

ITEM: PUD-000519-2024 – 517 S Arthur Ave

PLANNER: Matt Post, Senior Planner

REPRESENTATIVE: The Beck Group

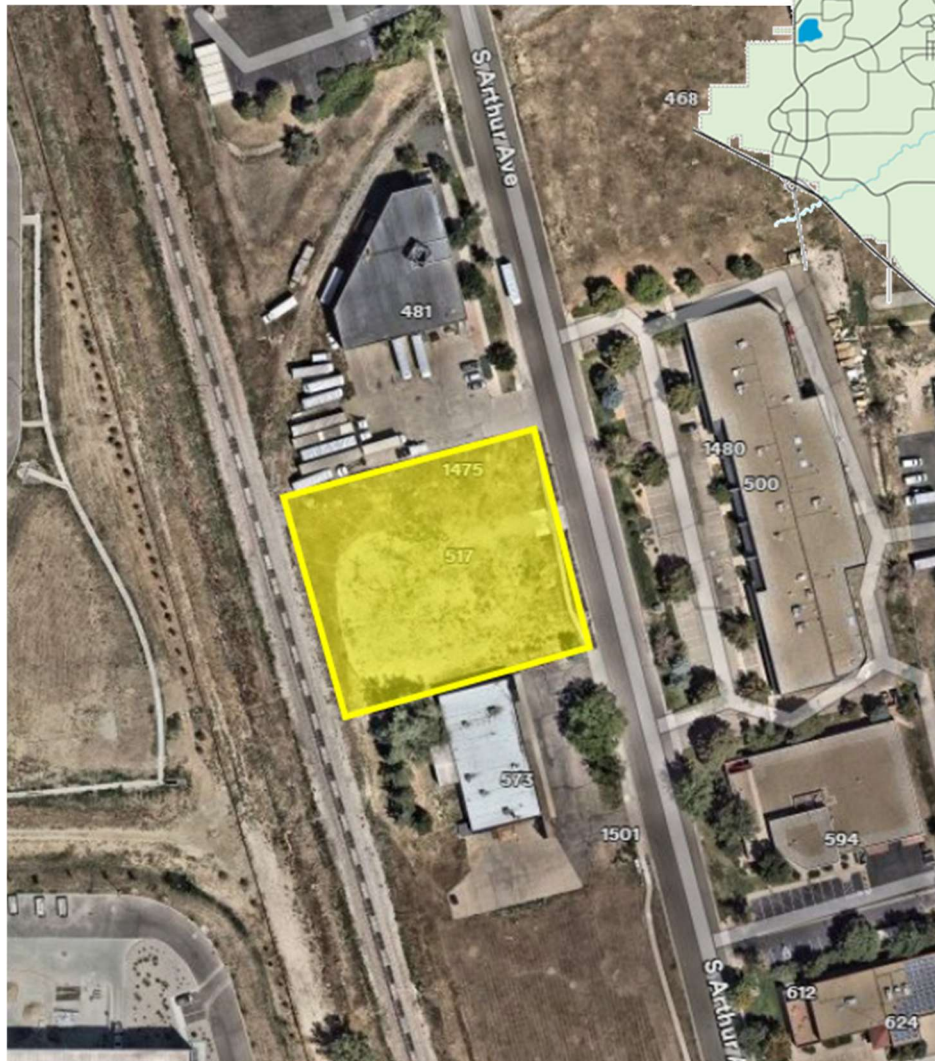
EXISTING ZONING: I - Industrial

LOCATION: 517 S Arthur Ave

TOTAL SITE AREA: .828 Acres

REQUEST: Approval of Resolution No. 4, Series 2025, recommending approval of a Planned Unit Development Amendment to allow construction of a 16,294 square-foot industrial/flex building and associated site improvements.

VICINITY MAP:



SUMMARY:

The applicant, The Beck Group, requests approval of a final Planned Unit Development (PUD) Amendment to allow construction of a 16,294 square-foot industrial/office flex building and associated site improvements at 517 S Arthur Avenue.

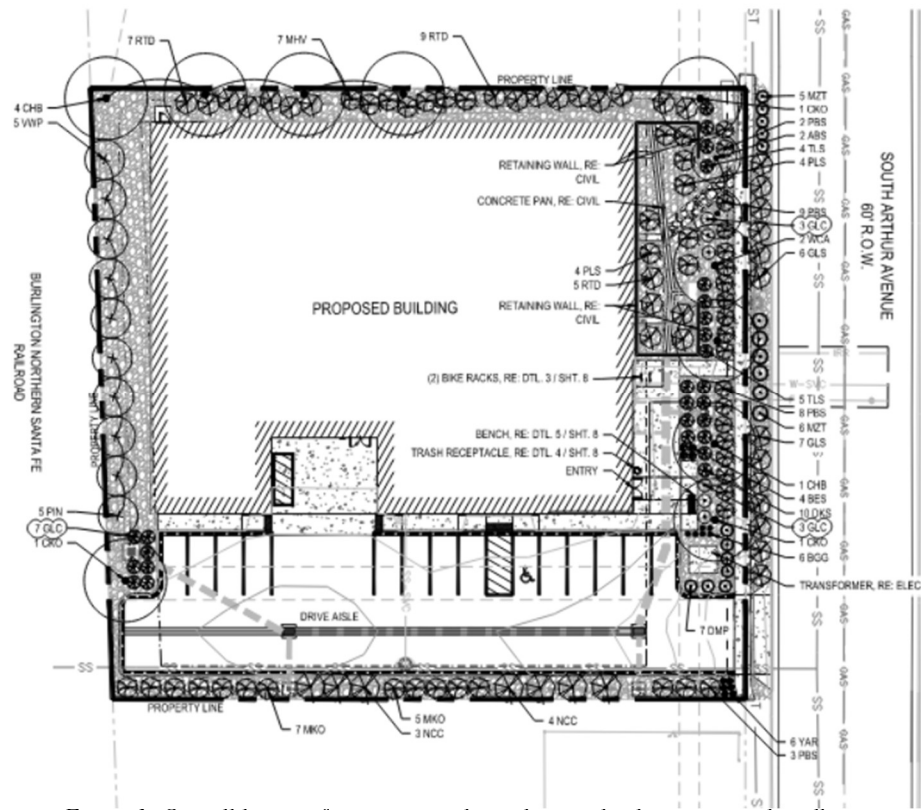
BACKGROUND:

The subject property is a vacant, .86 acre lot located in the Colorado Technology Center (CTC). The land is zoned Industrial (I) and development is governed primarily by the Industrial Development Design Standards and Guidelines (IDDSG). The lot fronts S Arthur Avenue on the east and is bounded on the north and south sides by existing industrial structures. The BNSF railway bounds the lot on the west. The city approved the Colorado Technological Center First Filing plat for the property in 1979.



Vicinity Map

PUD PROPOSAL: The application proposes a 16,294 square-foot flexible office building with a prominent corner entrance on the southeast side of the building that addresses the primary street frontage of S Arthur Avenue. The building will be just over 26 feet tall. The interior space is anticipated to include +/- 14,700 square feet of warehouse area, with the remaining +/- 1,600 square feet dedicated to office and support areas. The remainder of the site will be developed with parking, landscaping, and detention and water quality areas. Site access is provided from the east, offering entry to the parking and loading areas located along the building's south façade. The required water quality and detention facilities are situated on the east side of the site, between the building and the adjacent street.



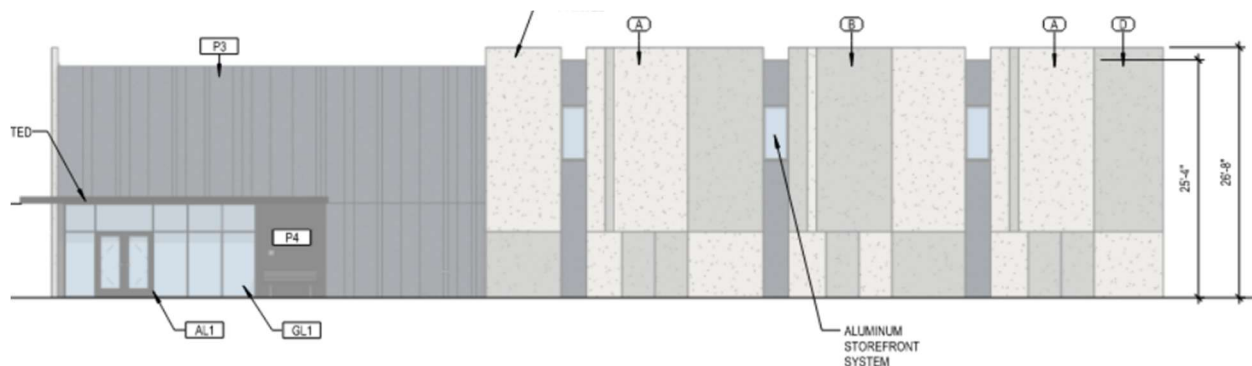
The site's primary access point provides entry to the parking and loading area on the south side of the building. The site will include 14 parking spaces, with one electric vehicle (EV) charging station, one EV-ready space, and 2 EV capable spaces. As part of this application, the applicant is requesting a parking reduction. Further analysis is provided below. The parking lot provides access to a recessed loading and service area on the south side of the building where the trash enclosure is located. An emergency fire hammerhead turnaround is located within the parking area and was approved by the Louisville Fire Protection District.

The site and use are generally auto oriented, so pedestrian paths and a plaza space are provided adjacent to the building and at the building entrance as required by the IDDSG, while an internal pedestrian path connects the site to the existing sidewalk on S Arthur Avenue.

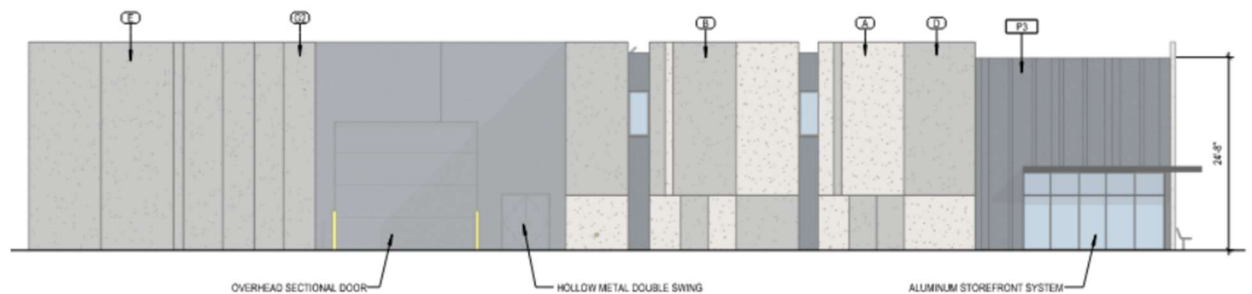
Approximately 24 percent of the site is landscaped, falling just below the 25 percent minimum required by the IDDSG. Additionally, 22 trees are proposed, whereas 24 are required. As such, the applicant is requesting a waiver for both the landscape coverage and tree buffer requirements. Further analysis is provided below. Landscape buffering is required along the north and south property lines, with one tree for every 30 linear feet

of shared property line, based on half the lot's depth. The site include 136 low-water shrubs, perennials, and ornamental grasses.

The building will be constructed of concrete tilt-up wall panels which are designed with varied patterns, form liners, and accent paint colors to provide the required design articulation in accordance with the IDDSG. The primary storefront entrance to the office area is highlighted by an open sunshade structure, while clerestory punched openings are located along the building's perimeter to enhance visual interest and provided daylighting. The elevations include variations in the parapet height and articulation in the building façade, which when combined with the variation in materials, create architectural interest and appropriate design for the Industrial zone district.



East Elevation



South Elevation

ANALYSIS:

Planned Unit Development

The PUD is subject to the IDDSG and the review criteria in Section 17.28.120 of the Louisville Municipal Code (LMC).

IDDSG Analysis

IDDSG: 1. Site Planning

This application complies with these standards with requested waivers (see further analysis below), including all minimum setbacks and building and site orientation requirements. Site coverage is just under the minimum standard for landscape coverage, though the applicant has requested consideration of waiver for this element.

The applicant has requested a waiver for a minor encroachment into the rear setback. The proposal includes a new pedestrian connection to S Arthur Avenue and a pedestrian path through the sight where appropriate. The trash enclosure is located within the recessed loading area to minimize visibility from street view. The proposal meets the site standards for site grading and drainage in the IDDSG.

IDDSG: 2. Vehicular Circulation and Parking

Access is accommodated by a single drive from S Arthur Avenue. The drive aisles and overall sight circulation patterns were designed for ease of vehicular entry and exit and, while fire access and a hammerhead turnaround are provided on site. With the requested parking waiver and parking space size waiver, the parking lot meets all design requirements IDDSG.

IDDSG: 3. Pedestrian and Bicycle Circulation

The applicant proposes a new pedestrian connection to S Arthur Avenue and bicycle parking consistent with the standards of the IDDSG. Bicycle parking is located on the east side of the building at the main entrance. With a requested waiver for a reduction in overall parking space length, the applicant is able to maintain an unobstructed 5-foot pedestrian way for on-site sidewalks adjacent to head-in parking spaces.

IDDSG: 4. Architectural Design

The building layout includes a storefront-style entry with primary orientation toward S Arthur Avenue. The primary service entry is on the south-side of the building and recessed into the building façade. The building incorporates architectural features to reduce the apparent massing of the building including roofline variation, color variation, building articulation, and the primary entrance storefront system. The materials and color palette of the building satisfy the standards required by the IDDSG.

IDDSG: 5. Landscape Design

Streetscape plantings along S Arthur Avenue meet the minimum 1 tree per 20 linear feet ratio with appropriate species and includes more shrubs than required. The applicant has requested a waiver from the requirement that 1 tree per 30 linear feet be planted between adjacent land with the same zoning on the south side of the site, including a reduction to the total width of the required buffer in some areas – the majority of the required trees are planted on the west side of the site. In total, 22 trees are proposed where 24 are required. The rest of the site is landscaped with 136 low-water shrubs, perennials, and grasses, and no turf is proposed. With the requested waivers, landscape design on the site is in conformance with IDDSG standards.

IDDSG: 6. Fences and Walls

The application includes a retaining wall associated with the grading and drainage on the east side of the site, and no fence are proposed as part of this application. The walls as proposed are in conformance with IDDSG standards.

IDDSG: 8. Exterior Site Lighting

The application includes wall mounted LED lights with their proposal. All fixtures with warm light temperatures, and the photometric plan aligns with the standards of the IDDSG.

Compliance with 17.28.120

Section 17.28.120 of the Louisville Municipal Code (LMC) lists 28 criteria for PUDs that must be satisfied or found not applicable in order to approve a PUD. Analysis and staff's recommended finding of each criterion is provided in the attached appendix.

Parking Reduction

Pursuant to LMC Sec. 17.20.080, the City Council may reduce the number of required parking spaces on site in consideration of a number of factors, including the parking needs of nondwelling users.

Per Section 2.2.1.L of the IDDSG, the minimum required parking ratio is 4 spaces per 1,000 square feet (1:250) for office use and 1 space per 1,000 square feet (1:1000) for warehouse use. Based on the total square footage and the mix of uses within the proposed development, the calculated parking requirement is 23 spaces. However, the applicant is requesting a reduction to provide 13 spaces, supported by the specific operational characteristics of the proposed use.

The primary justification for this reduction is the minimal proportion of office space within the development, paired with the low employee density and limited visitor traffic typically associated with the proposed warehouse use. The facility is designed for light industrial operations with a small administrative component, meaning most of the building will be occupied by storage, staging, and/or distribution activities, which do not require high parking demand.

This approach aligns with the intent of the IDDSG to ensure adequate parking without encouraging excess impervious coverage or underutilized space. **Staff support the request for a parking reduction on this site.**

Waiver Compliance with 17.28.110

Section 17.28.110 of the Louisville Municipal Code sets forth the PUD waiver process and criteria. The application includes the following waiver requests:

- Section 2.2.1.I of the IDDSG requires a minimum parking space size of nine feet wide by 19 feet deep. The applicant is requesting a waiver to allow parking space sizes of 8' 6" wide by 17' 6" deep. This request is consistent with current development trends and best practices that support more efficient land use. The proposed dimensions remain functional for standard passenger vehicles and are commonly accepted in comparable light-industrial developments where maximizing site efficiency is a priority. Additionally, the proposed depth of 17'6" corresponds directly to the adjacent pedestrian pathways, which run perpendicular to the parking spaces and are 6'6"

wide. This configuration allows for a 1'6" bumper overhang into the pedestrian zone while maintaining a clear, unobstructed pedestrian path of five feet. This approach not only preserves safe and comfortable pedestrian circulation but also optimizes site layout and reduces unnecessary impervious surface area, aligning with broader sustainability and design objectives. **Staff support this waiver request.**

Section 2.1.1.C of the IDDSG requires a two-way drive aisle width of 28 feet. The applicant is requesting a waiver to allow a reduced drive aisle width of 24 feet. Staff supports this request, as the Louisville Fire Protection District has confirmed that a 24-foot width is sufficient to accommodate emergency access on the site where aerials apparatus access requirements are not applicable. Additionally, a 24-foot drive aisle width aligns with modern development practices for efficient site design and functionality. **Staff support this waiver request.**

- Section 5.2.A.1 of the IDDSG requires a 10-foot wide landscape buffer between properties within the same district. Within the buffer area, one tree for every 30 linear feet shall be planted for half the depth of the lot, in addition to shrubs and/or ground cover.

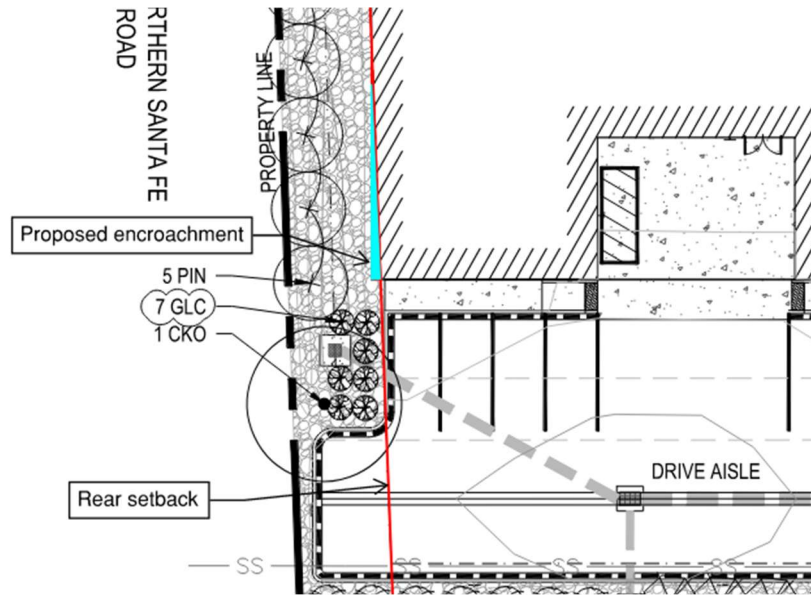
Due to specific site constraints, the applicant is requesting a waiver to allow a reduced buffer width in two locations. At the southwest corner of the site, the buffer narrows to 4 feet to accommodate an extended drive aisle. This configuration is necessary to provide adequate access and maneuverability for fire apparatus and to meet applicable emergency service requirements. Along the southern edge of the property, the landscape buffer is reduced to 9' 6" due to the presence of multiple easements, which significantly limit the available planting area and restrict the placement of permanent landscaping features.

In response to these constraints, the applicant has proposed an alternative solution that includes a row of dense, mid-height shrub plantings in the affected areas. These plantings will effectively provide visual screening and enhance the site's aesthetic appeal. The proposed shrub species will mature to heights ranging from 5 to 10 feet, ensuring adequate buffering while maintaining flexibility in the site's layout.

Additionally, the reduction in buffer width includes a request for a reduction in the required tree planting along the southern edge of the site. Rather than trees, the applicant proposes the use of shrubs with appropriate mature heights, which will achieve the intended visual and environmental benefits of the landscape buffer while accommodating the site's unique challenges.

Staff have reviewed the request and find it to be reasonable, noting that the overall intent of the buffer standards—providing separation and visual relief between uses—has been maintained.

- Section 1.2 of the IDDSG requires a minimum rear setback of 15 feet, which in this case applies to the west side of the property. The applicant is requesting an encroachment of 1' 6" into the rear setback area at the southern end of the building.



Setback Encroachment Exhibit

This request is driven by the unique geometry of the lot. The property is configured with an oblique shape that tapers toward the south, creating a pinching point where the rear lot line converges with the building footprint. As a result, maintaining a consistent 15-foot setback along the entire rear façade presents a practical challenge without compromising the building's functional layout. The proposed encroachment is limited in scope and location, affecting a small portion of the building. The property to the west is BNSF rail line, so negative adjacent impacts are minimal. **Staff support the waiver as requested.**

- Section 1.4.B of the IDDSG requires that 25 percent of the industrial site be landscaped. The applicant is requesting a reduction to 24 percent. This request arises from the physical constraints of the site, including multiple existing easements that limit the available buildable and landscapeable area—particularly along the southern portion of the property. These easements impact both the placement of the building and the configuration of site improvements, resulting in a site layout that restricts the ability to meet the full 25 percent landscaping threshold without compromising functionality.

Despite the reduction in landscaped area, the applicant has prioritized high-quality, sustainable landscape design. The proposed plan includes 22 trees and 136 low-water-use shrubs, with no turfgrass, aligning with water conservation goals and modern best practices. The landscape design provides visual

buffering, supports stormwater management, and enhances the overall aesthetic value of the site. **Staff support the waiver as requested.**

- Section 2.1.1.F of the IDDSG requires that new driveways be located a minimum of 75 feet from adjacent access points. Due to the relatively small size of the site and the presence of existing driveways on both the north and south sides of the property, strict compliance with this standard is not feasible. The applicant is therefore requesting a waiver to allow a reduced spacing of 42 feet between the proposed driveway and the nearest neighboring access point.

The proposed driveway location has been reviewed by the Public Works Department, who identified no operational or safety concerns with the proposed configuration. **Staff support the waiver as requested.**

PUBLIC COMMENTS: As of publication of this report, staff has not received comments from the public.

STAFF RECOMMENDATION:

Staff recommends approval of Resolution No. 4, Series 2025 recommending approval of the Planned Unit Development Amendment at 517 S Arthur Avenue.

ATTACHMENTS:

- A. Resolution No. 4, Series 2025
- B. Application Materials and PUD

APPENDIX: PUD Criteria Analysis – 517 S ARTHUR AVENUE PUD

Criteria 17.28.120 (A)	Finding	Narrative
1. An appropriate relationship to the surrounding area.	Compliant	The use is appropriate for the area and permitted in the Industrial zone district. The site design is consistent with the context of the surrounding area.
2. Circulation in terms of the internal street circulation system, designed for the type of traffic generated, safety, separation from living areas, convenience, access, and noise and exhaust control. Proper circulation in parking areas in terms of safety, convenience, separation and screening.	Compliant	The application provides for adequate and safe internal circulation. The applicant has provided a shared access point with the property to the south, which is encouraged in the IDDSG.
3. Consideration and provision for low and moderate-income housing	Not applicable	The property is zoned Industrial; residential uses are not allowed.
4. Functional open space in terms of optimum preservation of natural features, including trees and drainage areas, recreation, views, density relief and convenience of function	Compliant	The PUD complies with landscape requirements in Chapter 5 of the IDDSG with the requested waivers.
5. Variety in terms of housing types, densities, facilities and open space	Not applicable	The property is zoned Industrial; residential uses are not allowed.
6. Privacy in terms of the needs of individuals, families and neighbors	Compliant	The PUD complies with site planning provisions in the IDDSG, assuring appropriate privacy of neighboring properties.
7. Pedestrian and bicycle traffic in terms of safety, separation, convenience, access points of destination and attractiveness	Compliant	The PUD complies with pedestrian and bicycle requirements in the IDDSG, ensuring adequate pedestrian and bicycle access.
8. Building types in terms of appropriateness to density, site relationship and bulk	Compliant	The PUD complies with site planning and building height requirements in the IDDSG, ensuring an appropriate bulk for buildings and relationship to other developments in the CTC.

9. Building design in terms of orientation, spacing, materials, color, texture, storage, signs and lighting	Compliant	The PUD complies with the architectural design and site planning requirements in the IDDSG. The design incorporates adequate articulation, building materials, and site configuration.
10. Landscaping of total site in terms of purpose, such as screening, ornamental types used, and materials used, if any; and maintenance, suitability and effect on the neighborhood	Compliant	The PUD complies with landscape requirements in Chapter 5 of the IDDSG with the requested waivers, ensuring adequate screening between similar uses and compatible landscaping for the CTC.
11. Compliance with all applicable development design standards and guidelines and all applicable regulations pertaining to matters of state interest, as specified in <u>chapter 17.32</u>	Compliant	The PUD complies with all applicable development design standards and guidelines.
12. None of the standards for annexation specified in <u>chapter 16.32</u> have been violated	Not applicable	The property was annexed in 1976.
13. Services including utilities, fire and police protection, and other such services are available or can be made available to adequately serve the development specified in the final development plan	Compliant	The Public Works Department and Louisville Fire District reviewed the PUD and it meets their requirements. Other key utility providers are available to serve the development.

Criteria 17.28.120 (B)	Finding	Narrative
1. Development shall be in accordance with the adopted elements of the comprehensive development plan of the city, and in accordance with any adopted development design standards and guidelines.	Compliant	The PUD complies with the adopted elements of the comprehensive plan, and the adopted development design standards and guidelines.
2. No structures in a planned unit development shall encroach upon the floodplain. Existing bodies of water and existing stream courses shall not be channelized or altered in a planned unit development plan.	Compliant	The property is neither located in a floodplain nor are there any bodies of water in the area.

3. No occupied structure shall be located on ground showing severe subsidence potential without adequate design and study approved specifically by the city.	Compliant	There is no known subsidence on the property.
4. The proposal should utilize and preserve existing vegetation, land forms, waterways, and historical or archeological sites in the best manner possible. Steep slopes and important natural drainage systems shall not be disrupted. How the proposal meets this provision, including an inventory of how existing vegetation is included in the proposal, shall be set forth on the landscape plan submitted to the city.	Compliant	The PUD is appropriate for the context of the existing conditions of the property.
5. Visual relief and variety of visual sitings shall be located within a development in the overall site plan. Such relief shall be accomplished by building placements, shortened or interrupted street vistas, visual access to open space and other methods of design.	Compliant	The PUD complies with site planning requirements in the IDDSG, ensuring proper building placement, vistas, and access to open space.
6. Open space within the project shall be located in such a manner as to facilitate pedestrian use and to create an area that is usable and accessible to residents of surrounding developments.	Compliant	The PUD complies with requirements in the IDDSG.
7. Street design should minimize through traffic passing residential units. Suggested standards with respect to paving widths, housing setbacks and landscaping are set forth in public works standards of the city and applicable development design standards and guidelines. The system of streets, including parking lots, shall aid the order and aesthetic quality of the development.	Compliant	The PUD complies with requirements in the IDDSG, ensuring properly designed landscaping adjacent to public streets.

8. There shall exist an internal pedestrian circulation system separate from the vehicular system such that allows access to adjacent parcels as well as to parks, open space or recreation facilities within the development. Pedestrian links to trail systems of the city shall be provided.	Compliant	The PUD complies with bicycle and pedestrian requirements in the IDDSG, ensuring adequate pedestrian and bicycle access.
9. The project and development should attempt to incorporate features which reduce the demand for water usage.	Compliant	The PUD proposes water use consistent with expectations for the CTC development. Plant material has been grouped into similar water-requirement irrigation zones.
10. Landscape plans shall attempt to reduce heating and cooling demands of buildings through the selection and placement of landscape materials, paving, vegetation, earth forms, walls, fences, or other materials.	Compliant, with condition	The PUD complies with landscape requirements in the IDDSG with the requested waivers.
11. Proposed developments shall be buffered from collector and arterial streets. Such buffering may be accomplished by earthen berms, landscaping, leafing patterns, and other materials. Entrance islands defining traffic patterns along with landscaping shall be incorporated into entrances to developments.	Compliant	The PUD complies with the requirements of the IDDSG and includes adequate landscaping and buffering from adjacent streets and properties of the same or similar uses.
12. There shall be encouraged the siting of lot arrangement, building orientation and roof orientation in developments so as to obtain the maximum use of solar energy for heating.	Compliant	The PUD provides a structure oriented towards the south with an unshaded roof so that solar energy may be utilized in the future.
13. The overall PUD shall provide a variety of housing types.	Not applicable	The property is zoned Industrial; residential uses are not allowed.
14. Neighborhoods within a PUD shall provide a range of housing size.	Not applicable	The property is zoned Industrial; residential uses are not allowed.

15. Architectural design of buildings shall be compatible in design with the contours of the site, compatible with surrounding designs and neighborhoods, shall promote harmonious transitions and scale in character in areas of different planned uses, and shall contribute to a mix of styles within the city.	Compliant	The PUD proposes architecture that is compatible in design with the contours of the site, with surrounding buildings, and neighborhoods.
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**RESOLUTION NO. 4
SERIES 2025**

**A RESOLUTION RECOMMENDING APPROVAL OF A PLANNED UNIT
DEVELOPMENT AMENDEMENT TO ALLOW CONSTRUCTION OF A 16,294
SQUARE-FOOT INDUSTRIAL/FLEX BUILDING AT 517 S ARTHUR AVENUE.**

WHEREAS, there has been submitted to the Louisville Planning Commission an application for a final planned unit development amendment to allow construction of a 16,294 square-foot industrial/flex building at 517 S Arthur Avenue; Lot 9, Block 1, Colorado Technological Center Filing 1; and

WHEREAS, City staff has reviewed the information submitted and found that, with the eight requested waivers, the application complies with the Louisville zoning regulations and other applicable sections of the Louisville Municipal Code; and

WHEREAS, the Planning Commission has considered the application at a duly noticed public hearing on April 10, 2025 where evidence and testimony were entered into the record.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Louisville, Colorado does hereby recommend approval of a final planned unit development amendment to allow construction of a 16,294 square-foot industrial/flex building at 517 S Arthur Avenue.

PASSED AND ADOPTED this 10th day of April 2025.

By: _____
Steve Brauneis, Chair
Planning Commission

Attest: _____
Cullen Choi, Secretary
Planning Commission

Development Review Application Form

Please complete this form and include it with the submittal documents for your development review application. Applications will not be processed until all required information is provided to the satisfaction of the City of Louisville Planning Department.

Property Information

Common Address(es): 517 S. Arthur Ave, Louisville, CO 80027

Legal Description:

Lot ⁹ Block ¹ Subdivision Colorado Technological Center, First Filing

Lot Area: 36,051 Sq. Ft. or 0.828 Acres

LAND USE PROCESS (check all that apply)

- ☐ Annexation
- ☐ Concept Plan
- ☐ Easement Vacation
- ☐ Oil and Gas
- ☐ General Development Plan (GDP)
 - ☐ Amendment
 - ☐ New GDP
- ☒ Planned Unit Development (PUD)
 - ☒ Amendment
 - ☐ Preliminary
 - ☐ New PUD
- ☐ Rezoning
- ☐ Special Review Use (SRU)
 - ☐ Amendment
 - ☐ New SRU
- ☐ Subdivision
 - ☐ Final or Replat
 - ☐ Preliminary Plat
- ☐ Temporary Use Permit
- ☐ Variance
- ☐ Vested Property Right
- ☐ Wireless Facility
- ☐ Other: _____

PROJECT DESCRIPTION:

The flexible office building contains approximately 15,000 square feet of warehouse area and 2,000 square feet of office space with additional area for support spaces such as future tenant restrooms and a water entry room. The building is 26'-8" high (to top of exterior wall) and the primary structural system will be constructed of concrete tilt-up wall panel construction at all exterior walls with structural steel joists supporting the roof. The concrete tilt-up wall panels have been designed with differentiated patterns, form liner, and accent wall paint colors to provide the necessary design articulation as required by the IDDSG. The main aluminum storefront entrance into the office area is covered by an open sunshade structure above and clerestory punched openings are located at the perimeter of the building at 16'-0" above finished floor. This

Property Owner Information

Name: Travis Vap Entity (if applicable) Tweedle Dum, LLC

Address: 11511 East Caley Ave, Englewood, CO 80111

Phone: (303) 808-4053 Email: tvap@svdw.com

Application Representative Information

Name: Ramiro L. Diaz, AIA Entity (if applicable) The Beck Group

Address: 1001 17th Street, PL-100, Denver, CO 80202

Phone: (720) 281-0394 Email: ramirodiaz@beckgroup.com

Certification/Signature

I certify that the information I have submitted is true and correct to the best of my knowledge and in filing the application and submittal documents, I am acting as and/or with the knowledge and consent of those persons who are owners of the subject property or are parties to this application.

Ramiro L. Diaz

Ramiro L. Diaz

07/15/2024

Signature*

Print Name

Date

***If acting as a representative/agent of the owner, include written authorization from the owner that certifies the agent's right to submit this application**

RED GOLD BOTTLING CORPORATION PLANNED
UNIT DEVELOPMENT, 1ST AMENDMENT

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING,
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.

CASE # PUD-000519-2024

IDDSG SITE DATA TABLE

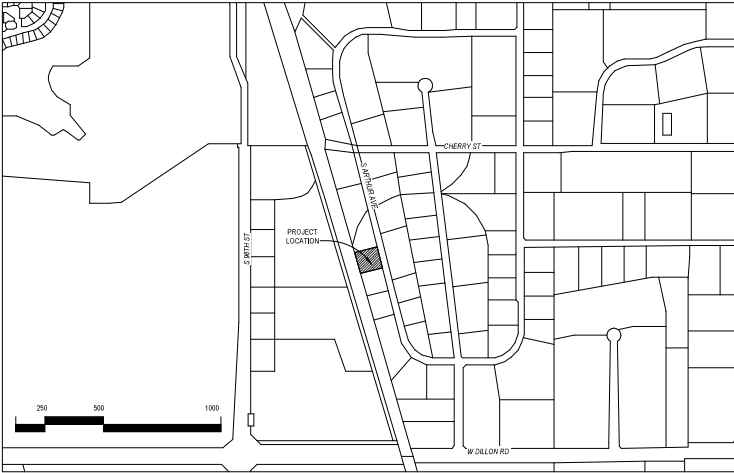
	REQUIRED	PROPOSED	NOTES
TOTAL SITE AREA	-	36,051 SF	0.828 ACRES
SITE COVERAGE	-	16,294 SF	
BUILDING	-	2,910 SF	
DRIVEWAY	-	5,988 SF	
SIDEWALK	-	2,233 SF	
LANDSCAPE COVERAGE			
LANDSCAPE AREA	25% (9,013 SF)	24% (8,626 SF)	Per IDSG 3.1.4.B
HARDSCAPE AREA	75% (27,038 SF)	76% (27,425 SF)	Per IDSG 3.1.4.A
TOTAL			
BUILDING HEIGHT	40'-0" MAX	26'-4"	Per IDSG 4.2.B
SETBACKS			
NORTH	10'-0"	15'-0"	
WEST	15'-0"	13'-4"	
SOUTH	10'-0"	55'-0"	
EAST	30'-0"	33'-0"	
PARKING SPACES	23 SPACES	14 SPACES	Per IDSG 3.2.1.L
STANDARD	23	13	
ACCESSIBLE	1	1	Per CBC 2021 Table 1106.2
EV INSTALLED (GROUP B OCC.)	2%	1	Table CV902.1
EV READY (GROUP B OCC.)	8%	1	Table CV902.1
EV CAPABLE (GROUP B OCC.)	10%	2	Table CV902.1
BICYCLE	3	4	Per IDSG 3.2.C
PARKING SETBACKS			Per IDSG 1.2.B
NORTH	10'-0"	132'-4"	
WEST	0'-0"	6'-0"	
SOUTH	10'-0"	10'-0"	
EAST	20'-0"	20'-0"	



WAIVER REQUESTS

BELOW IS A LIST OF WAIVER REQUESTS WITH COMMERCIAL DEVELOPMENT DESIGN STANDARDS AND GUIDELINES, INDUSTRIAL DEVELOPMENT DESIGN STANDARDS AND GUIDELINES, OR LOUISVILLE MUNICIPAL CODE SECTIONS IDENTIFIED.

WAIVER REQUEST	IDDSG REQUIREMENTS	REQUEST TO WAIVE
#1. PARKING REDUCTION	IDDSG 3.2.1.L SURFACE PARKING LOT REQUIREMENTS • OFFICE SPACE 4 SPACES/1000 SF (1.25%) • WAREHOUSE SPACE 1 SPACE/1000 SF (1.100%)	REQUEST TO WAIVE: • OFFICE SPACE 2 SPACES/1000 SF (1.500%) • WAREHOUSE SPACE 0.5 SPACES/1000 SF (0.5.100%)
#2. PARKING SPACE MINIMUM SIDE REDUCTION	IDDSG 3.2.1.L SURFACE PARKING LOT REQUIREMENTS • 8'-0" WIDE X 19'-4" DEEP STANDARD PARKING SPACE	REQUEST TO WAIVE: • 8'-0" WIDE X 17'-4" DEEP STANDARD PARKING SPACE
#3. DRIVE PAVEMENT WIDTH REDUCTION	IDDSG 3.2.1.C VEHICULAR ACCESS REQUIREMENT: • 30'-0" WIDE TWO-WAY ACCESS DRIVE	REQUEST TO WAIVE: • 24'-0" WIDE TWO-WAY ACCESS DRIVE
#4. BUFFER ZONE REDUCTION	IDDSG 3.2.2 PERIMETER LANDSCAPING ADJACENT TO ADJUTING PROPERTY REQUIREMENT: • 10'-0" BUFFER ZONE	REQUEST TO WAIVE: • 2-3'10" BUFFER ZONE AT WEST • 7'-8" BUFFER ZONE AT SOUTH
#5. REAR SETBACK ENFORCEMENT	IDDSG 3.1.2 BUILDING AND PARKING SETBACK REQUIREMENTS: • 15'-0" REAR YARD SETBACK	REQUEST TO WAIVE: • 1'-4" BUILDING ENVOACHMENT INTO SETBACK
#6. MINIMUM LANDSCAPE EQUIPMENT REDUCTION	IDDSG 3.1.4.B SITE COVERAGE REQUIRED: • 25% LANDSCAPE COVERAGE	REQUEST TO WAIVE: • 24% LANDSCAPE COVERAGE
#7. SITE AND DRIVEWAY ACCESS MINIMUM	IDDSG 3.2.1.1.F DRIVEWAY'S REQUIREMENT: • MOST BE 7.5' MINIMUM FROM NEIGHBORING DRIVEWAY	REQUEST TO WAIVE: • 42'-0" FROM NEIGHBORING DRIVEWAY
#8. PERIMETER LANDSCAPING ADJACENT TO ADJUTING PROPERTY	IDDSG 3.2.2.1 PROVIDE 1 TREE FOR EVERY 30 LINEAR FEET OF PROPERTY LINE	REQUEST TO WAIVE: REDUCE THE REQUIRED NUMBER OF TREES FROM 24 TO 22.



PROJECT DESCRIPTION

THE FLEXIBLE OFFICE BUILDING CONTAINS APPROXIMATELY 15,000 SQUARE FEET OF WAREHOUSE AREA AND 2,000 SQUARE FEET OF OFFICE SPACE WITH ADDITIONAL AREA FOR SUPPORT SPACES SUCH AS FUTURE TENANT RESTROOMS AND A WATER ENTRY ROOM.

THE BUILDING IS 36'-4" HIGH TO TOP OF EXTERIOR WALLS AND THE PRIMARY STRUCTURAL SYSTEM WILL BE CONSTRUCTED OF CONCRETE TILT-UP WALL PANEL CONSTRUCTION AT ALL EXTERIOR WALLS WITH STRUCTURAL STEEL JOISTS SUPPORTING THE ROOF. THE CONCRETE TILT-UP WALL PANELS HAVE BEEN DESIGNED WITH DIFFERENTIATED PATTERNS, FORM LINER, AND ACCENT WALL PAINT COLORS TO PROVIDE THE NECESSARY DESIGN ARTICULATION AS REQUIRED BY THE IDSGS. THE MAIN ALUMINUM STONEPOINT ENTRANCE INTO THE OFFICE AREA IS COVERED BY AN OPEN SUNSHADE STRUCTURE ABOVE AND CLERESTORY PUNCH OPENINGS ARE LOCATED AT THE PERIMETER OF THE BUILDING AT 14'-4" ABOVE FINISHED FLOOR.

THIS BUILDING IS A CORE & SHELL ONLY. INTERIOR TENANT FINISH-OUT IS NOT IN CONTRACT AND WILL BE PERMITTED SEPARATELY BY TENANT.

PROJECT CONTACTS

OWNER
TWEEDLE DUM LLC
11511 EAST CALEY AVE
CENTENNIAL, CO 80111
TUMBERBOW.COM
CONTACT: TRAVIS VAP

ARCHITECT
THE BECK GROUP
1001 W 17TH ST
SUITE 100
DENVER, CO 80202
720-281-0304
CONTACT: RAMIRO DIAZ

CIVIL
COLLINS ENGINEERING INC.
400 SHERMAN ST
SUITE 160
DENVER, CO 80203
720-262-3537
CONTACT: BRYAN FRANTZ

SURVEYOR
RAR ENGINEERS/SURVEYORS INC.
1625 W. 10TH AVENUE
SUITE 310
DENVER, COLORADO 80204
303-753-0730
CONTACT: BASH HANSON

LANDSCAPE
ORION DESIGN COLLABORATIVE
200 VALMARTH ST
SUITE 6
DENVER, CO 80229
720-465-1168
CONTACT: JOHN YOUNG

LIGHTING
AE DESIGN
1900 WADSWORTH STREET
SUITE 205
DENVER, CO 80202
303-296-2004
CONTACT: MORRIS HOLLAND

GENERAL NOTES

BELOW IS A LIST OF WAIVER REQUESTS WITH COMMERCIAL DEVELOPMENT DESIGN STANDARDS AND GUIDELINES, INDUSTRIAL DEVELOPMENT DESIGN STANDARDS AND GUIDELINES, OR LOUISVILLE MUNICIPAL CODE SECTIONS IDENTIFIED.

- THE PROPERTY IS ZONED I-INDUSTRIAL. SETBACKS FOR PROPERTY AS FOLLOWS:
WEST 15'-0"
EAST 35'-0"
SOUTH 10'-0"
NORTH 15'-0"
- ALL SETBACKS AND LAND USE REQUIREMENTS SHALL CONFIRM TO THE CITY OF LOUISVILLE, COLORADO ZONING AND LAND USE REGULATIONS IN EFFECT AS OF THE DATE OF APPROVAL OF THIS PLANNED UNIT DEVELOPMENT BY THE CITY OF LOUISVILLE, COLORADO.
- EXCEPT AS AMENDED BY THIS FINAL PLANNED UNIT DEVELOPMENT, ALL SIGNS SHALL CONFORM TO THE INDUSTRIAL DEVELOPMENT DESIGN STANDARDS AND GUIDELINES. THESE AMENDMENTS ARE:
A. TWO FREE-STANDING, GROUND-MOUNTED DOUBLE-FACED SIGNS LOCATED PER THE SITE PLAN SHALL BE PERMITTED. THE DESIGN FOR THESE SIGNS SHALL BE PER THE DETAIL ON SHEET 7.
B. SURFACE MOUNTED BUILDING SIGNS SHALL NOT EXCEED 2 FEET IN HEIGHT BY 20 FEET IN LENGTH EACH WITH A MAXIMUM OF THREE SIGNS. ONE BUILDING SIGN SHALL BE PERMITTED ON THE SOUTH BUILDING ELEVATION (FACING CTC BOULEVARD), ONE BUILDING SIGN SHALL BE PERMITTED ON THE WEST BUILDING ELEVATION (FACING CTC BOULEVARD), THE TWO BUILDING SIGNS SHALL BE PERMITTED ON THE EAST BUILDING ELEVATION AFTER CONSTRUCTION OF THE FUTURE ROAD. MINIMUM SURFACE MOUNTED BUILDING SIGNAGE AREA OF 150 SQUARE FEET IN THE AGGREGATE.
C. FOR BOTH MULTITENANT AND SINGLE TENANT OCCUPANCY, THE SURFACE MOUNTED BUILDING SIGN SHALL NOT EXCEED 24 INCHES IN HEIGHT.
D. THE CITY OF LOUISVILLE IS NOT RESPONSIBLE FOR DAMAGE TO OR REPAIR OF MONUMENT SIGNS DUE TO UTILITY MAINTENANCE.
E. THE CITY OF LOUISVILLE IS NOT RESPONSIBLE FOR DAMAGE TO PAVEMENT SURFACES OR LANDSCAPING CAUSED DURING REPAIR OR MAINTENANCE ACTIVITIES OF UTILITIES LOCATED WITHIN PUBLIC UTILITY EASEMENTS.
F. ON-STREET PARKING WILL NOT BE UTILIZED TO MEET THE PARKING REQUIREMENTS OF THE PROJECT.
G. ALL ROOF-MOUNTED MECHANICAL, ELECTRICAL, OPTICAL AND ELECTRONIC EQUIPMENT SHALL BE SET A MINIMUM OF 20' FROM THE BUILDING PARAPET, AND IF VISIBLE FROM THE PUBLIC STREET ADJACENT TO THE PROPERTY, SHALL BE PAINTED TO MATCH THE DOMINANT COLOR OF THE BUILDING.
H. ALL ROOF-MOUNTED EQUIPMENT SHALL BE EITHER (1) PAINTED A COLOR COMPATIBLE WITH THE DOMINANT BUILDING COLOR, IF THE BUILDING IS SELF-CONTAINED WITHOUT EXPOSED DUCTWORK OR PROCESS PIPING, OR (2) SHALL BE SCREENED IF THE EQUIPMENT DOES NOT MEET THE CRITERIA SPECIFIED IN 1. SCREEN MATERIAL SHALL BE COMPATIBLE WITH MATERIALS AND COLORS UTILIZED ON THE BUILDING.
I. OWNER WILL ADD ADDITIONAL HANDICAP PARKING SPACES

PLANNING COMMISSION CERTIFICATE

RECOMMENDED APPROVAL THIS _____ DAY OF _____, 20____ BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO.

RESOLUTION NO. _____ SERIES _____

CITY COUNCIL CERTIFICATE

APPROVED THIS _____ DAY OF _____, 20____ BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO.

RESOLUTION NO. _____ SERIES _____

MAYOR _____ CITY CLERK _____ SEAL _____

NOTARY PUBLIC BLOCK

State of _____

County of _____

Signed before me on _____, 20____

By _____

(Notary's official signature)

(Title of office)

(Commission Expiration)

OWNERSHIP SIGNATURE BLOCK

The undersigned as the owner of the lands described herein, hereby agrees on behalf of itself, and its heirs, successors and assigns to develop and maintain the property described herein in accordance and compliance with the approved plan and/or the Louisville Municipal Code.

TWEEDLE DUM LLC

Witness my official hand(s) and seal(s) this _____ day of _____, 20____.

By _____

NOTARY:

SHEET INDEX

SHEET NUMBER	SHEET NAME
1	COVER PAGE
2	SITE PLAN
3	PERIMETER/BICYCLE CIRCULATION PATH
4	BUILDING ELEVATIONS
5	GRADING PLAN
6	UTILITY PLAN
7	LANDSCAPE PLAN
8	SITE AMENDMENTS DETAILS
9	PRACTICABLE PLAN
10	LIGHTING CUP SHEETS
11	SURVEY
12	WIRE AND LIFE SAFETY PLAN

CURRENT SUBMISSION: PUD AMENDMENT RESUB.#2

DATE SUBMISSION

C 10/20/24 PUD AMENDMENT RESUB.#1

D 03/03/25 PUD AMENDMENT RESUB.#2

BECK ARCHITECTURE, LLC
1001 17TH STREET
SUITE PL 100
DENVER, CO 80202
PH: (303) 468-9965
WWW.BECKGROUP.COM



COVER PAGE

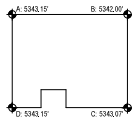
1
SHEET 1 OF 12

RED GOLD BOTTLING CORPORATION PLANNED UNIT DEVELOPMENT, 1ST AMENDMENT

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING,
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.

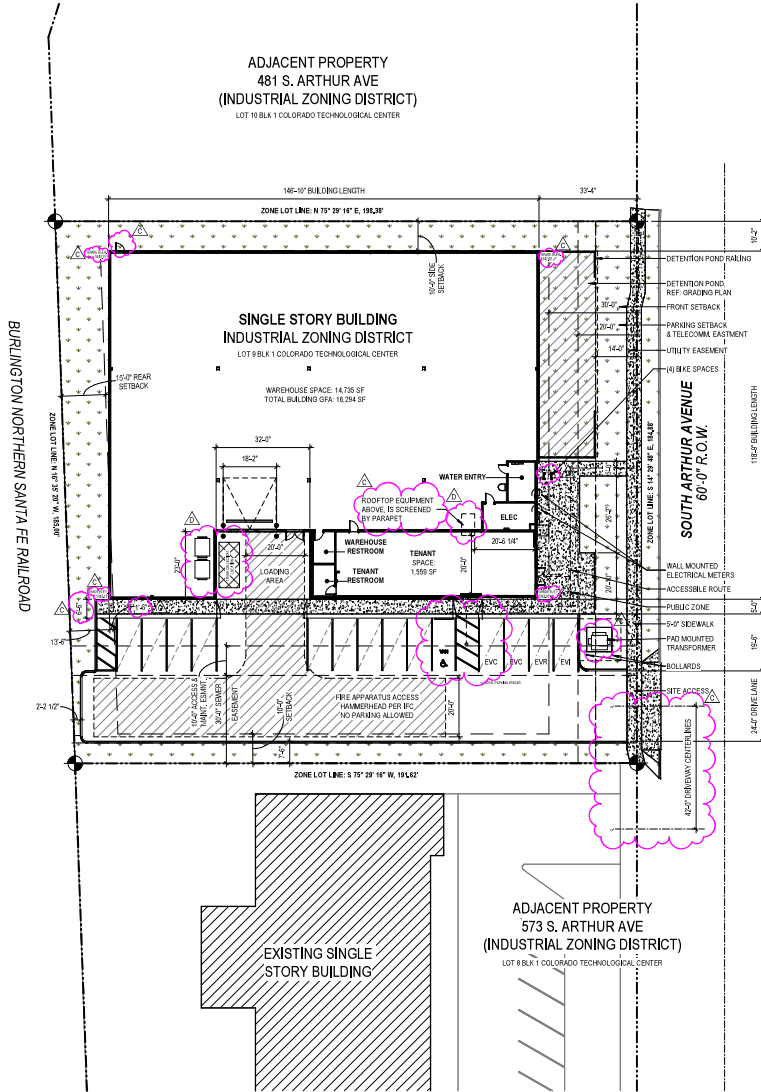
CASE # PUD-000519-2024

GRADE PLANE CALCULATION



CORNER ELEVATION A (HIGHEST): 5343.19'
CORNER ELEVATION B (LOWEST): 5342.00'
AVERAGE GRADE PLANE: 5342.58'
LEVEL 1: 5343.19'
THERE IS A DIFFERENCE OF 0.00119' BETWEEN
GRADE PLANE CALCULATION AND LEVEL 1

ADJACENT PROPERTY
481 S. ARTHUR AVE
(INDUSTRIAL ZONING DISTRICT)
LOT 10 BLK 1 COLORADO TECHNOLOGICAL CENTER



1 ARCHITECTURAL SITE PLAN
SCALE: 1"=20'-0"



CURRENT SUBMISSION: PUD AMENDMENT RESUB.#2		
#	DATE	SUBMISSION
C	10/20/24	PUD AMENDMENT RESUB.#1
D	03/03/25	PUD AMENDMENT RESUB.#2

BECK ARCHITECTURE, LLC
1001 17TH STREET
SUITE PL 100
DENVER, CO 80202
PH: (303) 468-9965
WWW.BECKGROUP.COM

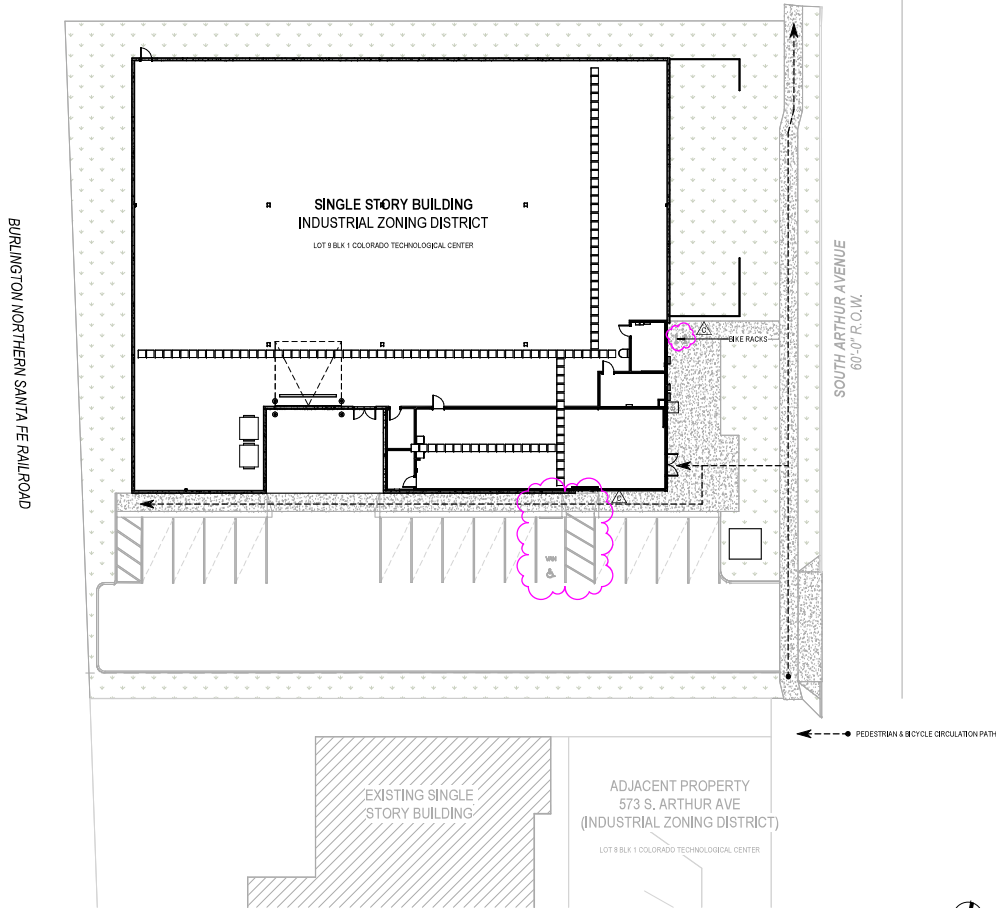
SITE PLAN

RED GOLD BOTTLING CORPORATION PLANNED
UNIT DEVELOPMENT, 1ST AMENDMENT

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING,
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO,
CASE # PUD-000519-2024

ADJACENT PROPERTY
481 S. ARTHUR AVE
(INDUSTRIAL ZONING DISTRICT)

LOT 10 BLK 1 COLORADO TECHNOLOGICAL CENTER



1 ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"

CURRENT SUBMISSION: PUD AMENDMENT RESUB. #1		
#	DATE	SUBMISSION
C	10/20/24	PUD AMENDMENT RESUB. #1

BECK ARCHITECTURE, LLC
1001 17TH STREET
SUITE PL 100
DENVER, CO 80202
PH: (303) 486-5965
WWW.BECKGROUP.COM

BECK

PEDESTRIAN / BICYCLE
CIRCULATION PATH

3
SHEET 3 OF 12

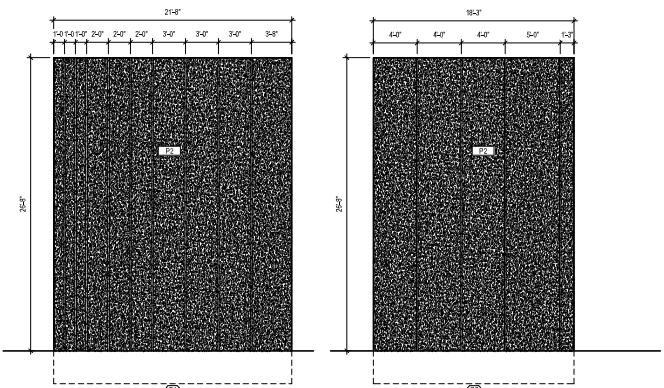
RED GOLD BOTTLING CORPORATION PLANNED
UNIT DEVELOPMENT, 1ST AMENDMENT

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING,
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.

CASE # PUD-000519-2024

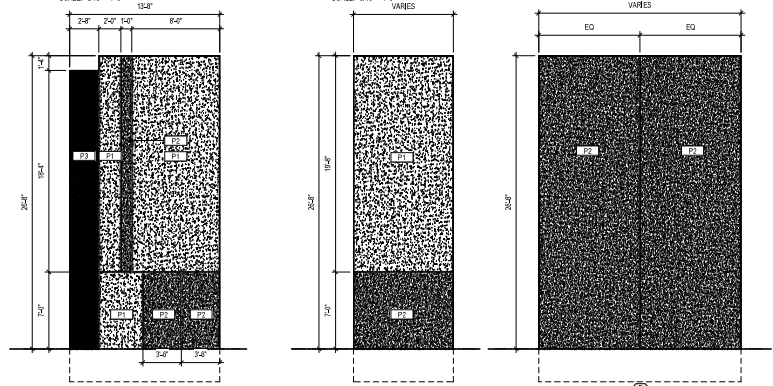
EXTERIOR MATERIAL SCHEDULE

Work	Description	Material/Manufacturer	Material/Color	Material/Finish	Material/Model
03 CONCRETE					
M1	8" TILT-UP WALL-REF. STRUCTURAL PAINT AS INDICATED ON PANEL TYPES				
08 OPENINGS					
AL1	ALUMINUM COLOR 1	MANUFACTURER	BLACK	PAINTED	TRIPAD 85T
GL1	GLAZING INSULATED 1" (GL1)	BRACON			URS 5472
09 FINISHES					
P1	PAIN	BENJAMIN MOORE	LIGHT PEXTER	-	1664
P2	PAIN	BENJAMIN MOORE	UNDER	-	AC-205
P3	PAIN	BENJAMIN MOORE	PALE NAVY	-	HC-154
P4	PAIN	BENJAMIN MOORE	BLACK	-	2134-10



10 PANEL TYPE G1
SCALE: 3/16" = 1'-0"

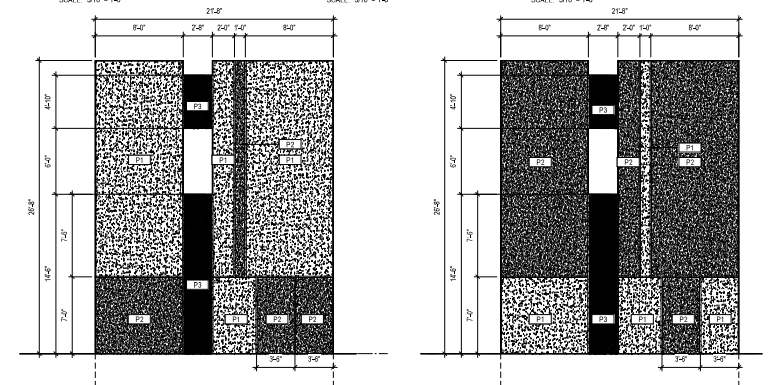
11 PANEL TYPE G2
SCALE: 3/16" = 1'-0"



7 PANEL TYPE C
SCALE: 3/16" = 1'-0"

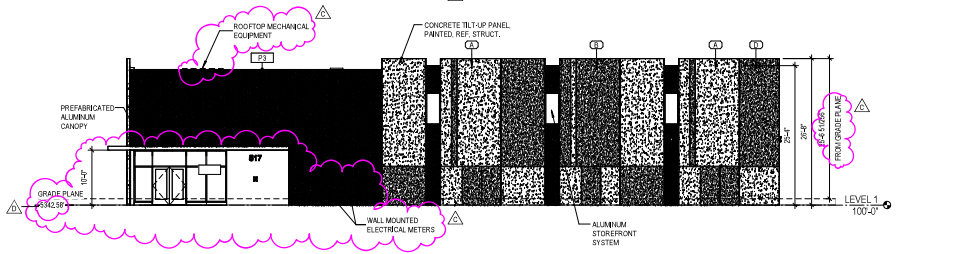
8 PANEL TYPE D
SCALE: 3/16" = 1'-0"

9 PANEL TYPE E
SCALE: 3/16" = 1'-0"

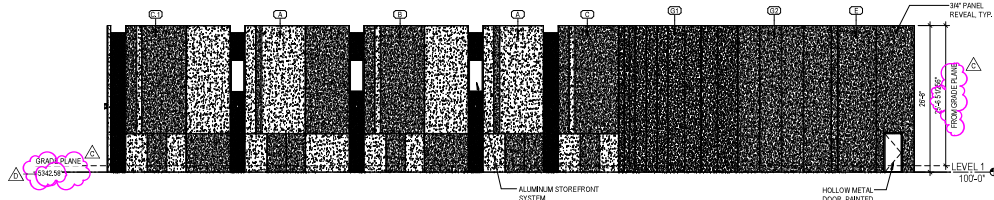


5 PANEL TYPE A
SCALE: 3/16" = 1'-0"

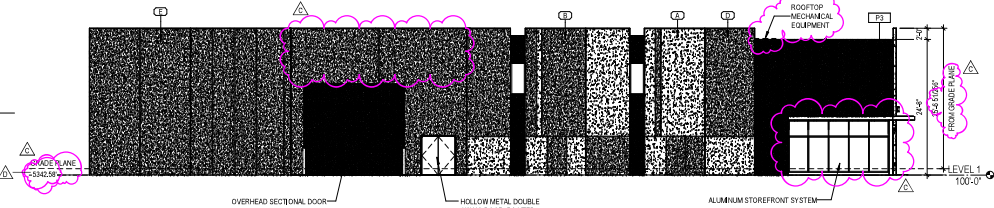
6 PANEL TYPE B
SCALE: 3/16" = 1'-0"



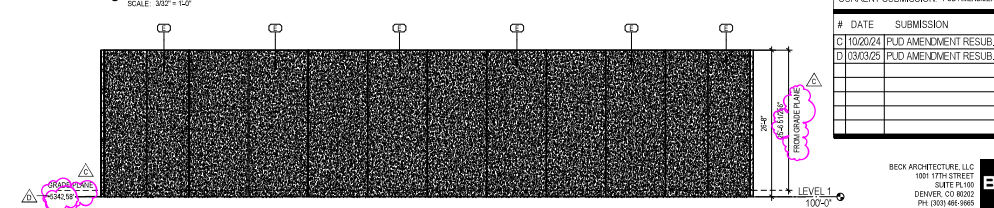
1 ELEVATION- EAST
SCALE: 3/32" = 1'-0"



2 ELEVATION- NORTH
SCALE: 3/32" = 1'-0"



3 ELEVATION- SOUTH
SCALE: 3/32" = 1'-0"



4 ELEVATION- WEST
SCALE: 3/32" = 1'-0"

CURRENT SUBMISSION: PUD AMENDMENT RESUB. #2		
#	DATE	SUBMISSION
C	10/20/24	PUD AMENDMENT RESUB. #1
D	03/03/25	PUD AMENDMENT RESUB. #2

BECK ARCHITECTURE, LLC
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SUITE PL 100
DENVER, CO 80202
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WWW.BECKGROUP.COM

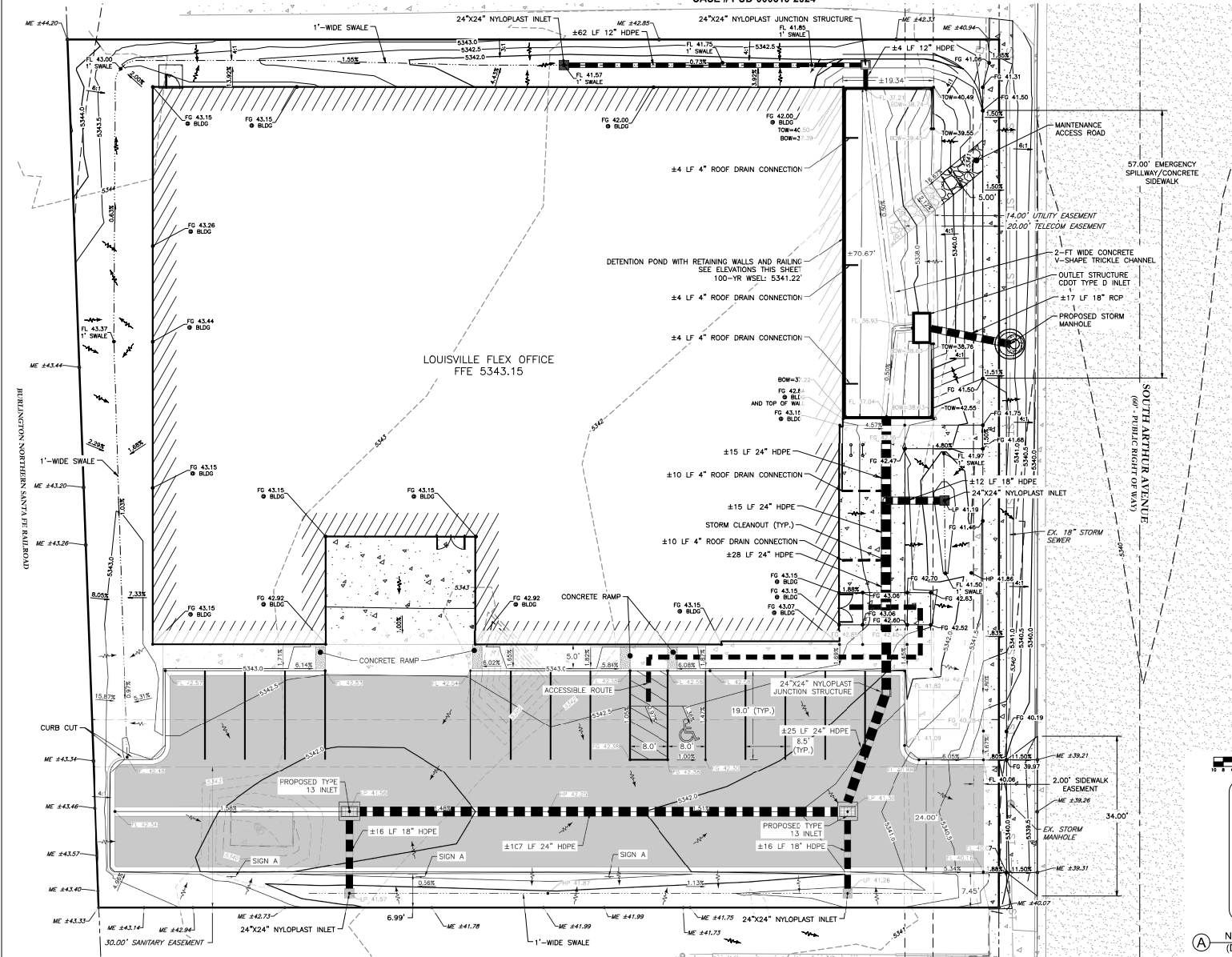


BUILDING ELEVATIONS

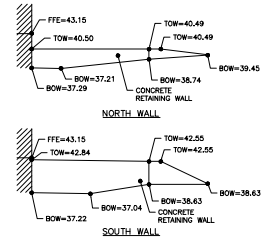
RED GOLD BOTTLING CORPORATION PLANNED UNIT DEVELOPMENT, 1ST AMENDMENT

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING,
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.

CASE # PUD-000519-2024



EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	SUBDIVISION LINES	---
---	EASEMENT LINES	---
---	CATCH CURB & GUTTER	---
---	SPILL CURB & GUTTER	---
---	CONTOURS	---
---	CONCRETE PAVEMENT	---
---	ASPHALT PAVEMENT	---
---	BUILDINGS	---
---	STORM SEWER	---
---	ACCESSIBLE ROUTE	---



WALL ELEVATIONS
SCALE: NOT TO SCALE

NOTES:
ALL PROPOSED STORM SEWER IS PRIVATELY OWNED AND MAINTAINED.

ALL SPOT GRADES ARE FLOW LINE UNLESS OTHERWISE NOTED.

GRADING ABBREVIATION:
BOW - BOTTOM OF WALL
EOC - EDGE OF CONCRETE
FG - FINISHED GRADE
FL - FLOWLINE
HP - HIGH POINT
LP - LOW POINT
ME - MATCH EXISTING
TBC - TOP BACK OF CURB
TOW - TOP OF WALL

EXISTING UTILITY LOCATIONS:
COLLINS ENGINEERS INC. ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL OR VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

CURRENT SUBMISSION: PUD AMENDMENT RESUB #1

#	DATE	SUBMISSION
1	10/20/24	PUD AMENDMENT RESUB #1
2		
3		
4		
5		
6		
7		
8		
9		
10		

BECK ARCHITECTURE, LLC
1001 17TH STREET
DENVER, CO 80202
PH: (303) 466-0601
WWW.BECKARCHITECT.COM

BECK

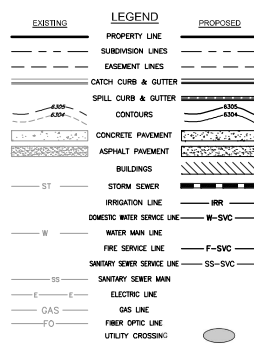
GRADING PLAN

NO PARKING FIRE LANE
(DOUBLE ARROW) SIGN
SCALE: NOT TO SCALE

5
SHEET 5 OF 12

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.

CASE # PUD-000519-2024



EXISTING UTILITY LOCATIONS:
COLLINS ENGINEERS INC. ASSUMES NO
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IT IS HOWEVER THE RESPONSIBILITY OF THE
CONTRACTOR TO FIELD VERIFY THE LOCATION OF
ALL UTILITIES PRIOR TO THE COMMENCEMENT OF
ANY CONSTRUCTION ACTIVITIES.

CURRENT SUBMISSION: PUD AMENDMENT RESUB. #1	
#	DATE SUBMISSION
C	10/20/24 PUD AMENDMENT RESUB. #1

BECK ARCHITECTURE, LLC
1001 17TH STREET
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DENVER, CO 80202
PH: (303) 466-6665
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UTILITY PLAN

6

SHEET 6 OF 12

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING,
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.

PLANTING SCHEDULE:

PLANTING LEGEND:

	DECIDUOUS SHADE TREE
	ORNAMENTAL TREE
 	EVERGREEN TREE
	DECIDUOUS SHRUB
	EVERGREEN SHRUB
	ORNAMENTAL GRASSES
	PERENNIALS

MATERIAL LEGEND:

	PROPERTY LINE
	1-1/2" RIVER ROCK MULCH
	BENCH
	WASTE RECEPTACLE
	BIKE RACK

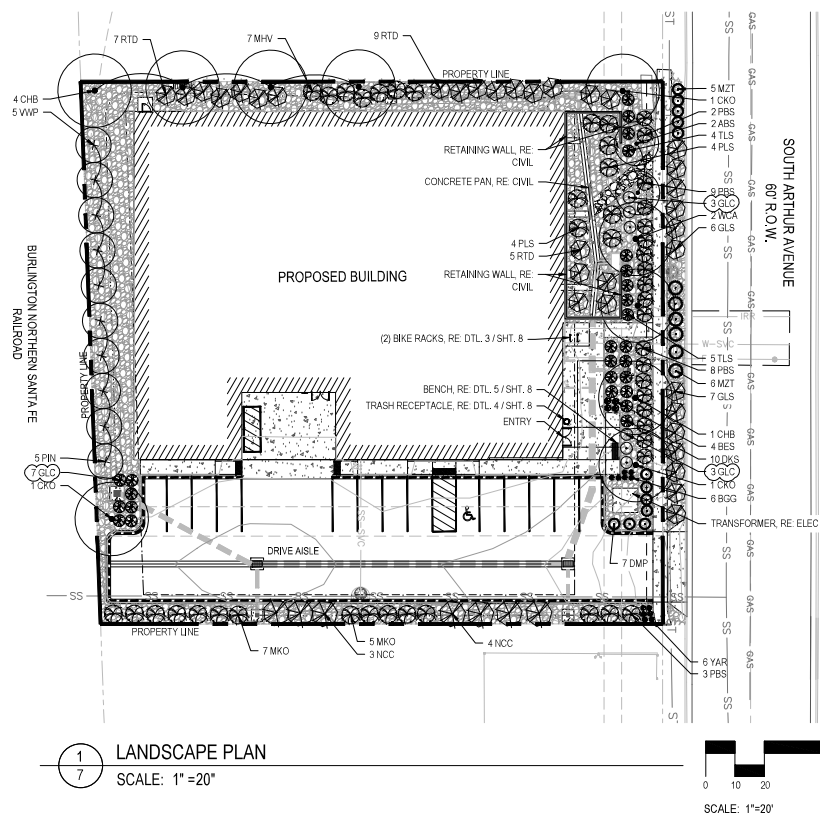
CURRENT SUBMISSION: PUD AMENDMENT RESUB.		
#	DATE	SUBMISSION
C	12/20/24	PUD AMENDMENT RESUB. #1
D	03/20/25	PUD AMENDMENT RESUB. #2

BECK ARCHITECTURE, LLC
1001 17TH STREET
SUITE PL10
DENVER, CO 80202
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WWW.BECKGROUP.COM

BEC

LANDSCAPE PLAN

7
7 OF 1



LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.

CASE # PUD-000519-2024

5 BENCH DETAIL
8 SCALE: 1/2" = 1'-0"

NOTES

BIKE RACK DETAIL

3
8

SCALE: 1/2" = 1'-0"

4 TRASH RECEPTACLE DETAIL
8 SCALE: 3/4" = 1'-0"

1 TREE PLANTING DETAIL
8 SCALE: NTS

2 SHRUB PLANTING DETAIL
8 SCALE: 1/2" = 1'-0"

CURRENT SUBMISSION: PUD AMENDMENT RESUB. #2	
#	DATE SUBMISSION
C	12/20/24 PUD AMENDMENT RESUB. #1
D	03/20/25 PUD AMENDMENT RESUB. #2

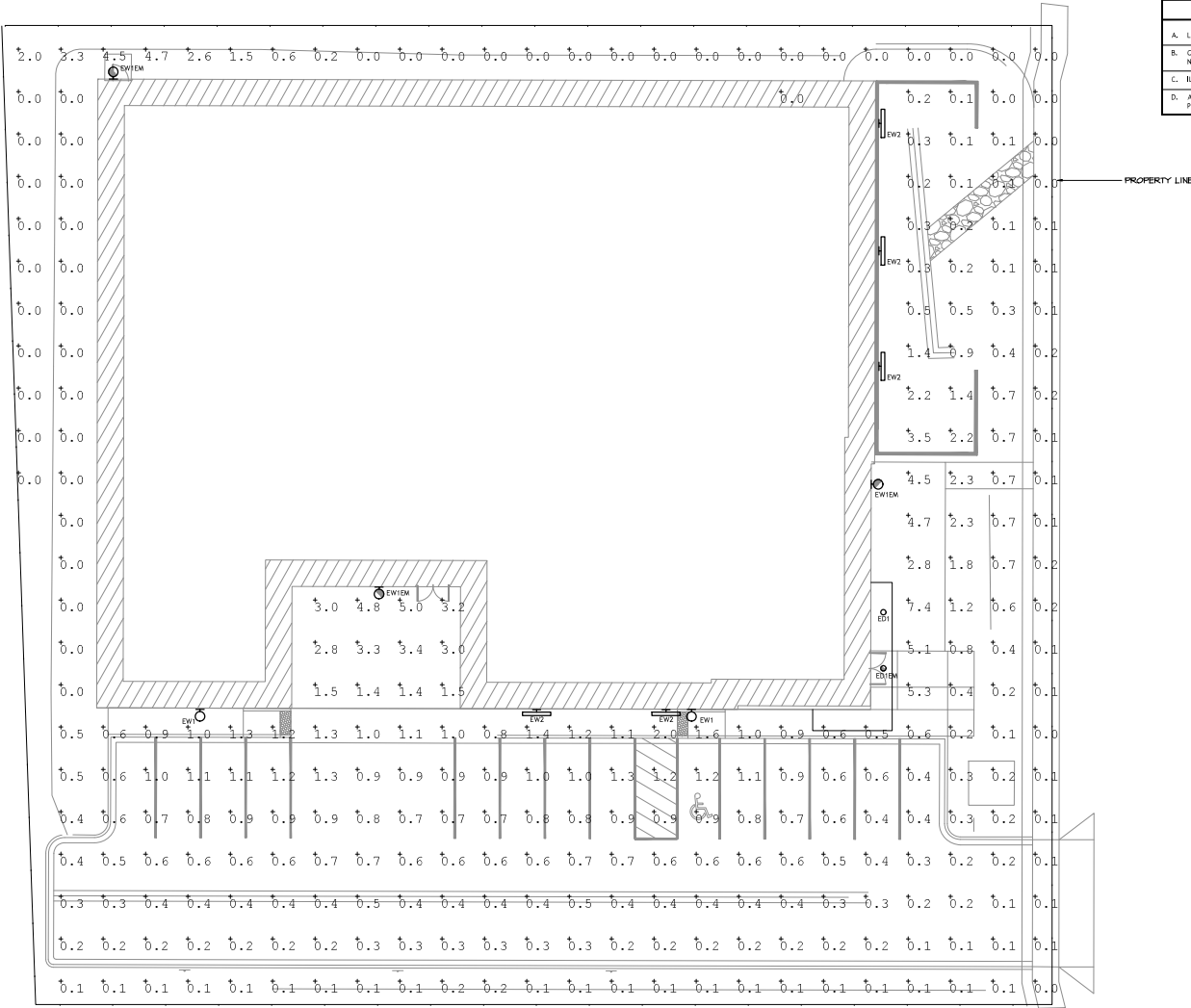
BECK

LANDSCAPE DETAILS

RED GOLD BOTTLING CORPORATION PLANNED
UNIT DEVELOPMENT, 1ST AMENDMENT

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING,
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.

CASE # PUD-000519-2024



LIGHTING GENERAL NOTES	
A.	LIGHTING CALCULATIONS WERE MADE USING A LIGHT LOSS FACTOR OF 1.0.
B.	CALCULATION POINTS WERE TAKEN AT GRADE LEVEL ON A 10'X10' GRID. CALCULATIONS DO NOT REPRESENT ANY SLOPE OF ELEVATION CHANGE.
C.	ILLUMINANCE CONTRIBUTIONS FROM STREET LIGHTING AND ADJACENT ARE NOT INCLUDED.
D.	ALL LIGHT FIXTURES WILL BE CONTROLLED BY ASTRONOMICAL TIME CLOCK AND/OR PHOTOCELL.

A1	LUMINAIRE TYPE, REFERENCING LUMINAIRE SCHEDULE, TYPICAL ALL FIXTURES, SUBSCRIPT, IF SHOWN, REFERENCES WALL SWITCH OR RELAY ZONE CONTROL.
	WALL MOUNTED LUMINAIRE
	DOWNLIGHT LUMINAIRE

1 SITE PHOTOMETRIC

1 SCALE: 3/32" = 1'0"

CURRENT SUBMISSION: PUD AMENDMENT RESUB.#1	
#	DATE
C	12/20/24
	PUD AMENDMENT RESUB.#1

BECK ARCHITECTURE, LLC
1001 17TH STREET
SUITE PL 100
DENVER, CO 80202
PH: (303) 466-9661
WWW.BECKGROUP.COM



ELECTRICAL SITE
PHOTOMETRIC

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING,
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.
CASE # PUD-000519-2024

LIGHTING FIXTURE SCHEDULE												
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	LAMP QTY	WATT TYPE	DELIVERED LUMENS	CCT	MOUNTING LOCATION	INFORMATION BOF/RFD/OFH	FIXTURE FINISH	NOTES
EDI	SURFACE MOUNTED 4" DOWNLIGHT WITH SURFACE CONDUIT BOX TRIM	LIGMAN	UE-14VC0B-W-V05-01-12027V-SCBT	277	1	14 LED	1,618	3000 K	SURFACE GANTRY	9'1" OFH	BLACK	
EDIEM	SURFACE MOUNTED 4" DOWNLIGHT WITH SURFACE CONDUIT BOX TRIM CONNECTED TO EMERGENCY INVERTER	LIGMAN	UE-14VC0B-W-V05-01-12027V-SCBT	277	1	14 LED	1,618	3000 K	SURFACE GANTRY	9'1" OFH	BLACK	
EW1	WALL MOUNTED AREA LIGHT WITH FORWARD THROW	LITHONIA	VIDGE2-LEC-P3-30K-60CR-VF-MVOLT-SRM-DBLXD	277	1	23 LED	3,015	3000 K	SURFACE WALL	20'-0" OFH	WHITE	
EW1BM	WALL MOUNTED AREA LIGHT WITH FORWARD THROW EMERGENCY BATTERY BACKUP	LITHONIA	VIDGE2-LEC-P3-30K-60CR-VF-MVOLT-SRM-E10WH-DBLXD	277	1	23 LED	3,015	3000 K	SURFACE WALL	10'0" OFH	WHITE	
EW2	SURFACE MOUNTED WALL WASHER, AIMED TOWARDS BUILDING TO LIGHT BUILDING SLOTS. WEI RATED.	WE-IEF	187-0488-004	277	1	24 LED	2,880	3000 K	SURFACE WALL	2'-0" OFH	WHITE	
ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT												
NOTES: ARCHITECT SHALL CONFIRM FIXTURE FINISH												

WDGE2 LED

Architectural Wall Sconce

Visual Comfort Opto

Color
None

Finish
None

D2

H

D1

Specifications

Depth (D1):	7"		
Depth (D2):	1.5"		
Height:	6"		
Width:	11.5"		
Weight (including optional):	13.5 lbs		

WDGE LED Family Overview

Sconce	Style	Standard LED Efficacy (lm/W)	cUL ENEC 2017	Sensor	Approved Sconce Models (Watts)									
					P3	P1	P2	P3	P4	P5	P6	P7	P8	P9
WDGE110	Linear	4W	100W	Standard/NoSensor	720	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200
WDGE120	Round/Linear	10W	100W	Standard/NoSensor	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200
WDGE130	Recessed/Recessed	10W	100W	Standard/NoSensor	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200	1,200
WDGE140	Recessed/Recessed	11W	100W	Standard/NoSensor	4,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000	10,000
WDGE150	Recessed/Recessed	11W	100W	Standard/NoSensor	12,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000	50,000

Ordering Information

EXAMPLE: WDGE LED P3 40K 80CRI VF MVOLT 5IM D0B0

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE110	P1	FSM	27K	720LM	80CRI	5V
	P2	FSM	40K	720LM	80CRI	5V
	P3	FSM	50K	720LM	80CRI	5V
	P4	FSM	50K	720LM	80CRI	5V
WDGE120	P1	FSM	27K	1,200LM	80CRI	5V
	P2	FSM	40K	1,200LM	80CRI	5V
	P3	FSM	50K	1,200LM	80CRI	5V
	P4	FSM	50K	1,200LM	80CRI	5V
WDGE130	P1	FSM	27K	1,200LM	80CRI	5V
	P2	FSM	40K	1,200LM	80CRI	5V
	P3	FSM	50K	1,200LM	80CRI	5V
	P4	FSM	50K	1,200LM	80CRI	5V
WDGE140	P1	FSM	27K	4,000LM	80CRI	5V
	P2	FSM	40K	4,000LM	80CRI	5V
	P3	FSM	50K	4,000LM	80CRI	5V
	P4	FSM	50K	4,000LM	80CRI	5V
WDGE150	P1	FSM	27K	12,000LM	80CRI	5V
	P2	FSM	40K	12,000LM	80CRI	5V
	P3	FSM	50K	12,000LM	80CRI	5V
	P4	FSM	50K	12,000LM	80CRI	5V

Options

Option	Description	Standard Sensor/Control	Dimmer
ED00	Emergency battery backup, Comfirmed A-UL 26	Standard Sensor/Control	Standard Sensor/Control
ED05	Emergency battery backup, Comfirmed A-UL 26	Standard Sensor/Control	Standard Sensor/Control
ED10	Emergency battery backup, Comfirmed A-UL 26	Standard Sensor/Control	Standard Sensor/Control
ED15	Emergency battery backup, Comfirmed A-UL 26	Standard Sensor/Control	Standard Sensor/Control
ED20	Emergency battery backup, Comfirmed A-UL 26	Standard Sensor/Control	Standard Sensor/Control
ED25	Emergency battery backup, Comfirmed A-UL 26	Standard Sensor/Control	Standard Sensor/Control
ED30	Emergency battery backup, Comfirmed A-UL 26	Standard Sensor/Control	Standard Sensor/Control
ED35	Emergency battery backup, Comfirmed A-UL 26	Standard Sensor/Control	Standard Sensor/Control
ED40	Emergency battery backup, Comfirmed A-UL 26	Standard Sensor/Control	Standard Sensor/Control
ED45	Emergency battery backup, Comfirmed A-UL 26	Standard Sensor/Control	Standard Sensor/Control
ED50	Emergency battery backup, Comfirmed A-UL 26	Standard Sensor/Control	Standard Sensor/Control
ED55	Emergency battery backup, Comfirmed A-UL 26	Standard Sensor/Control	Standard

[illegible]

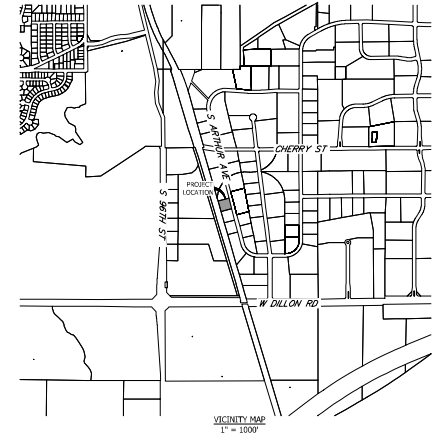
CURRENT SUBMISSION: PUD AMENDMENT RESUB. #1	
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C	12/20/24 PUD AMENDMENT RESUB. #1

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BECK

IMPROVEMENT SURVEY PLAT

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING (517 SOUTH ARTHUR AVENUE)
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



LEGAL DESCRIPTION

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.

GENERAL NOTES

1. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON. (COLORADO REVISED STATUTES TITLE 13, ARTICLE 80, SECTION 105 (C.R.S. § 13-806105))
2. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY R&R ENGINEERS-SURVEYORS TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. EASEMENT RESEARCH AND OWNERSHIP INFORMATION WERE PROVIDED BY CLIENT IN THE TITLE COMMITMENT OR TITLE REPORT REFERENCED HEREON.
3. UTILITY INFORMATION WAS OBTAINED FROM VISIBLE FIELD OBSERVATION AND UTILITY LOCATE SERVICES PROVIDED BY TOM RICHARDSON, LLC. THE LOCATION OF UNDERGROUND UTILITIES ARE SHOWN BASED ON VISIBLE ABOVE GROUND EVIDENCE ONLY AND NO RESPONSIBILITY IS ACCEPTED FOR THEIR ACCURACY. THE LOCATIONS OF UNDERGROUND UTILITIES MUST BE FIELD VERIFIED PRIOR TO ANY DIGGING ON OR ADJACENT TO THE SUBJECT PROPERTY. UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987
4. BASIS OF BEARINGS (ASSUMED): BEARINGS ARE BASED ON THE NORTH LINE OF SAID LOT 9 HAVING AN ASSUMED BEARING OF NORTH 79° 29' 16" EAST, SAID LINE MONUMENTED AT EACH END AS SHOWN HEREON.
5. BENCHMARK: NGS DESIGNATION Q 413, A STAINLESS STEEL ROD IN A MONUMENT BOX LOCATED NORTH OF DILLON ROAD AND EAST OF S. DILLON ST. ELEVATION = 5206.05 (NAVD83)
6. UNITS SHOWN ARE U.S. SURVEY FEET.
7. DATE OF FIELDWORK: 04/08/2024.

SURVEYOR'S CERTIFICATION

I, BASIL MICAH HANSON, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, HAVE AFFIRMED MY STAMP AND SIGNATURE REPRESENTING THAT THE SURVEYING SERVICES ADDRESSED HEREON HAVE BEEN PERFORMED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND ARE BASED UPON THE PROFESSIONAL SURVEYOR'S KNOWLEDGE, INFORMATION, BELIEF AND IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE.



BASIL MICAH HANSON, P.L.S.,
COLORADO REG. NO. 15539
FOR AND ON BEHALF OF
R&R ENGINEERS-SURVEYORS, INC.

THE WORD "CERTIFICATION" AND/OR "CERTIFY" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

LEGEND

(M)	MEASURED	(FB)	FIBER OPTIC BOX (ON CONCRETE PAD)
(C)	CALCULATED	(FOP)	FIBER OPTIC PEDESTAL
(R)	RECORD	(B)	BOLLARD, CONCRETE OR STEEL
---	CURB AND GUTTER	(E)	ELECTRIC MANHOLE
---	MAJOR CONTOUR	(T)	TRANSFORMER BOX (ON CONCRETE PAD)
---	MINOR CONTOUR	(SD)	STORM DRAIN MANHOLE
---	EXISTING BUILDING EDGE	(SS)	UNDERGROUND SANITARY SEWER LINE
---	ASPHALT SURFACE	(SW)	UNDERGROUND STORM DRAIN LINE
---	CONCRETE SURFACE	(WS)	SANITARY SEWER MANHOLE
---	SURVEYED PROPERTY BOUNDARY LINE	(WL)	UNDERGROUND WATER LINE
---	PLATTED LOT LINE	(DI)	DUCTILE IRON PIPE
---	UNDERGROUND FIBER OPTIC LINE, AS MARKED	(FH)	FIRE HYDRANT
---	SIGN, SINGLE POLE		
---	UNDERGROUND ELECTRIC		

R&R ENGINEERS-SURVEYORS, INC. 1635 W. 13TH AVENUE, SUITE 310 DENVER, COLORADO 80204 303-733-6730 www.rrengineers.com	
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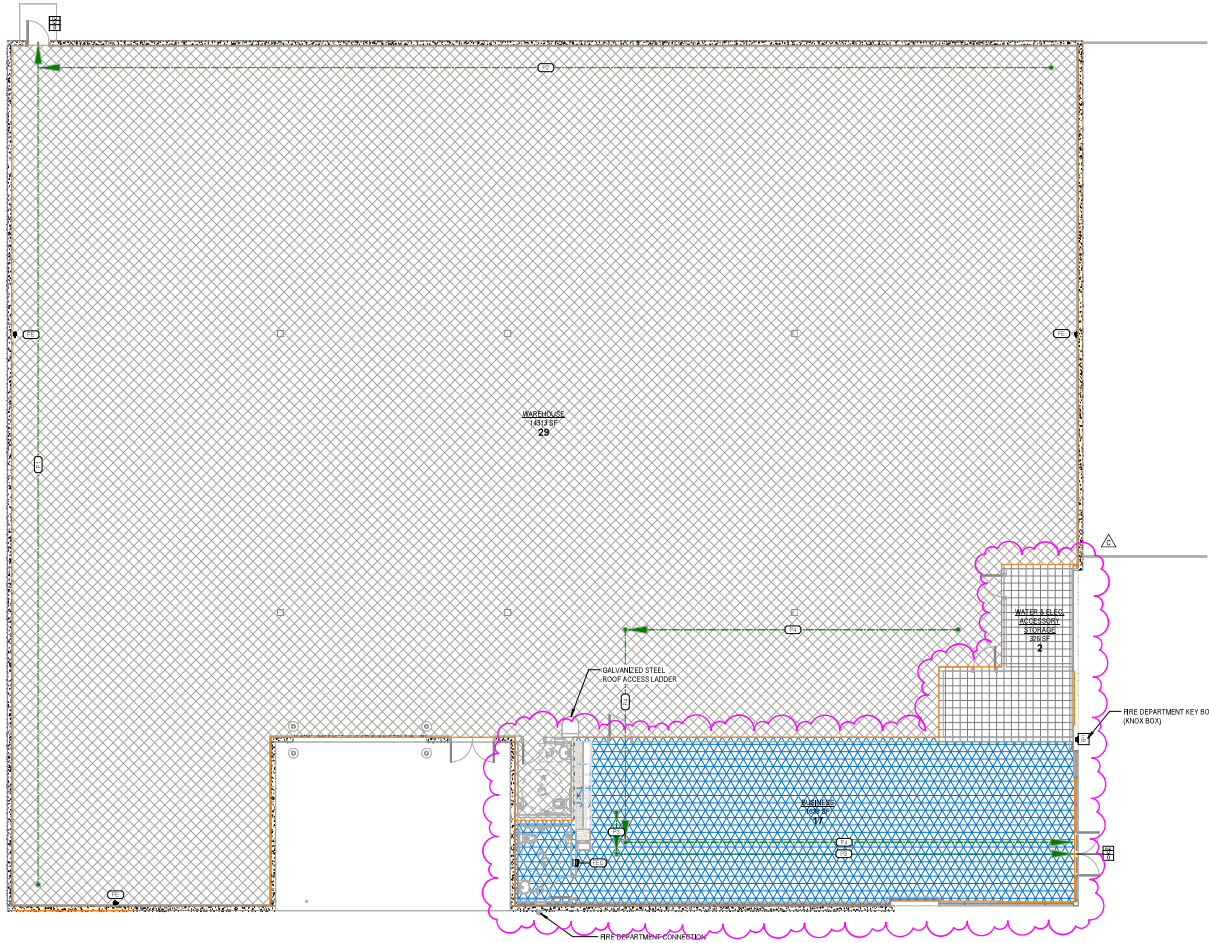
IMPROVEMENT SURVEY PLAT

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING (517 SOUTH ARTHUR AVENUE) LOCATED IN THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

Sheet 1 of 1

RED GOLD BOTTLING CORPORATION PLANNED
UNIT DEVELOPMENT, 1ST AMENDMENT

LOT 9, BLOCK 1, COLORADO TECHNOLOGICAL CENTER, FIRST FILING,
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO,
CASE # PUD-000519-2024



AREA OCCUPANCY LEGEND

Accessory Storage Areas, Mechanical equipment rooms	Business
Warehouses	

- APPLICABLE BUILDING CODES**
- BUILDING CODE: 2018 INTERNATIONAL BUILDING CODE (IBC) w/ LOCAL AMMENDMENTS
MECHANICAL CODE: 2018 INTERNATIONAL MECHANICAL CODE (IMC) w/ LOCAL AMMENDMENTS
PLUMBING CODE: 2018 INTERNATIONAL PLUMBING CODE (IPC) w/ LOCAL AMMENDMENTS
ELECTRIC CODE: 2023 NATIONAL ELECTRIC CODE (NEC) w/ LOCAL AMMENDMENTS
FIRE CODE: 2018 INTERNATIONAL FIRE CODE (IFC) w/ LOCAL AMMENDMENTS
ENERGY CODE: 2018 INTERNATIONAL ENERGY CONSERVATION CODE w/ LOCAL AMMENDMENTS
FUEL GAS CODE: 2018 INTERNATIONAL FUEL GAS CODE (IFGC) w/ LOCAL AMMENDMENTS
LOCAL CODE: LOUISVILLE MUNICIPAL CODE CHAPTER 15- BUILDINGS AND CONSTRUCTION
OTHER CODE(S): 1997 UNIFORM CODE FOR THE ABATEMENT OF DANGEROUS BUILDING CODE

CODE COMPLIANCE GRAPHICS

- EXISTING PARTITION TO REMAIN
- PARTITION
- SMOKE PARTITION
- 1 HR BARRIER
- 1 HR / SMOKE BARRIER
- 2 HR BARRIER
- 2 HR / SMOKE BARRIER
- 3 HR BARRIER
- 3 HR / SMOKE BARRIER
- EXIT SIGN TWO SIDED DIRECTIONAL TWO WAY
- EXIT SIGN ONE SIDED DIRECTIONAL
- EXIT SIGN ONE SIDED
- PROVIDED EGRESS WIDTH
- REQUIRED EGRESS WIDTH
- DOOR RATING (TAG USED ON NON-EGRESS DOORS)
- FIRE EXTINGUISHER ON HOOKS
- FIRE EXTINGUISHER CABINET - SEMI RECESSED
- COMMON PATH TRAVEL DISTANCE PATH NUMBER
- EXIT TRAVEL DISTANCE PATH NUMBER
- DEAD END DISTANCE PATH NUMBER
- TRAVEL DISTANCE TO NEAREST CARE SUITE PATH NUMBER
- TRAVEL DISTANCE TO NEAREST SMOKE COMPARTMENT PATH NUMBER
- TRAVEL DISTANCES TOTALS SHOWN ON SCHEDULE

TRAVEL DISTANCE PATHS		
PATH	LENGTH	IBC MAX TRAVEL DISTANCE
P1	115'-0"	200'-0" (S-1 PER TABLE BC 1007.2)
P2	108'-0"	200'-0" (S-1 PER TABLE BC 1007.2)
P3	66'-0"	200'-0" (S-1 PER TABLE BC 1007.2)
P4	139'-0"	200'-0" (S-1 PER TABLE BC 1007.2)

BUILDING OCCUPANT LOADS					
Area Information		Area	Area Per Occupant	Percentage	Seating Occupancy
Area Occupancy Key	Area				Occupancy Calculated Rounded
LEVEL 1					
Accessory Storage Areas, Mechanical equipment rooms	128 SF	300 SF	2%		2
Business	6,58 SF	100 SF	10%		11
Warehouses	14,111 SF	500 SF	88%		29
	16,277 SF		100%		46

OCCUPANCY TYPE & ALLOWABLE AREA/HEIGHT

CONSTRUCTION TYPE: TYPE IIB
PRIMARY BUILDING OCCUPANCY: S-1 - STORAGE/WAREHOUSE
SECONDARY BUILDING OCCUPANCIES: B - BUSINESS
MIXED USE SEPARATION: ACCESSORY OCCUPANCIES - NO
NON-SEPARATED OCCUPANCIES - YES
SEPARATED OCCUPANCIES (SEE TABLE) - NO
SPECIAL PROVISIONS (PER IBC 510) - NO

ALLOWABLE BUILDING AREA	
LEVEL 1	
70,000 SF PER LEVEL	16,678 SF PER LEVEL
ALLOWABLE BUILDING HEIGHT	
BUILDING HEIGHT (IBC TABLE 504.2)	75'-0"
4 STORIES	1 STORY

CURRENT SUBMISSION: PUD AMENDMENT RESUB. #1		
#	DATE	SUBMISSION
C	10/20/24	PUD AMENDMENT RESUB. #1

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FIRE AND LIFE SAFETY PLAN

