	Physical Integrity - <i>Shows character, interest or value as part of the development, heritage or cultural characteristics of the community, region, state, or nation.</i> • 1237 Grant Ave appears to have maintained its historic footprint from 1948. <i>Remains in its original location, has the same historic context after having been moved, or was moved more than 50 years ago.</i> • The house appears to have remained in the same location and setting since its construction. Staff finds probable cause that the structure meets the criteria for physical integrity.

PRESERVATION MASTER PLAN:

The [Preservation Master Plan](#) was adopted in 2015 and includes goals and objectives for the historic preservation program moving forward. A finding of probable cause would meet the following goals and objectives:

Goal #3: Encourage voluntary preservation of significant archaeological, historical, and architectural resources

Objective 3.3 - Encourage voluntary designation of eligible resources

Objective 3.4 - Promote alternatives to demolition of historic buildings

Goal #5: Continue leadership in preservation incentives and enhance customer service

Objective 5.1 - Promote availability of Historic Preservation Fund grants and other incentives

FISCAL IMPACT:

The finding of probable cause allows for a grant of up to \$4,000 for a Historic Structure Assessment from the Historic Preservation Fund.

RECOMMENDATION:

Staff recommends a finding of Probable Cause under the criteria in section 15.36.050 of the LMC, making the properties eligible for the cost of a historic structure assessment. The current maximum amount available for an HSA is \$4,000. Staff recommends the HPC approve a grant not to exceed \$4,000 to reimburse the costs of a historic structure assessment.

ATTACHMENTS:

1. Application
2. 1237 Grant Avenue Social History

HISTORIC PRESERVATION APPLICATION

CASE NO: _____

PROPERTY INFORMATION Address: <u>1237 GRANT AVENUE</u> <u>LOUISVILLE, Co. 80027</u> Year of Construction: <u>1948</u> Legal Description: _____ Landmark Name and Resolution (if applicable): _____	TYPE(S) OF APPLICATION ☒ Probable Cause/Historic Structure Assessment ☐ Landmark Designation ☐ Historic Preservation Fund Grant ☐ Historic Preservation Fund Loan ☐ Landmark Alteration Certificate ☐ Demolition Review ☐ Other:
APPLICANT INFORMATION Name: <u>ROSEMARY KAVANAGH-WHIDDEN</u> Company: <u>HOME OWNER</u> Address: <u>1200 LAFARGE AVENUE</u> <u>LOUISVILLE, Co. 80027</u> Telephone: <u>203 470 0082</u> Email: <u>ROSEMARYWHIDDEN@GMAIL.COM</u>	REQUEST SUMMARY (Attach additional pages if necessary)
OWNER INFORMATION Name: <u>ROSEMARY KAVANAGH-WHIDDEN</u> Company: <u>HOME OWNER</u> Address: <u>1200 LAFARGE AVE</u> <u>LOUISVILLE, Co 80027</u> Telephone: <u>203-470-0082</u> Email: <u>ROSEMARYWHIDDEN@GMAIL.COM</u>	SIGNATURES AND DATES <u>ROSEMARY KAVANAGH WHIDDEN</u> Applicant Name <u>[Signature]</u> Applicant Signature <u>[Signature] R. WHIDDEN</u> Owner Name <u>[Signature]</u> Owner Signature



1237 Grant Ave. History

Legal Description: LOTS 81-82 BLK 4 NICOLA DI GIACOMO ADDITION

Year of Construction: 1948

Summary: The history of 1237 Grant exemplifies multigenerational property ownership by women and the pull of family relationships in building close-knit communities and neighborhoods. The residence of the Hansen family for 75 years at this address is also a notable example of the deep roots that many families have in Louisville history.

Development of the Nicolo Di Giacomo Subdivision

This area of Louisville is called the Nicola DiGiacomo Addition, having been platted by Nicola DiGiacomo in 1907. Nicola DiGiacomo owned and farmed this area before filing the plat for a subdivision. This addition consists of 4 ½ blocks that stretch across the north end of Old Town Louisville. On the 1909 Drumm's Wall Map of Louisville, Nicola DiGiacomo is also shown as the owner of the additional property where Louisville Middle School is now located, and the residential area that now extends behind the school and north of it up to South Boulder Road.

DiGiacomo was born in Italy in about 1852 and immigrated to the US in about 1882. In the 1910 census, Nicola DiGiacomo was listed as a 57-year-old farmer. Nicola DiGiacomo's wife, Lucia, was also born in Italy in about 1852 and she immigrated in about 1888. Nicola DiGiacomo passed away in 1915.

Early Property Ownership

In 1908, Dominic Rotolo purchased Lots 31-48 in Block 2; Lots 55-72 in Block 3; and 73-90 in Block 4, which was a significant portion of the Nicola DiGiacomo subdivision. He sold twelve lots for development and left the remainder, including Lots 81-82 of Block 4 undeveloped. Dominic Rotolo was an Italian immigrant who came to the US in 1890 and moved to Louisville by 1896 to work as a coal miner. He was

also an early developer in Louisville, and through his marriage to Annetta James (DiGiacomo) had business connections with Nicola DiGiacomo.

Dominic Rotolo sold lots 57-70 of block 3 and lots 73-90 of block 4 to Jemima McHugh in 1918. At that time, Jemima McHugh was 51 years old and married to Lawrence McHugh (1859-1921), a coal miner. Jemima Hall McHugh (1867-1953) was of English and Scottish descent. Her family came to the US in 1871 and had moved to Louisville by 1880 when she was 13 years old. She married Thomas Jenkins in 1886 and they had five children before Thomas passed away in 1892. She married Lawrence McHugh in 1893 and they also had five children. It appears that the McHugh family lived at various addresses around Louisville but did not develop the property at 1237 Grant. Lawrence McHugh passed away in 1921 and Jemima sold the property in 1922 to Annie Patete.



*Jenkins/ McHugh family outside their house at 1101 Lincoln, c. 1910.
Jemima McHugh is on the left.*

Patete/ D'Agostino/ Hansen Ownership, 1922-2023

In 1922, Annie Patete purchased Lots 81-82 Block 4 from Jemima McHugh. The property would stay in the family for three generations and 100 years until 2023. Anna Lombardi Bartimoccio Patete (1877-1938) was born in Italy and she and her first husband, Michelangelo Bartimoccio (1862-1903), came to the US around 1898. They were living in Louisville by 1900 where they had one daughter – Angelina

Bartimoccio (1903-1983). Michelangelo worked as a coal miner and passed away in 1903, the same year Angelina was born. The following year, in 1904, Anna married Ferdinando "Frank" Lombardi (1863-1908). A funny report in the Rocky Mountain Daily depicts an almost impulsive and festive wedding at City Hall in Denver.



Anna Lombardi and article from the Rocky Mountain Daily, 1904.

The Lombardis had two children, Pascal (1906-1996) and Nellie who was born in 1908, the same year that her father, Frank died. The next year, in 1909, Anna married Michael Patete (1867-1923). The Patetes had three children, Dominic (1910-1999), Thelma (1913-1997), and Annetta (b.1918). The Patetes are listed in Louisville directories as living on Front St. from 1916-1930. After Michael died in 1923, Anna continued to live with her children at 524 Front St. and the property on Grant was left undeveloped.

Angelina and Luigi "Louis" Dagostino Ownership, 1933-1948

In 1933, Anna Patete deeded Lots 81 and 82, Block 4 to her daughter Angelina Bartimoccio Dagostino and Luigi Dagostino for \$100. Angelina Bartimoccio, Anna Petete's oldest daughter, was born and raised in Louisville. In 1924 she married Luigi "Louis" D'Agostino (1902-1982), a coal miner who emigrated from Italy in 1923. Angelina and Louis had two daughters, Anna Dagostino (1924-2023) and Marie Dagostino (1926-2011).

The Dagostino family is shown living on Grant, in the 1930 census and 1940 census next door to other members of the Dagostino, Patete, and Lombardi families also living on Grant. However, while they may have been living on the same block, there is no evidence that there was a house on the property at 1237 Grant. Later directories list the Dagostinos as living at 1245 Grant, which would be the property just north of 1237 Grant. Luigi worked as a coal miner for 20 years and newspaper accounts also show that the family raised and sold chickens and eggs as a home business from the 1940s -1970.



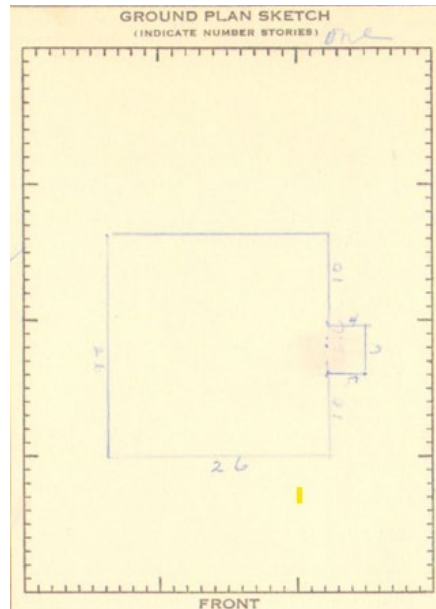
Louis and Angelina Dagostino on their 50th wedding anniversary in 1974.

Anna and Glen Hansen Ownership, 1949-2023

In 1949, Angelina Dagostino deeded lots 81 and 82, block 4 to her oldest daughter Anna Dagostino Hansen (1924-2023) and Glen Hansen (1924-2023) for \$75. Anna Dagostino and Glen Hansen attended Louisville High School together and graduated in 1942. Glen Hansen's parents were Charles and Alice Hansen who farmed north of Louisville. Anna and Glen married in 1944 and during the early days of their marriage, Anna worked as an operator for Mountain States Telephone while Glen served in the Army overseas in Germany. Glen was discharged in 1946 and took up work as a carpenter in building construction. Around 1948, he built the house currently on the property at 1237 Grant.



1948 Assessor photo of 1237 Grant, built by Glen Hansen.



Floorplan from 1948 Assessor Card.

The Hansens had two daughters, Teresa and Janet who grew up at 1237 Grant. Glen and Anna lived there for 75 years until their deaths within a few months of each other in 2023.

Hometown Anniversary



Glen and Anna Hansen

Glen and Anna Hansen of Louisville will celebrate their 60th wedding anniversary on July 30, 2004.

Glen and Anna were united in marriage on July 30, 1944.

Glen retired from Rocky Flats in 1987.

Anna is a homemaker.

They enjoy traveling and playing golf.

They will celebrate their anniversary by hosting a family dinner at St. Louis Catholic Church in Louisville.



Louisville Times announcement of Glen and Anna Hansen's 60th wedding anniversary in 2004.

Current Ownership

In 2024, the estate of Anna Hansen sold the property to the current owner, Rosemary Whidden.



Current Boulder County Assessor photo of 1237 Grant.

The preceding research is based on a review of relevant and available online County property records, census records, oral history interviews, Louisville directories, and Louisville Historical Museum maps, files, and obituary records.

MEMORANDUM

To: Historic Preservation Commission Members

From: Community Development Department

Subject: Discussion of Historic Structure Assessment Policy and Funding

Date: December 16, 2024

SUMMARY:

At the October 14, 2024 Historic Preservation Commission (HPC) meeting commissioners expressed interest in discussing the standards and process for completion of Historic Structure Assessments. Staff have provided the following background to aid in the discussion and provided discussion points for consideration.

BACKGROUND:

Historic Preservation Funding and HSA Grant Background

The City first established grants and criteria for Historic Structure Assessments (HSAs) in 2012, but only allowed grants for HSAs after a property was landmarked. In 2014, the City changed the policy to allow HSA grants prior to landmarking. In 2019, the City started requiring HSAs prior to landmarking and grant applications. The amount available for HSA grants has also evolved over time. In 2012, the City set the first HSA grant amounts at \$900 for residential and \$6,000 for commercial. In 2019, the City increased the HSA grant amounts to \$4,000 for residential and \$9,000 for commercial.

The following is a more detailed timeline of the establishment of Historic Preservation fund and evolution of the grant program over time.

2002 – Established the HPC as a formal body and established the purpose, responsibilities, powers, and duties of HPC through Ordinance No. 1401, Series 2002 and Resolution No. 34, 2002

2005 – Adopted initial Historic Preservation ordinance, creating Louisville Municipal Code Chapter 15.36 – Historic Preservation, and established criteria and procedures for local landmark designation, alteration certificates, and demolition review by Ordinance 1463, Series 2005.

2008 – Established Historic Preservation Fund and sales tax by 2008 Louisville Ballot Issue 2A and Ordinance No. 1544, Series 2008.

2009 – Created structure and categories for administration of Historic Preservation Fund by Resolution No. 20, Series 2009, including the categories of i) Administration, ii) Incentives for Historic Preservation, iii) Acquisitions, and iv) Contingency. The Resolution did not establish any specific funding amounts.

2010 – Established grant program to incentivize landmarking and preservation, restoration, and rehabilitation of landmarked properties by Resolution No. 20, Series 2010. The following were the approved grant categories and amounts:

Commercial and Residential

- \$1,000 landmark incentive
- \$5,000 preservation, restoration, and rehabilitation
- Pre-development studies could be eligible, but must be landmarked

2012 – Established additional incentives for landmarking and preservation, restoration, and rehabilitation of landmarked properties by Resolution No. 2, Series 2012. The following were the approved grant categories at this time:

Commercial

- \$10,000 landmark incentive
- \$65,00 “flexible” preservation, restoration, and rehabilitation
- \$100,000 “focused” preservation and restoration
- \$75,000 new construction if limiting mass, scale, stories, pedestrian walkways between buildings, or utilizing historic materials
- **\$6,000 for HSA, must be landmarked**

Residential

- \$1,000 landmark incentive
- \$5,000 “flexible” preservation, restoration, and rehabilitation
- \$15,000 “focused” preservation and restoration
- **\$900 for HSA, must be landmarked**

This resolution also established the ability to exceed grant limits upon a “showing of extraordinary circumstances.” No additional criteria or definition was provided for what would constitute “extraordinary circumstances.”

2014 – Allowed HSAs to be funded **prior to landmarking** and allowed work within five years of landmarking to be used as a credit against matching funds by Resolution No. 2, Series 2014.

2019 – Following the extension of the Historic Preservation sales tax by 2017 Ballot Issue 2F, repealed all previous funding resolutions, establishing the current

grant categories and amounts by Resolution No. 17, Series 2019. The following are the grant categories and amounts:

Commercial

- \$50,000 landmark incentive
- \$150,000 preservation, restoration, and rehabilitation
- \$75,000 new construction if limited to two stories and floor area ratio (FAR) 20% less than zoning allowance
- **\$9,000 for HSA, must be completed prior to landmarking**

Residential

- \$5,000 landmark incentive
- \$40,000 preservation, restoration, and rehabilitation
- \$15,000 new construction if limiting height to that of existing structure for first 1/3 of building and floor area ratio (FAR) 10% less than zoning allowance
- **\$4,000 for HSA, must be completed prior to landmarking**

This resolution continued to allow the ability to exceed grant limits upon a “showing of extraordinary circumstances” and clarified that such extraordinary circumstances must be related to the building size, condition, architectural details, or other unique condition compared to similar Louisville properties.

LINK: [Referenced Ordinances and Resolutions](#)

HSA Procedures and Scope of Work

The City requires that a Historic Structure Assessment be conducted by a qualified consultant with significant experience in historic preservation and familiarity with The Secretary of the Interiors Standards for the Treatment of Historic Properties. The consultant must be a practicing architect, engineer, planner or similar professional. The architect must be the primary consultant on the project, and both the architect and structural engineer must be licensed in the State of Colorado. Neither the State program or City program requires that a structural engineer be involved in the HSA.

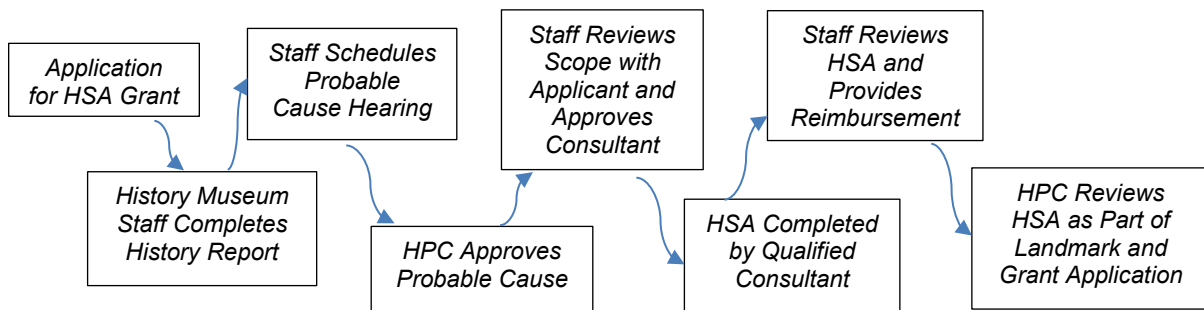
The City has established a minimum [Scope of Work](#) that must be included in all Historic Structure Assessments. The City’s Scope of Work matches the [State Historical Fund Scope of Work](#). The scope includes the following categories:

1. Introduction
2. History and Use
3. Structure Condition Assessment
4. Analysis and Compliance (hazardous materials and building and zoning code compliance)
5. Preservation Plan
6. Photographs and Illustrations

7. Bibliography
8. Appendices (e.g. historical building plans, schematic design, construction drawings)

The State Historical Fund has a grant program that awards up to \$15,000 for the cost of a grant, with a 10% match for nonprofits and government, and 25% match for private owners. If the assessment is done before landmarking, the State requires a Preliminary Property Evaluation form to be completed and approved by the State Historic Preservation Officer prior to a grant application.

Once a grant is awarded, staff will provide information to the applicant on the required scope and qualification and will ask to approve the qualification of the consultant prior to work starting on the HSA if not pre-qualified. Once the HSA is complete, staff will review the HSA to ensure it meets the minimum standards included in the Scope of Work. Staff will reimburse the property owner for the HSA cost up to the amount of the approved grant following receipt of the paid invoice. The HPC reviews the completed HSA as part of a landmark and/or grant hearing packet. There is no current process for the HPC to review HSAs that are not part of a landmark or grant hearing packet.



Under currently adopted procedures, once a property is landmarked and has a HSA, if the needed scope of work has change and an applicant is proposing a scope of work not identified in the HSA, then a new or updated HSA must be completed at the expense of the applicant.

2023 and 2024 HSA Approvals

The HPC has approved 25 HSA grants in 2023 and 2024. Three architecture firms have completed HSAs during this timeframe, Stewart Architecture, Hartronft Associates and DAJ Design.

Included for reference is the following link with HSAs complete in 2023 and 2024 as representative samples.

<i>Year Approved</i>	<i>Address</i>	<i>Consultant</i>	<i>Status</i>
2023	1045 Front	Stewart Architecture	Complete
2023	917 Rex	DAJ Design	Complete

2023	816 McKinley	DAJ Design	Complete
2023	916 Main	Hartronft Associates	Complete
2023	708 Grant	---	Not Complete
2023	600 Pine	Stewart Architecture	Complete
2023	1155 Pine	DAJ Design	Complete
2023	1219 Courtesy	---	Not Complete
2023	1005 La Farge	Stewart Architecture	Complete
2024	1025 Front	---	Not Complete
2024	921 Main	DAJ Design	Complete
2024	1040 La Farge	DAJ Design	Complete
2024	833 La Farge	---	Not Complete
2024	1016 Main	---	Not Complete
2024	641 Main	---	Not Complete
2024	1209 Main	Stewart Architecture	Complete
2024	1213 Jefferson	---	Not Complete
2024	733 McKinley	DAJ Design	Complete
2024	800-804 Main	---	Not Complete
2024	936 La Farge	---	Not Complete
2024	700 Pine	DAJ Design	Complete
2024	1440 Cannon	---	Not Complete
2024	900 Main	DAJ Design	Complete
2024	1140 Main	DAJ Design	Complete
2024	741 Jefferson	DAJ Design	Complete

LINK: [HSAs Completed in 2023 and 2024](#)

DISCUSSION:

1. What questions does the HPC have about the process or content of HSAs?
2. Would the HPC be interested in requiring that HSAs include a licensed structural engineer as part of the consultant team? Alternatively, would HPC be interested in different grant amounts being awarded based on whether a structural engineer is utilized to complete the HSA?
3. Is the HPC interested in exploring increasing the HSA grant amounts?
4. What other questions or discussion points does HPC want to explore?

ATTACHMENTS: None

2024 HPC Work Plan

✓

Quarter 1, Jan - Mar

Quarter 2, Apr - Jun

Quarter 3, Jul - Sep

Quarter 4, Oct - Dec

Staff to update HPC monthly.		Preserve significant historic places.		
	Internal Research & HPC Updates	HPC D/D on Key Questions	Draft Iterations with HPC	HPC Final Draft & CC Adoption
Grant Program Update	List of tasks	List of tasks	List of tasks	List of tasks
	Present first draft of targeted landmark list based on retreat.	Interview commercial property owners.		
	Research and explore implications of carve-out for structural grants.	Generate project cost estimates to provide basis for general increased grant amounts.		
	Research and explore implications of carve-out for professional design support grants.	Present carve-out grant options to HPC (design support, structural, etc.).		
	Generate cost estimates for full-scale restoration projects.	Present budget projections thru 2028 for priority landmarks and past award rates.		
	Make list of owners to interview about commercial-specific incentives.	What other info does HPC need at end of Q2 to evaluate grant program update?		
	Explore whether tax-based support is possible.			
Marty, Sloane, staff		Facilitate public education and participation		
	Plan landmark ceremony	Landmark Ceremony: Marty	Plan fall event	Fall Event: Sloane
Events	List of tasks	List of tasks	List of tasks	List of tasks
	Order plaques -- staff	Write histories -- staff	Meet with museum staff, ID memory studies speaker	Event target: October
	Set date -- staff ✓	Check materials (scissors, etc.) -- staff	ID date, location, audience	
	Market event -- staff ✓	Organize food		
	Confirm location -- staff ✓	Organize music, tents, etc. for event		
Josh, Keith, staff		Facilitate public education and participation, preserve significant historic places, enhance customer service		
	Explore in-house options	Subcommittee start		
Map Update	List of tasks	List of tasks	List of tasks	List of tasks
	Meet with GIS architect (staff)	List of desired/dream content, function		
		Share what can be done in-house		
Sloane and Lynda (staff support)		Facilitate public education and participation		
Construction Grant Signage	List of tasks	List of tasks	List of tasks	List of tasks
Gary and Chrissie (staff support)		Establish and maintain a qualified HPC, facilitate public education and participation		
Update HPC Bylaws	List of tasks	List of tasks	List of tasks	List of tasks
Lynda (staff support)		Facilitate public education and participation		
Social Media	List of tasks	List of tasks	List of tasks	List of tasks
Chrissie and Marty (staff support)		Facilitate public education and participation, preserve significant historic places, enhance customer service		
	No work this quarter	No work this quarter	Project starts	
General Outreach	n/a	n/a	List of tasks	List of tasks

Roles & responsibilities of HPC (dervied from PMP)

- Enhance customer service
- Facilitate public education and participation
- Preserve significant historic places
- Establish and maintain a qualified HPC

Other goals and projects

- Meet annual CLG requirements
- Meet HPC professional requirements
- Downtown Business Association write-ups
- Museum Advisory Board Liaison