

ITEM: Case No. PUD-000518-2024

PLANNER: Emily Cline-Gibson, Planner II

APPLICANT: Mark Blaser, Boulder Associates Inc.

OWNER: Advent Health Rocky Mountain Region

LOCATION: 100 Health Park Drive

REQUEST: Approval of Resolution 7, Series 2025, recommending approval of request for a Planned Unit Development (PUD) Amendment to replace existing freestanding signs and add a new wall sign on the hospital campus.

VICINITY MAP:



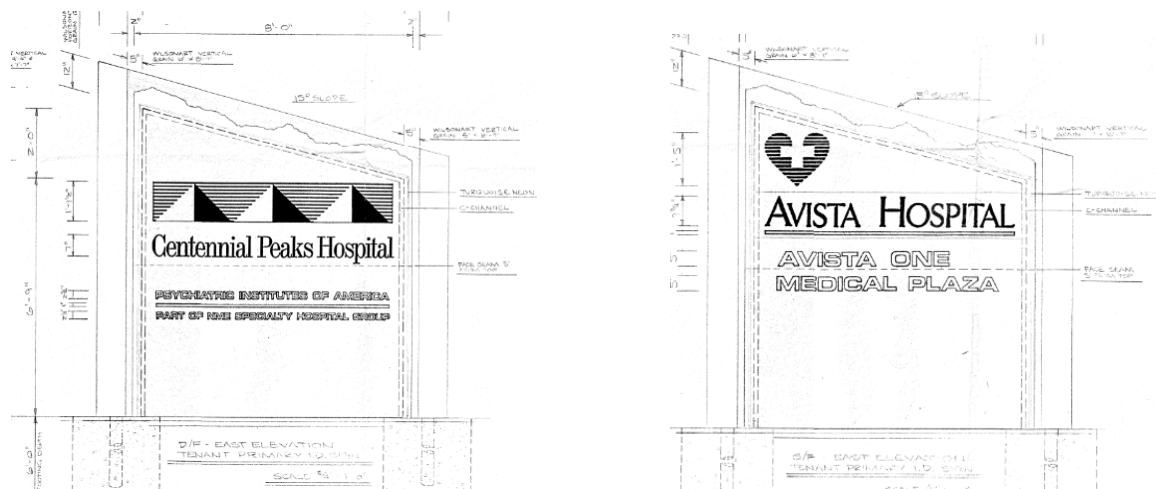
SUMMARY:

The applicant, Mark Blaser, Boulder Associates Inc., is requesting approval of a Planned Unit Development (PUD) Amendment to allow for an updated sign package on Lots 2-4 of the Advent Health Hospital property. The proposed sign package includes the replacement of nine existing freestanding signs, the removal of one freestanding sign, the relocation of one freestanding sign, and the addition of one wall sign. Four wall signs are proposed to remain unchanged. The applicant is also requesting five waivers for the signage.

BACKGROUND:

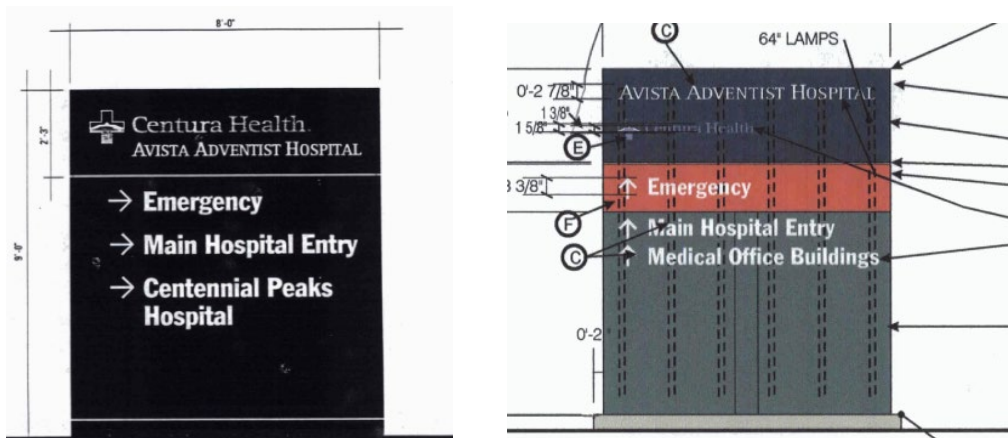
The property is zoned Planned Community Commercial (P-C) and is subject to the [Avista Adventist Hospital General Development Plan](#) (GDP), which outlines specific use patterns. Signage is evaluated against the [City of Louisville Sign Code](#) ("Sign Code") and all other site design elements are subject to the [Commercial Development Design Standards and Guidelines](#) (CDDSG).

The Centennial Park Hospital PUD was approved in 1989 and established the development patterns for Lot 2 of the subject property. The PUD has undergone multiple amendments, including a master sign plan that was established in 1990. The master sign plan consisted of thirteen total freestanding and wall signs, including a freestanding sign facing US Highway 36 ("US 36") that was approved for installation on City property. The PUD and master sign plan included signage for Centennial Peaks Hospital, now located at 2255 S 88th Street, and Avista Hospital, which is located on the subject property.



Renderings from the 1990 master sign plan.

The Avista Adventist Hospital (Formerly Centennial Health Park) PUD was approved in 1998 and established development patterns for Lots 3-4 of the subject property. In alignment with the anticipated new PUD and hospital rebranding efforts, a new sign package was administratively approved as a PUD Amendment in late 1997. The current signage located on the subject property was approved in 2002 as a permit set. Most existing freestanding signs have not moved from their originally approved location.

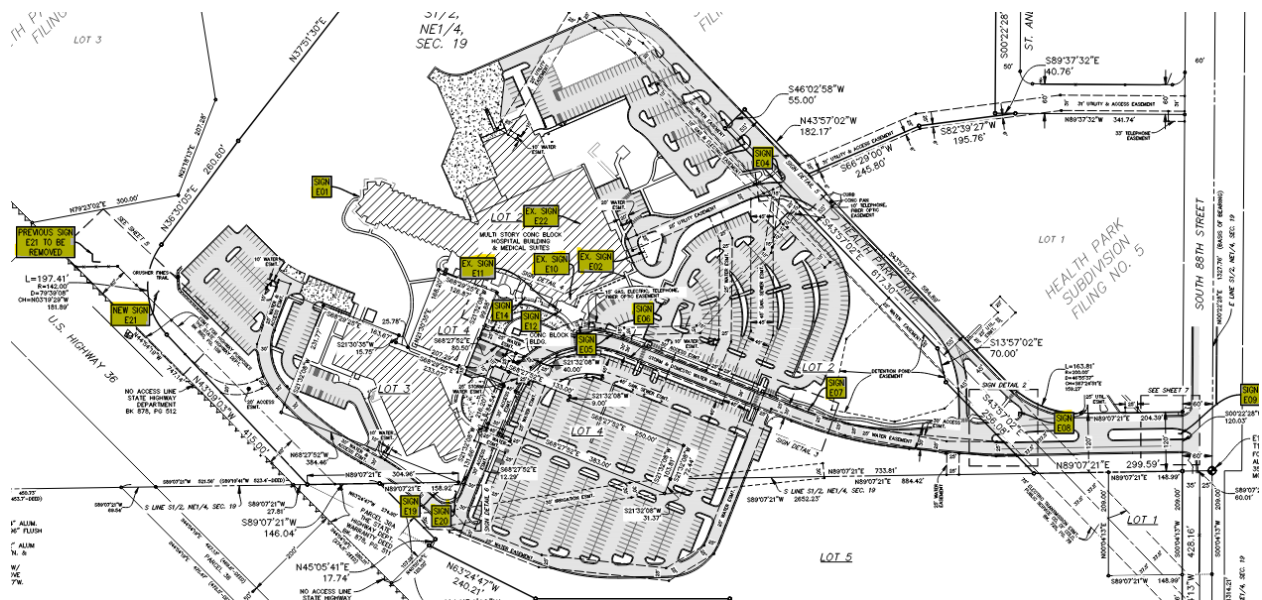


Sign renderings from the 1997 administrative PUD Amendment (left) and 2002 approved permits (right).

Ordinance No. 715, Series 1981 established sign regulations for the City of Louisville, including sign height and size requirements and total number of signs permitted on a property. Notable amendments to the sign regulations include minor changes in 1992-1994 and a major code amendment in 2006. In 2019, the City of Louisville repealed all previous sign regulations and adopted a city-wide Sign Code through Ordinance No. 1779, Series 2019. While the original hospital master sign plan and amendments provided guidance for uniform sign design and placement on the hospital campus, any new sign proposals must comply with the 2019 adopted Sign Code.

PROPOSAL:

The applicant is proposing to install one new wall sign, replace nine freestanding signs with new signs of similar size, and relocate one freestanding sign that is currently located on City property. Four existing wall signs are proposed to remain unchanged.



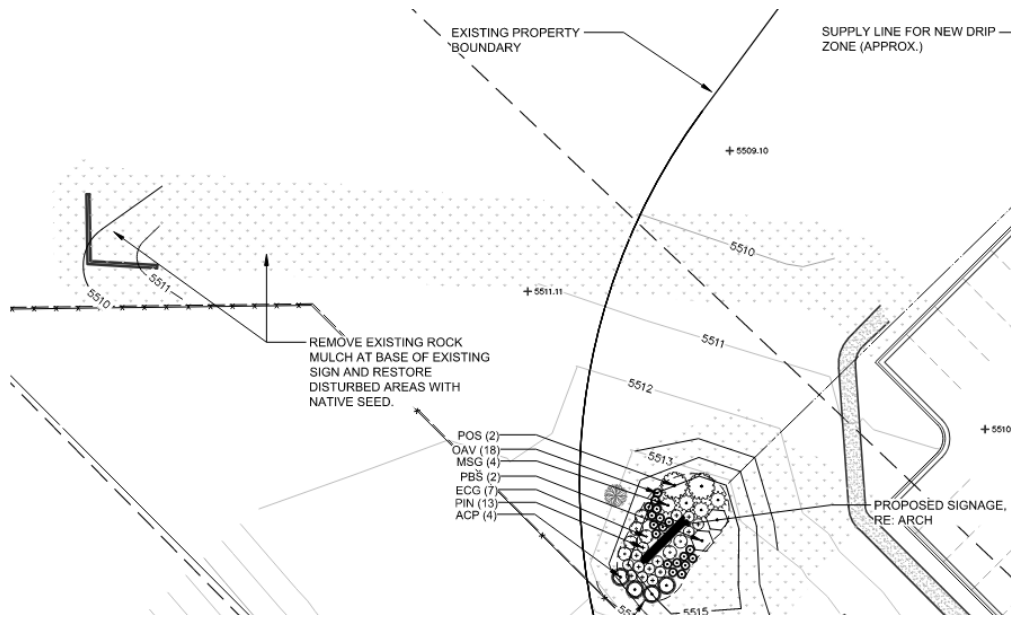
Site plan of the subject property. Highlighted areas indicate proposed and existing signs.

The nine directional freestanding signs are intended to improve wayfinding for the Advent Health Avista Hospital campus and are proposed to be in similar size and location as the existing signs. One directional sign, labeled as E06, is proposed to be removed from the parking lot area and not replaced.

The following table compares the size of the proposed and existing freestanding signs:

<i>Table 1. Proposed and Existing Sign Sizes</i>				
Sign Number	Existing Height (feet)	Proposed Height (feet)	Existing Area (square feet)	Proposed Area (square feet)
E04	4.1	4	20.6	16.5
E05	4.1	4	12.4	16.5
E07	5.7	6	27.5	24.8
E08	10	12	80	63.4
E09	14	12	112.3	63.4
E12	4.1	4	20.6	21.9
E14	4.1	4	20.6	16.5
E19	4.1	4	12.4	16.5
E20	4.1	4	12.4	16.5

One existing freestanding sign faces US 36 and is located on City property. This sign, labeled as E21, is proposed to be removed and a new sign will be placed within the subject property boundaries. The proposed sign will still be visible from US 36 at its new location. Rock and mulch landscaping that is currently located at the base of the existing sign will be removed and a native seed mix will be planted in the disturbed area. The proposed sign will include a landscape base with a mix of shrubs, perennials, and ornamental grass.



Proposed relocation of existing freestanding sign.

Additionally, a new wall sign is proposed on the patient wing and will face northwest towards the Coal Creek Golf Course and Avista Open Space. The proposed sign will be 4.4 feet tall and approximately 131.7 square feet.



Proposed wall sign.

ANALYSIS:

Section 2.3 of the Sign Code states that any increase in the maximum number of signs for a property shall follow the PUD approval process. In addition, the applicant is requesting five Sign Code waivers to maintain uniformity with the previously approved master sign package. Staff analysis includes a review of the Sign Code followed by the waiver criteria. The PUD review criteria are included as an appendix.

Freestanding Signs

Directional signs are exempt from permit requirements if they do not exceed five square feet, as outlined in Section 2.2. of the Sign Code. Since all proposed directional signs are larger than five square feet, they must be considered freestanding signs. Signs E8 and E9 are located at primary frontages and are primary signs. The remaining freestanding signs are secondary signs.

Aside from the requested waivers, which include relief from the maximum allowed number of freestanding signs and deviation from base and border requirements, all proposed signs meet the commercial criteria for freestanding signs.

4.10.b FREESTANDING SIGNS in COMMERCIAL AREAS, cont.

Standard	Commercial Single Tenant Site	Commercial Multi-Tenant Site*	Office Single Tenant Site	Office Multi-Tenant Site
Permitted	Yes	Yes	Yes	Yes
Permit Req'd	Yes	Yes	Yes	Yes
Max. Number	1 per primary frontage, 1 per secondary frontage, not to exceed 2 signs	1 per primary frontage, 1 per secondary frontage, not to exceed 4 signs	1 per primary frontage, 1 per secondary frontage, not to exceed 2 signs	1 per primary frontage, 1 per secondary frontage, not to exceed 3 signs
Max. Area, Primary	48 sf	60 sf - less than 60,000 sf of floor area 96 sf - more than 60,000 sf of floor area	40 sf	48 sf - less than 60,000 sf of floor area 60 sf - more than 60,000 sf of floor area
Max. Area, Secondary	24 sf	32 sf	16 sf	24 sf
Max. Height, Primary	8 ft	12 ft	6 ft	8 ft
Max. Height, Secondary	5 ft	6 ft	5 ft	6 ft
Illumination	Externally, internally or halo lit	Externally, internally or halo lit	Externally, internally or halo lit	Externally, internally or halo lit
Min. Setback	10 ft	10 ft	10 ft	10 ft

Freestanding sign requirements from the Sign Code.

Wall Sign

Section 4.11.b of the Sign Code outlines criteria for wall signs in commercial areas. Included in this section is an allowance for properties adjacent to US 36 to have additional wall signs beyond the maximum number permitted. The additional wall signs may be up to 50% larger in area and up to 100% taller than the maximum permitted.

One waiver request seeks to apply the size allowances granted to signs facing US 36 to the proposed wall sign. Although the sign will not directly face US 36, it may be visible

from the highway at a distance. The proposed sign exceeds the standard height and area limits established by the Sign Code but would conform to the maximum allowances permitted for signage oriented towards US 36.

Relocated Sign

The relocated sign, labeled as E21, is proposed to be set back approximately 12 feet from the property line. A 446-square-foot landscaped area will be installed at the sign base, satisfying the criteria in Section 4.10.b. of the Sign Code which requires a minimum of three square feet of landscaping for every one square foot of sign area. The freestanding sign is proposed to be 10 feet tall and 139.2 square feet. Oriented towards US 36, the sign meets the size and height allowances applicable to signs visible from the highway.

Sign Waiver Compliance

Section 17.28.110 of the Louisville Municipal Code sets forth the PUD waiver process and criteria. The application includes the following waiver requests:

1. Allow the quantity of freestanding signs to exceed the number permitted in Section 4.10.b.
2. Waive the requirement of an architectural base and border from the proposed freestanding signs.
3. Waive the landscaping requirement at the base of freestanding signs.
4. Allow translucent red illuminated letters on five freestanding signs.
5. Allow the area of the wall sign to exceed the maximum area permitted.

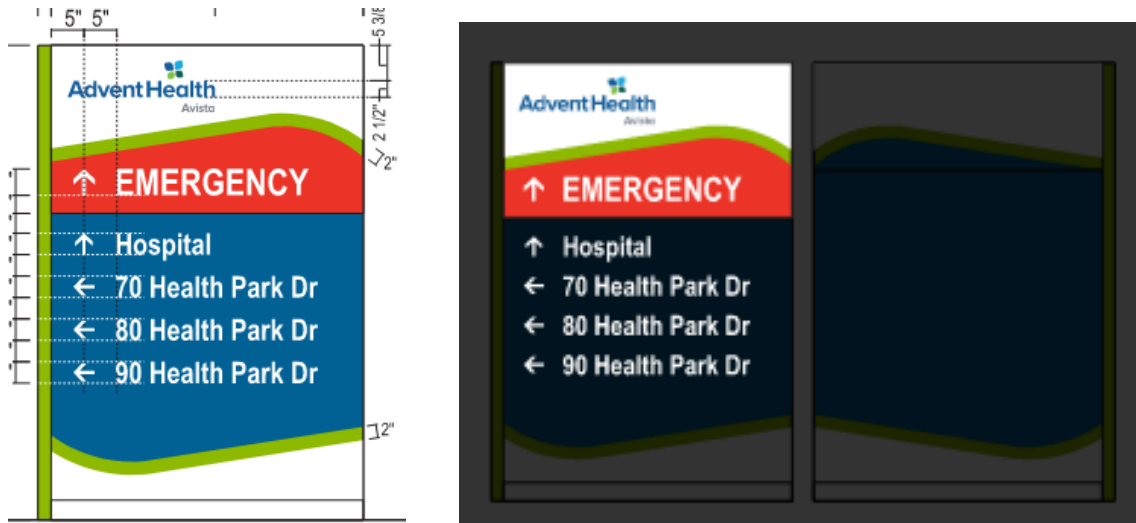
Sign waiver requests shall be reviewed against the criteria provided in Section 2.3 of the Sign Code. Staff analysis of the sign waiver request is provided below:

- a. The proposed sign(s) shall encourage excellence in design, exhibit improved creativity, promote community aesthetics, and be appropriate with the character of the area.

*The proposed freestanding signs provide clear wayfinding throughout the hospital campus. The number of freestanding signs, design, and size align closely with what has previously been approved for the property. The proposed wall sign aligns with the proposed sign package in design and placement. **Staff find the proposal meets this criterion.***

- b. The proposed sign(s) shall be compatible with the color, materials, and design of the on-site building(s).

*The proposed signs are compatible in design, color, and materials, and align with the design of the Advent Health logo. The proposed signs provide complimentary design to the hospital buildings. **Staff finds the proposal meets this criterion.***



Example of proposed colors and night illumination for freestanding signs.

- c. The proposed signs(s) shall be scaled and located in a manner that is compatible with the scale of the lot and the massing of the building(s), with consideration of legibility of copy area.

*The proposed freestanding signs are scaled in a similar manner to the existing freestanding signs which received previous approvals. The subject property is approximately 15.5 acres in size, and the number of proposed signs is distributed adequately compared to the lot size. **Staff find the proposal meets this criterion.***

- d. The proposed sign(s) are otherwise in conformance with the regulations of this chapter and applicable design guidelines respecting the size, height, location, design, and appearance of the sign(s) involved.

*The proposed signs align with all relevant design standards and are aligned with previous sign amendments for the hospital campus. **Staff find the proposal meets this criterion.***

PUBLIC COMMENTS:

No public comments have been received as of the date of this report.

STAFF RECOMMENDATION:

Staff recommend approval of Resolution 7, Series 2025, recommending approval of request for a Planned Unit Development (PUD) Amendment to replace existing freestanding signs and add a new wall sign on the hospital campus.

ATTACHMENTS:

1. Resolution 7 Series 2025
2. Application Materials
3. PUD Amendment plan sheets

APPENDIX: PUD Criteria Analysis

Criteria 17.28.120 (A)	Finding	Narrative
1. An appropriate relationship to the surrounding area;	Compliant	The proposed signs are appropriate with the surrounding area and will continue to provide clear direction to different wings of the hospital.
2. Circulation in terms of the internal street circulation system, designed for the type of traffic generated, safety, separation from living areas, convenience, access, and noise and exhaust control. Proper circulation in parking areas in terms of safety, convenience, separation and screening;	Not Applicable	The proposal does not include alterations to the existing traffic and pedestrian circulation.
3. Consideration and provision for low and moderate-income housing;	Not Applicable	The proposal does not include housing.
4. Functional open space in terms of optimum preservation of natural features, including trees and drainage areas, recreation, views, density relief and convenience of function;	Not Applicable	The proposal does not include building development or other elements that will impact the existing dedicated open space.
5. Variety in terms of housing types, densities, facilities and open space;	Not Applicable	The proposal does not include housing.
6. Privacy in terms of the needs of individuals, families and neighbors;	Not Applicable	The proposal does not include housing.
7. Pedestrian and bicycle traffic in terms of safety, separation, convenience, access points of destination and attractiveness;	Compliant	The propped signs will be located off sidewalks and outside of vision clearance areas to allow safe pedestrian access.
8. Building types in terms of appropriateness to density, site relationship and bulk;	Not Applicable	The proposal does not include new buildings.
9. Building design in terms of orientation, spacing, materials, color, texture, storage, signs and lighting;	Not Applicable	The proposal does not include new buildings.

10. Landscaping of total site in terms of purpose, such as screening, ornamental types used, and materials used, if any; and maintenance, suitability and effect on the neighborhood;	Compliant	One freestanding sign is proposed to include a landscaped base and will have a variety of shrubs and ornamental grasses. The proposed landscaping will add to overall hospital campus beautification.
11. Compliance with all applicable development design standards and guidelines and all applicable regulations pertaining to matters of state interest, as specified in <u>chapter 17.32</u> ;	Compliant	Aside from the requested waivers, the proposed PUD Amendment complies with all applicable design standards and guidelines.
12. None of the standards for annexation specified in <u>chapter 16.32</u> have been violated;	Not Applicable	No annexation is proposed.
13. Services including utilities, fire and police protection, and other such services are available or can be made available to adequately serve the development specified in the final development plan.	Compliant	Most proposed freestanding signs will be in locations where existing utility hookups are available. Sign E09 has been slightly moved from its original location to provide better utility access.

Criteria 17.28.120 (B)	Finding	Narrative
1. Development shall be in accordance with the adopted elements of the comprehensive development plan of the city, and in accordance with any adopted development design standards and guidelines.	Compliant	Aside from the requested waivers, the proposed PUD Amendment complies with all applicable design standards and guidelines.
2. No structures in a planned unit development shall encroach upon the floodplain. Existing bodies of water and existing stream courses shall not be channelized or altered in a planned unit development plan.	Compliant	The subject property is not located in a floodplain, nor are there existing bodies of water in the area.
3. No occupied structure shall be located on ground showing severe subsidence potential without adequate design and study approved specifically by the city.	Compliant	There is no signs of subsidence on the subject property.

4. The proposal should utilize and preserve existing vegetation, land forms, waterways, and historical or archeological sites in the best manner possible. Steep slopes and important natural drainage systems shall not be disrupted. How the proposal meets this provision, including an inventory of how existing vegetation is included in the proposal, shall be set forth on the landscape plan submitted to the city.	Compliant	All but one of the freestanding signs are proposed to be in the same location as existing signage. The freestanding sign that will be in a new location will not interfere with existing vegetation and natural features.
5. Visual relief and variety of visual sitings shall be located within a development in the overall site plan. Such relief shall be accomplished by building placements, shortened or interrupted street vistas, visual access to open space and other methods of design.	Not applicable	No new buildings or arrangement of major structures are proposed with this PUD Amendment.
6. Open space within the project shall be located in such a manner as to facilitate pedestrian use and to create an area that is usable and accessible to residents of surrounding developments.	Not applicable	No changes to existing open space dedications are proposed with the PUD Amendment.
7. Street design should minimize through traffic passing residential units. Suggested standards with respect to paving widths, housing setbacks and landscaping are set forth in public works standards of the city and applicable development design standards and guidelines. The system of streets, including parking lots, shall aid the order and aesthetic quality of the development.	Compliant	No changes to the existing street design is proposed. All signage will be located outside of vision clearance areas to maintain existing vehicle circulation.
8. There shall exist an internal pedestrian circulation system separate from the vehicular system such that allows access to adjacent parcels as well as to parks, open space or recreation facilities within the development. Pedestrian links to trail systems of the city shall be provided.	Compliant	No changes to the existing pedestrian circulation are proposed. All signage will be located off of sidewalks and outside of vision clearance areas to maintain existing pedestrian patterns.

9. The project and development should attempt to incorporate features which reduce the demand for water usage.	Compliant	The proposed signs will not consume more water than the existing signage.
10. Landscape plans shall attempt to reduce heating and cooling demands of buildings through the selection and placement of landscape materials, paving, vegetation, earth forms, walls, fences, or other materials.	Not applicable	The proposal does not include new buildings.
11. Proposed developments shall be buffered from collector and arterial streets. Such buffering may be accomplished by earthen berms, landscaping, leafing patterns, and other materials. Entrance islands defining traffic patterns along with landscaping shall be incorporated into entrances to developments.	Not applicable	The proposal does not include new buildings.
12. There shall be encouraged the siting of lot arrangement, building orientation and roof orientation in developments so as to obtain the maximum use of solar energy for heating.	Not applicable	The proposal does not include housing.
13. The overall PUD shall provide a variety of housing types.	Not applicable	The proposal does not include housing.
14. Neighborhoods within a PUD shall provide a range of housing size.	Not applicable	The proposal does not include housing.
15. Architectural design of buildings shall be compatible in design with the contours of the site, compatible with surrounding designs and neighborhoods, shall promote harmonious transitions and scale in character in areas of different planned uses, and shall contribute to a mix of styles within the city.	Not applicable	The proposal does not include new buildings.

**RESOLUTION NO. 7
SERIES 2025**

**A RESOLUTION RECOMMENDING APPROVAL OF A PLANNED UNIT
DEVELOPMENT AMENDMENT TO REPLACE EXISTING FREESTANDING SIGNS
AND ADD A NEW WALL SIGN TO THE HOSPITAL PROPERTY AT 100 HEALTH
PARK DRIVE.**

WHEREAS, there has been submitted to the Louisville Planning Commission an application for a planned unit development amendment to allow the replacement of existing directional signage and the installation of a new wall sign located at 100 Health Park Drive; and

WHEREAS, City staff have reviewed the information submitted and found that, with the five requested waivers, the application complies with the Louisville zoning regulations and other applicable sections of the Louisville Municipal Code; and

WHEREAS, the Planning Commission has considered the application at a duly noticed public hearing on May 8, 2025 where evidence and testimony were entered into the record.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Louisville, Colorado does hereby recommend approval of a planned unit development amendment to allow the replacement of existing freestanding signs and the addition of a new wall sign on the hospital campus at 100 Health Park Drive.

PASSED AND ADOPTED this 8th day of May, 2025.

By: _____
Steve Brauneis, Chair
Planning Commission

Attest: _____
Cullen Choi, Secretary
Planning Commission

Development Review Application Form

Please complete this form and include it with the submittal documents for your development review application. Applications will not be processed until all required information is provided to the satisfaction of the City of Louisville Planning Department.

Property Information

Common Address(es): _____

Legal Description: _____

Lot _____ Block _____ Subdivision _____

Lot Area: _____ Sq. Ft. or _____ Acres

LAND USE PROCESS (check all that apply)

- ☐ Annexation
- ☐ Concept Plan
- ☐ Easement Vacation
- ☐ Oil and Gas
- ☐ General Development Plan (GDP)
 - ☐ Amendment
 - ☐ New GDP
- ☐ Planned Unit Development (PUD)
 - ☐ Amendment
 - ☐ Preliminary
 - ☐ New PUD
- ☐ Rezoning
- ☐ Special Review Use (SRU)
 - ☐ Amendment
 - ☐ New SRU
- ☐ Subdivision
 - ☐ Final or Replat
 - ☐ Preliminary Plat
- ☐ Temporary Use Permit
- ☐ Variance
- ☐ Vested Property Right
- ☐ Wireless Facility
- ☐ Other: _____

PROJECT DESCRIPTION:

Property Owner Information

Name: _____ Entity (if applicable) _____

Address: _____

Phone: _____ Email: _____

Application Representative Information

Name: _____ Entity (if applicable) _____

Address: _____

Phone: _____ Email: _____

Certification/Signature

I certify that the information I have submitted is true and correct to the best of my knowledge and in filing the application and submittal documents, I am acting as and/or with the knowledge and consent of those persons who are owners of the subject property or are parties to this application.



Signature*

Print Name

Date

*If acting as a representative/agent of the owner, include written authorization from the owner that certifies the agent's right to submit this application

June 14, 2024



Narrative: PUD Amendment for AdventHealth Avista Hospital Signage

AdventHealth Avista Hospital is updating the signage on their campus with their updated name and branding. Many of the existing signs on the hospital campus are nonconforming with the current sign code requirements. This PUD amendment is to request waivers for the number of freestanding signs permitted and design of the replacement signs. The waiver requests are noted on the cover sheet.

The existing freestanding signs provide clear wayfinding for patients and visitors from 88th Street and Health Park Drive to the various hospital departments and two medical office buildings on the campus. They are located to provide direction near site entrances and key parts of the internal automobile circulation. The hospital and two medical office buildings are approximately 325,000 square feet of building area. The AdventHealth Avista Hospital campus is around 48 acres.

The number of existing freestanding signs exceeds the quantity permitted per the current signage code. A waiver is requested to replace majority of the existing freestanding signs in their current location with new signs that are the same or slightly smaller in size. One existing freestanding sign is no longer required and will be removed. The existing US 36 freestanding sign is currently not located within the property lines of the hospital and a new freestanding sign will be constructed on Lot 2 of the Health Park Subdivision. The PUD amendment drawings show the existing locations of freestanding signs to be replaced, removed, and the new location for new US 36 freestanding sign location. Revised grading and landscaping around the new US 36 sign are provided. The new proposed signage design is included show the existing and new signage size and design.

1426 Pearl Street, Suite 300, Boulder, Colorado 80302
O: 303.499.7795

BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

PROJECT DIRECTORY

PROJECT DESCRIPTION

EXISTING ZONING: P-C

VICINITY MAP



- ## PUD AMENDMENTS

PUD NOTES

- ## SHEET INDEX

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24

REVISIONS	DESCRIPTION	DATE
1	COMMENT RESPONSE	01/16/25
2	COMMENT RESPONSE	4/15/25

<u>CITY COUNCIL CERTIFICATE</u>		
APPROVED THIS _____ DAY OF _____, 20____ BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO.		
RESOLUTION NO. _____ SERIES _____		
_____ MAYOR	_____ CITY CLERK	_____ SEAL

SHEET TITLE

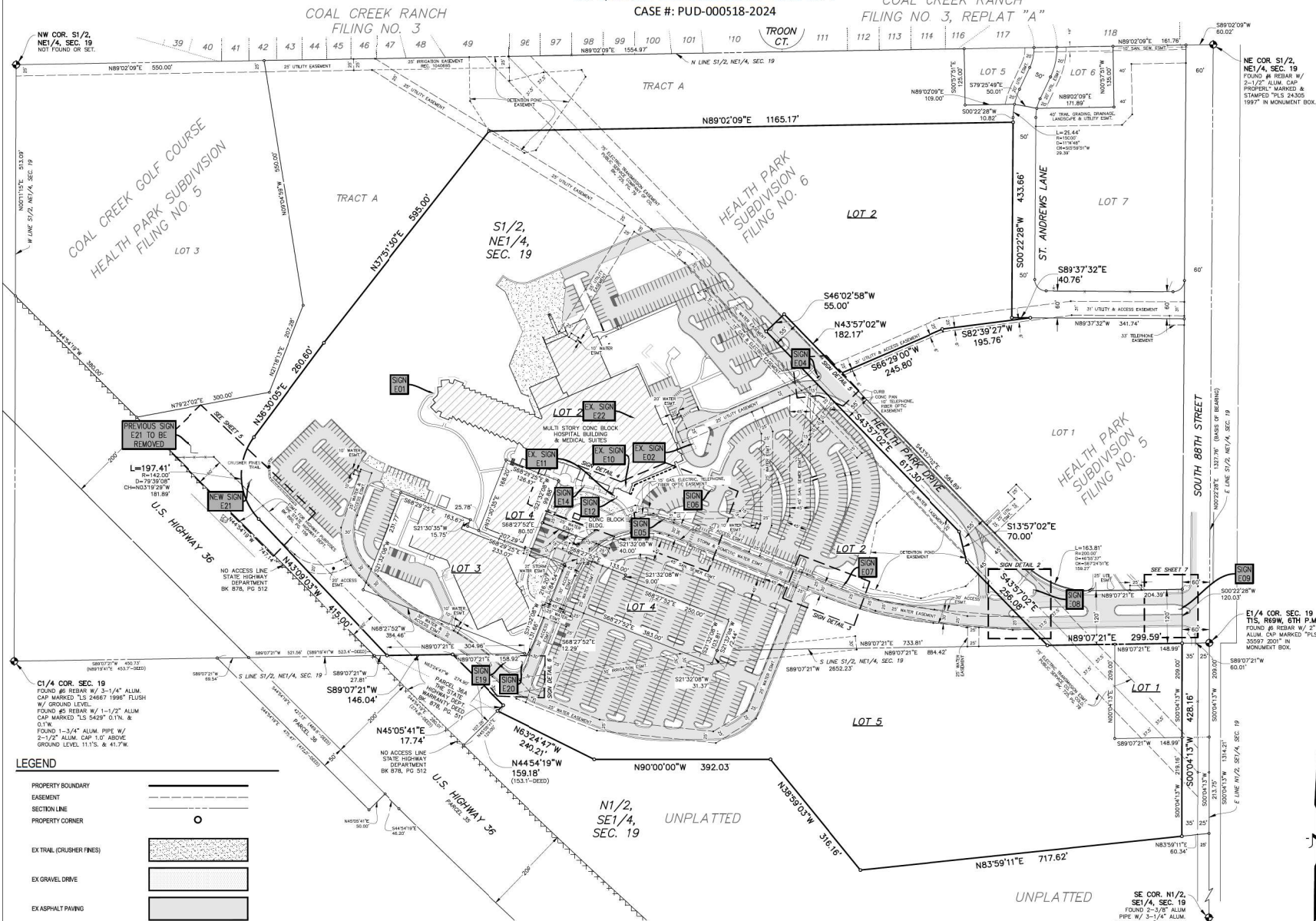
COVER SHEET

SHEET NUMBER

1
ET 1 OF 20

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

COAL CREEK RANCH
FILING NO. 3, REPLAT "A"



LEGEND

PROPERTY BOUNDARY	---
EASEMENT	---
SECTION LINE	---
PROPERTY CORNER	○
EX TRAIL (CRUSHER FINES)	▨
EX GRAVEL DRIVE	▨
EX ASPHALT PAVING	▨



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CALL 811 (911-888-8222)
THREE (3) BUSINESS DAYS
BEFORE YOU DIG
UTILITY NOTIFICATION CENTER
OF COLORADO (UNCC)
www.uncc.org



BA
BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



ENGINEERING 1: 1500 Kansas Ave., Suite 24E
Longmont, CO 80501
SURVEYING 1: P.303.682.1131
F.303.682.1149

PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24

REVISIONS	DESCRIPTION	DATE
1	COMMENT RESPONSE	01/16/25
2	COMMENT RESPONSE	4/15/25

SHEET TITLE

**OVERALL SITE
PLAN**

SHEET NUMBER

2
SHEET 2 OF 20

SCALE: 1"=100'

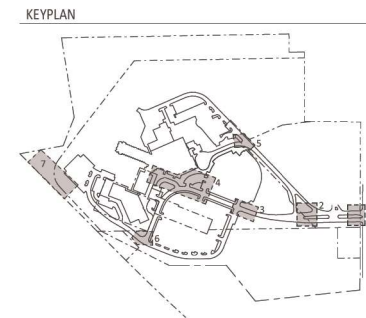
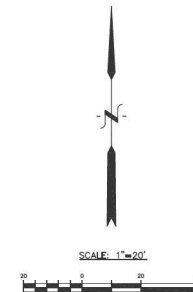


The site plan for Lot 2 shows a proposed development area bounded by several features. To the north is the 'HEAL TH PARK DRIVE' with a 'ONE WAY TRAFFIC' arrow pointing south. To the east is 'NEW TRAFFIC' with a 'ONE WAY TRAFFIC' arrow pointing east. To the south is 'ASPHALT ACCESS DRIVE' with a 'ONE WAY TRAFFIC' arrow pointing south. The lot is labeled 'LOT 2' and 'SUBDIVISION 288,08'. The plan includes various dimensions and features: a '17' CONC. SIDE 14' SPAN' bridge, a '1.2' W.B. SIDE W/ CONC. SIDE 6'0\"

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3
HEET 3 OF 20

4/7/2025
K:\ACCOUNTS\ALADVENT HEALTH\LOCATIONS\2023\COI\COI_000_Louisville_200_Antistat_Permit_PUD_Ground & Building Signs_R2



**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

REVISIONS
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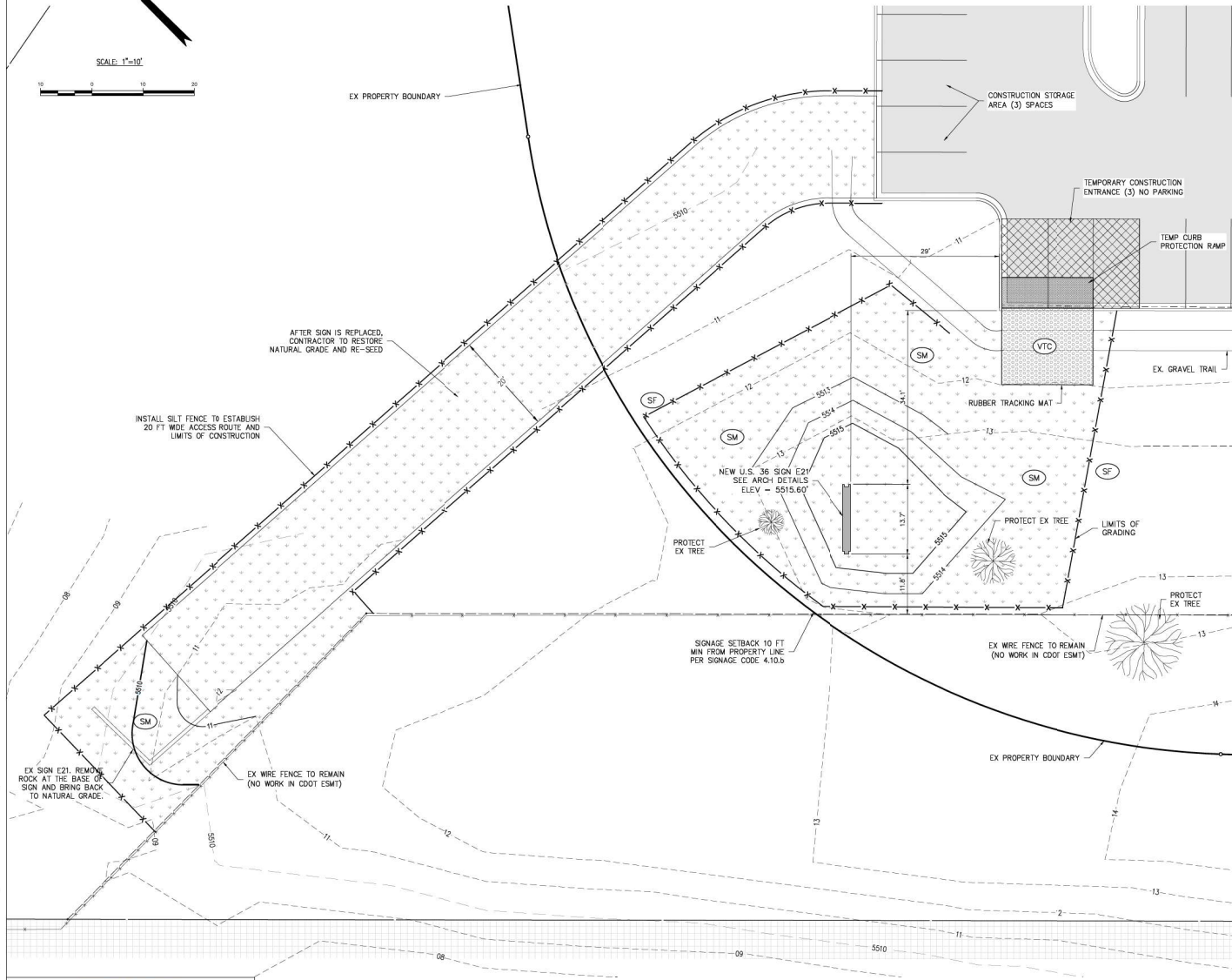
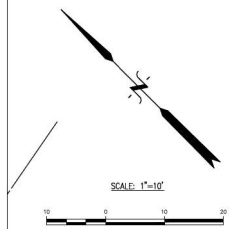
SHEET TITLE

SIGNAGE SITE PLANS

SHEET NUMBER

4
HEET 4 OF 20

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024



ABBREVIATIONS

BLDG	BUILDING
BTM	BOTTOM
CL	CENTERLINE
ESMT	EASEMENT
EX	EXISTING
FG	FINISHED GRADE
HP	HIGH POINT
INV	INVERT
LP	LOW POINT
PP	POWER POLE
RCP	REINFORCED CONCRETE PIPE
SMH	SANITARY MANHOLE
SW	SWALE
TC	TOP OF CONCRETE
TYP	TYPICAL
WP	WOOD POST

EROSION CONTROL LEGEND

	SF	SILT FENCE (INITIAL, INTERIM)
	SM	OPEN SPACE SEED MIX, MULCH (FINAL)
	VTC	VEHICLE TRACKING CONTROL MAT (INTERIM)

EROSION CONTROL NOTES

1. FINAL STABILIZATION BY SEEDING AND MULCHING OR PERMANENT LANDSCAPING. USE APPROVED OPEN SPACE SEED MIX, REF. LANDSCAPE PLANS.
2. ANY CONSTRUCTION FENCING SHALL BE REMOVED BY THE CONTRACTOR ONCE CONSTRUCTION IS COMPLETE.
3. ALL EROSION CONTROL BMP'S SHALL BE PER URBAN DRAINAGE AND FLOOD CONTROL DISTRICT, UNLESS OTHERWISE STATED.
4. ALL CONSTRUCTION ACTIVITIES AND ACCESS TO THE SITE SHALL OCCUR DURING GOOD WEATHER/DRY CONDITIONS TO MINIMIZE DAMAGE TO THE AREA.

LEGEND

PROPERTY BOUNDARY	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
PROPOSED MAJOR CONTOUR	
PROPOSED MINOR CONTOUR	
EXISTING SPOT ELEVATION	
EXISTING PROPERTY PIN	
EX TRAIL (CRUSHER FINES)	
EX GRAVEL DRIVE	
EX ASPHALT PAVING	

LEGAL DESCRIPTION

ALL OF LOTS 1, 2, 3, 4, & 5, HEALTH PARK SUBDIVISION FILING NO. 8, LOCATED IN THE S1/2 OF THE NE1/4 AND THE N1/2 OF THE SE1/4 OF SECTION 19, T15, R99W OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO, ACCORDING TO THE RECORDED PLAT THEREOF.

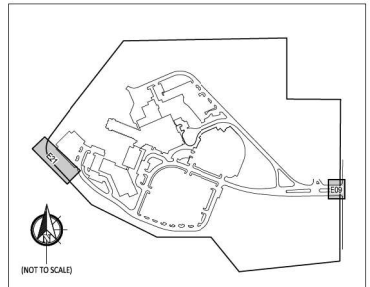
BASIS OF BEARINGS

BEARINGS SHOWN ON THE ACCOMPANYING PLAT ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE S1/2 OF THE NE1/4 OF SECTION 19, T15, R99W OF THE 6TH P.M., BEARS N69°22'28"E AS MONUMENTED.

BENCHMARK

THE PRIMARY BENCH MARK USED TO DETERMINE THE BASIS OF ELEVATIONS FOR THIS MAP IS CITY OF LOUISVILLE BENCHMARK LP 15, THE E1/4 CORNER OF SECTION 19, A 4" X 6" REBAR W/ 2" ALUM. CAP MARKED "PLS 35597.2001" IN MONUMENT BOX. NAVD 1988 ELEVATION = 5490.00 FEET.

KEY MAP



1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



ENGINEERING: 1500 Kansas Ave., Suite 240
PLANNING: Longmont, CO 80501
SURVEYING: P. 303.682.1131
F. 303.682.1149

PROJECT: P246572.00

PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE

DATE: 6/14/24

REVISIONS	DESCRIPTION	DATE
	COMMENT RESPONSE	01/16/25
	COMMENT RESPONSE	4/15/25

SHEET TITLE
**GRADING PLAN
SIGN E21**

SHEET NUMBER
5
SHEET 5 OF 20

FOR BURIED UTILITY INFORMATION
CALL 811 (911-888-8221-987)
THREE (3) BUSINESS DAYS
BEFORE YOU DIG
UTILITY NOTIFICATION CENTER
OF COLORADO (UNCC)
www.uncc.org

6/12/2024 4:39:36 AM
Avista Hospital PUD 000518-2024, PUD Amendment 000518-2024, PUD Amendment 000518-2024

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

LANDSCAPE NOTES

- ALL LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC IRRIGATION SYSTEM WITH CODE COMPLIANT BACK FLOW PREVENTION MEASURES. BEDS WILL BE WATERED VIA DRIP IRRIGATION BELOW THE MULCH SURFACE. NATIVE SEED AREAS WILL BE WATERED VIA OVERLAPPING, HEAD TO HEAD SPRAY COVERAGE. OWNER TO BE RESPONSIBLE FOR IRRIGATION MAINTENANCE.
- THIS PLAN DESCRIBES THE LANDSCAPE PORTION OF THE PROJECT ONLY. SEE OTHER SHEETS FOR SITE IMPROVEMENT INFORMATION.
- CONTRACTOR TO FIELD VERIFY ALL UTILITY LOCATIONS AND DIMENSIONS. MINOR ADJUSTMENTS TO AVOID UTILITY AND SITE CONFLICTS ARE ALLOWED. LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY NOTABLE CONFLICTS AND PROPOSED SOLUTIONS.
- EXISTING BUILDINGS, GRADING, EASEMENTS, AND UTILITIES ARE BASED ON SURVEY INFORMATION PROVIDED BY OTHERS.
- VERIFY ALL CONDITIONS AT JOB SITE AND NOTIFY LANDSCAPE ARCHITECT OF DIMENSIONAL ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE BEGINNING WORK.
- CONTOUR LINES ARE SHOWN ON LANDSCAPE PLANS FOR REFERENCE ONLY. REFERENCE CIVIL DRAWING FOR ACTUAL INFORMATION.
- OWNER TO PERFORM ONGOING MAINTENANCE CONSISTENT WITH CITY OF LOUISVILLE STANDARDS.
- PLANTING AREAS SHALL RECEIVE 4 CY SOIL AMENDMENT PER 1,000 SF. AND DECORATIVE ROCK MULCH AT 3" DEPTH OVER LANDSCAPE FABRIC. ROCK MULCH TO BE 1 1/2" MINUS BUTTER ROCK, LIGHT TAN IN COLOR.
- ALL PLANTING BEDS ADJACENT TO NATIVE SEED SHALL HAVE STEEL EDGING AS INDICATED ON PLANS.

LEGEND

- UPLAND SEED
- EXISTING TREE TO REMAIN
- STEEL EDGER
- EXISTING COUNTOUR
- PROPOSED COUNTOUR
- PROPOSED MONUMENT SIGNAGE

UPLAND SEED MIX

% OR PLS/AC	DESCRIPTION	MANUFACTURED BY
2.0 PLS/AC	SIDEPOATS GRAMA VAUGHN	ARKANSAS VALLEY SEED
3.3 PLS/AC	BUFFALOGRASS, CODY	ARKANSAS VALLEY SEED
1.0 PLS/AC	SANDBERG BLUEGRASS, CANBAR	ARKANSAS VALLEY SEED
0.7 PLS/AC	PRAIRIE JUNGLEGRASS	ARKANSAS VALLEY SEED
3.3 PLS/AC	BLUE GRAMA, NATIVE	ARKANSAS VALLEY SEED

PLANT MATERIAL SCHEDULE

SYMBOLS	ABBREV	COMMON NAME	BOTANICAL NAME	QTY	SIZE GALLONS	MATURE HEIGHT/WIDTH	TOTAL 3-YEAR COVERAGE SF (ASSUMES 90% MATURITY)
SHRUBS							
•	ACP	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO'	4	5 GAL	2' X 5'	70.70
		TOTAL		4			70.70 SF
DECIDUOUS							
•	POS	PHYSOCARPUS OPUFOLIUS 'SEWARD' TM	SUMMER WINE NINEBARK	2	5 GAL	4' X 6'	50.89
•	PBS	PRUNUS BESSEYI 'P0115' TM	PAWNEE BUTTES SAND CHERRY	2	5 GAL	2' X 6'	50.89
		TOTAL		4			101.77 SF
PERENNIALS							
•	ECG	EPILOBUM CANUM GARRETTI 'PWGGO15'	ORANGE CARPET HUMMINGBIRD TRUMPET	7	1 GAL	0.5' X 2'	19.78
•	OAV	OSTEOSPERMUM X 'AVALANCHE'	AVALANCHE WHITE SUN DAISY	18	1 GAL	1' X 2'	50.87
•	PIN	PENSTEMON PINIFOLIUS 'P0195'	STEPPE SUNSET GLOW PENSTEMON	14	1 GAL	1.5' X 2'	35.56
		TOTAL		39			110.21 SF
ORNAMENTAL GRASSES							
•	MSG	MISCANTHUS SINENSIS 'ORACILLIMUS'	MAIDEN GRASS	4	5 GAL	4' X 5'	70.70
		TOTAL		4			70.70 SF
SEED MIX							
		UP AND SEED MIX		6.8408F			
ROCK MULCH							
		1-1/2" MINUS ANGULAR BUTTER ROCK, TAN COLOR		446 SF / 3" DEPTH			

TOTAL PLANTING AREA = 446 SF
TOTAL PLANT COVERAGE (3-YRS) = 353 SF
353 SF / 446 SF = 79.10% COVERAGE

- NOTES:
- EVERGREEN SHRUBS SHALL BE PLANTED NO CLOSER THAN 3' TO CLOSEST PAVEMENT.
 - ALL PLANT CONTAINERS TO BE REMOVED PRIOR TO PLANTING.
 - BACKFILL AND WATER IN THOROUGHLY.
 - BROKEN ROOT BALLS WILL BE REJECTED.

NOTE:
PROPOSED MONUMENT SIGNAGE ± 137 FF
TOTAL LANDSCAPE AREA REQUIRED: 411 SF / PROVIDED: 446 SF

1 SHRUB PLANTING
3/4" = 1'-0"

P-2022-BEL-03

1 LANDSCAPE PLAN
SCALE: 1"=20'-0"



0 10 20

BOULDER ASSOCIATES

1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

AVRES

3865 JFK Parkway, Building 2, Suite 100
Fort Collins, CO 80525

PROJECT P246572.00

PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE

DATE 6/14/24

REVISIONS

#	DESCRIPTION	DATE
1	COMMENT RESPONSE	01/16/25
2	COMMENT RESPONSE	4/15/25

SHEET TITLE

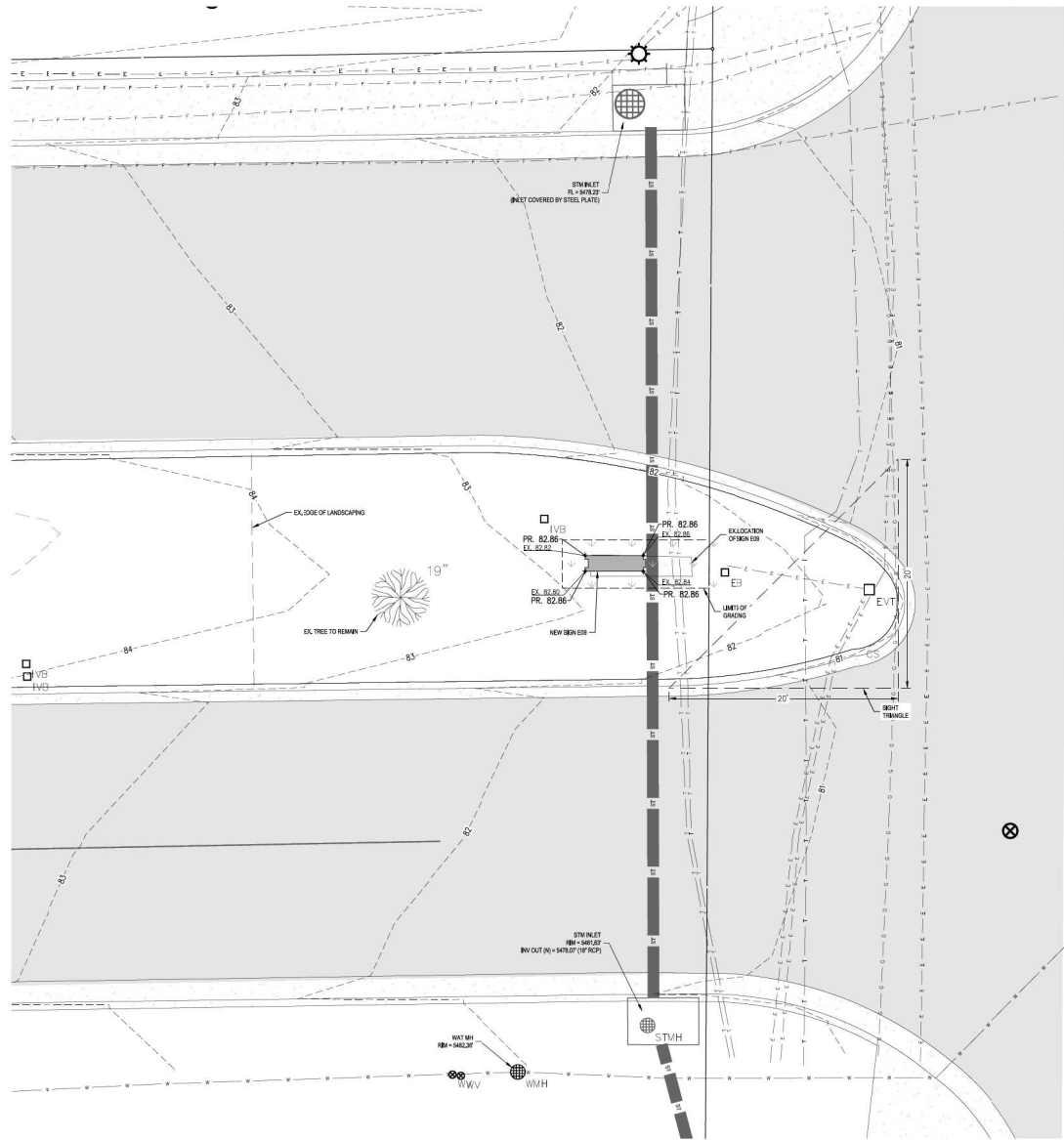
LANDSCAPE PLAN
SIGN E21

SHEET NUMBER

6

SHEET 6 OF 20

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024



ABBREVIATIONS

BLOG	BUILDING
BTM	BOTTOM
CL	CENTERLINE
ESMT	EASEMENT
EX	EXISTING
FG	FINISHED GRADE
HP	HIGH POINT
INV	INVERT
LP	LOW POINT
PP	POWER POLE
RCP	REINFORCED CONCRETE PIPE
SMH	SANITARY MANHOLE
SW	SWALE
TC	TOP OF CONCRETE
TYP	TYPICAL
WP	WOOD POST

EROSION CONTROL LEGEND

—X—	SILT FENCE (INITIAL, INTERIM)
—•••—	OPEN SPACE SEED MIX, MULCH (FINAL)
—[]—	VEHICLE TRACKING CONTROL MAT (INTERIM)

EROSION CONTROL NOTES

1. FINAL STABILIZATION BY SEEDING AND MULCHING OR PERMANENT LANDSCAPING. USE APPROVED OPEN SPACE SEED MIX, REF. LANDSCAPE PLANS.
2. ANY CONSTRUCTION FENCING SHALL BE REMOVED BY THE CONTRACTOR ONCE CONSTRUCTION IS COMPLETE.
3. ALL EROSION CONTROL BMP'S SHALL BE PER URBAN DRAINAGE AND FLOOD CONTROL DISTRICT, UNLESS OTHERWISE STATED.
4. ALL CONSTRUCTION ACTIVITIES AND ACCESS TO THE SITE SHALL OCCUR DURING GOOD WEATHER/DRY CONDITIONS TO MINIMIZE DAMAGE IN THE AREA.

LEGEND

PROPERTY BOUNDARY	—•••—
EXISTING MAJOR CONTOUR	—5000—
EXISTING MINOR CONTOUR	—5007—
PROPOSED MAJOR CONTOUR	—5000—
PROPOSED MINOR CONTOUR	—5007—
EXISTING SPOT ELEVATION	5359.77
EXISTING PROPERTY PIN	—O—
EX. TRAIL (CRUISER FINES)	—[]—
EX. GRAVEL DRIVE	—[]—
EX. ASPHALT PAVING	—[]—

LEGAL DESCRIPTION

ALL OF LOTS 1, 2, 3, 4, 5, HEALTH PARK SUBDIVISION FILING NO. 6 LOCATED IN THE S1/2 OF THE NE1/4 AND THE N1/2 OF THE SE1/4 OF SECTION 19, T15, R99W OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO, ACCORDING TO THE RECORDED PLAT THEREOF.

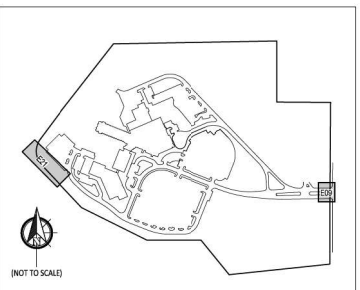
BASIS OF BEARINGS

BEARINGS SHOWN ON THE ACCOMPANYING PLAT ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE S1/2 OF THE NE1/4 OF SECTION 19, T15, R99W OF THE 6TH P.M., BEARS N69°22'28"E AS MONUMENTED.

BENCHMARK

THE PRIMARY BENCHMARK USED TO DETERMINE THE BASIS OF ELEVATIONS FOR THIS MAP IS CITY OF LOUISVILLE BENCHMARK LP 15, THE E1/4 CORNER OF SECTION 19, A 66 REBAR W 2" ALUM. CAP MARKED 'PLS 35897 2001' IN MONUMENT BOX. NAVD 1988 ELEVATION = 5490.00 FEET.

KEY MAP



1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

CIVILARTS
ENGINEERING PLANNING SURVEYING
1500 Kansas Ave., Suite 24E
Longmont, CO 80501
P 303.682.1131
F 303.682.1149

PROJECT P246572.00

PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE

DATE 6/14/24

REVISIONS	DESCRIPTION	DATE
1	COMMENT RESPONSE	01/16/25
2	COMMENT RESPONSE	4/15/25

SHEET TITLE

GRADING PLAN
SIGN E09

SHEET NUMBER

7
SHEET 5 OF 20

811 FOR BURIED UTILITY INFORMATION
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THREE (3) BUSINESS DAYS
BEFORE YOU DIG
UTILITY NOTIFICATION CENTER
OF COLORADO (UNCC)
www.uncc.org

6/12/2024 4:39:36 AM
Avista_Hospital_PUD_000518-2024.dwg
Avista_Hospital_PUD_000518-2024.dwg

E01 CHANNEL LETTERS on RACEWAY LIF-42-HOR-W

Scale: 1/4"=1'-0"

131.7 square feet total
(Measured boxed as shown)

refer to
MONITOR
CONTROL DOCUMENTS
for manufacturing details



- LOGO FACES:** .177 Clear acrylic w/ surface applied translucent vinyl to match and second surface applied diffuser film
- LETTER FACES:** .177 #2447 white acrylic w/ surface applied dual color blue film
- TRIMCAP:** 1" Jewellite - White
- RETURNS:** 5" Deep .063 aluminum coil painted blue SG finish
Interior painted with light enhancement paint
Logo sections to be created separately as single pieces and pop-riveted together using cross section as joining piece
- BACKS:** .090 Alum inside painted with light enhancement paint
- ILLUMINATION:** Agilight 6500K White LED's as required by manufacturer
Remote Power Supplies
- RACEWAY:** 8'h x 5'd Extruded .125" Alum. Raceway for letters;
Symbol raceway will be fabricated .125" Alum.;
Painted to match existing wall surface. Additional bracing as required.
- INSTALL:** Thru bolted using all thread into blocking as required
12" standard length of threaded rod will be supplied unless otherwise noted
3/8" threaded rod into blocking or Stratus approved equivalent
- QUANTITY:** (1) ONE LETTERSET REQUIRED
- JOB NOTE:** No existing power at sign location;
new electric circuit to be routed by facilities prior to installation.



Large Logo
Isometric View
(w/ Trimcap)
Scale: NTS



Logo
Side View



Letter
Side View

COLOR PALETTE
RACEWAY:
TO BE VERIFIED

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

EXISTING SIGN SF:	N/A
PROPOSED SIGN SF:	131.7

EXISTING

EXISTING CONDITIONS



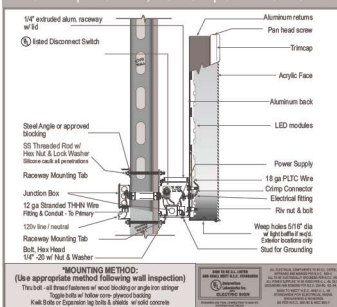
JOB NOTE: No existing power at sign location;
new electric circuit to be routed
by facilities prior to installation.

NONE EXISTING.
NEW SIGN TO BE INSTALLED ON EMPTY ELEVATION
ACROSS COURTYARD FROM EXISTING SIGN E01

SIMULATED NIGHT VIEW

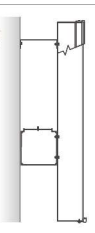


FACE LIT | RACEWAY, BOTTOM | GENERIC INSTALL



Bracing Detail

Additional bracing may be required from letter back to raceway for increased support for letters & logos over 36"



Scale: $\pm 1/8" = 1'-0"$ (Warped due to angle of photo)

NOTE: Max area 1 sf/lf = 88.5 sf plus 50% increase for US36 = 132.75 sf allowable.

PROPOSED SIGNAGE



Scaled Proportionately

PROPOSED SIGNAGE - LONG DISTANCE VIEW

BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

Stratus

PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE	6/14/24
REVISIONS	
1	DESCRIPTION DATE
2	COMMENT RESPONSE 03/16/25
	CONDENSED PAGES 4/15/25

SHEET TITLE

SIGN E01

SHEET NUMBER

8
SHEET 8 OF 20

E04 ILLUMINATED DIRECTIONAL CUSTOM DB-48-IL

Scale: 1"=1'-0"

16.5 square feet

refer to
PRODUCTION SHOP DRAWING
AD11117A
for manufacturing details

refer to
MONICLE
CONTROL DOCUMENTS
for manufacturing details

EXISTING SIGN SF:	20.6
PROPOSED SIGN SF:	16.5

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

SIMULATED NIGHT VIEW



EXISTING CONDITIONS



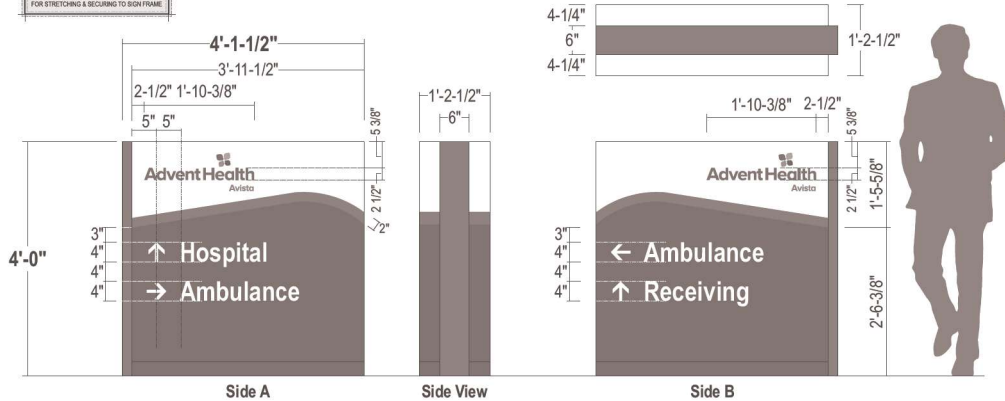
REMOVE EXISTING 4'-1-1/2" h x 5'-0" w ILLUM.
DIRECTIONAL & REPLACE. BACKFILL LANDSCAPING.
CONNECT TO EXISTING POWER.

PROPOSED SIDE A

Scaled Proportionately



PANAFLEX FACE
MATERIAL MUST HAVE 6" BLEED ALL SIDES
FOR STRETCHING & SECURING TO SIGN FRAME



- CABINET:** Sign comp extrusion - Depth as shown
Returns painted to match face
- CENTER CLADDING:** .125 formed alum. cladding painted Green SG finish
- FACES:** 3M Panagraphics III Flexible substrate
- GRAPHICS:** All graphics to be digitally printed by Miratec; All background & logo sections to be opaque;
Directional copy to be reverse weeded from face to fully illuminate
- ILLUM.** Agilight White LED's as required by manufacturer
Power supplies housed within cabinet
- BASE:** 3" h .125 Break formed alum. base extrusion cover painted white SG finish
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation
to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated directional required
- NOTE:** Connect to existing power

BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

Stratus

PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24

REVISIONS	DESCRIPTION	DATE
1	COMMENT RESPONSE	01/16/25
2	CONDENSED PAGES	4/15/25

SHEET TITLE

SIGN E04

SHEET NUMBER

9

SHEET 9 OF 20

E05 ILLUMINATED DIRECTIONAL CUSTOM DB-48-IL

Scale: 1"=1'-0"

16.5 square feet

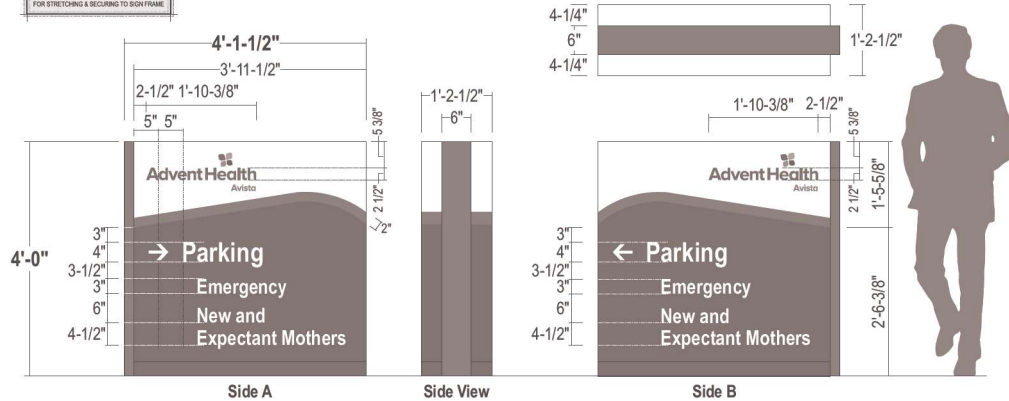
refer to
PRODUCTION SHOP DRAWING
AD11117A
for manufacturing details

refer to
MONICLE
CONTROL DOCUMENTS
for manufacturing details

EXISTING SIGN SF:	12.4
PROPOSED SIGN SF:	16.5

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

PANAFLEX FACE
MATERIAL MUST HAVE 6" BLEED ALL SIDES
FOR STRETCHING & SECURING TO SIGN FRAME



- CABINET:** Sign comp extrusion - Depth as shown
Returns painted to match face
- CENTER CLADDING:** .125 formed alum. cladding painted Green SG finish
- FACES:** 3M Panagraphics III Flexible substrate
- GRAPHICS:** All graphics to be digitally printed by Miratec; All background & logo sections to be opaque;
Directional copy to be reverse weeded from face to fully illuminate
- ILLUM.** Agilight White LED's as required by manufacturer
Power supplies housed within cabinet
- BASE:** 3"h .125 Break formed alum. base extrusion cover painted white SG finish
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation
to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated directional required
- NOTE:** Connect to existing power

SIMULATED NIGHT VIEW



EXISTING CONDITIONS



PROPOSED SIDE A



BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

Stratus

PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24

REVISIONS
1 DESCRIPTION DATE
2 COMMENT RESPONSE 01/16/25
CONDENSED PAGES 4/15/25

SHEET TITLE
SIGN E05

SHEET NUMBER
10
SHEET 10 OF 20

E06

ILLUMINATED DIRECTIONAL REMOVE EXISTING

Scale: NTS

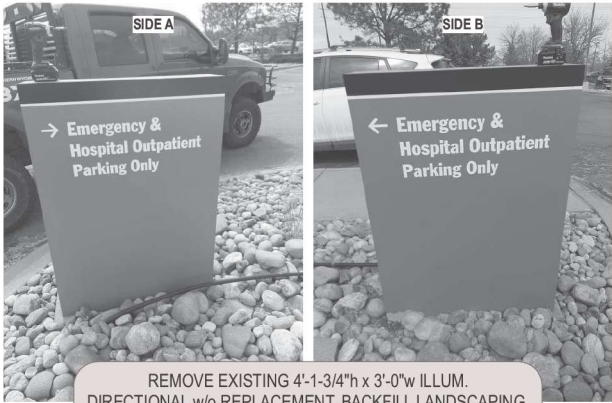
EXISTING SIGN SF:	12.4
PROPOSED SIGN SF:	-

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

PROPOSED



EXISTING CONDITIONS



REMOVE EXISTING 4'-1-3/4"h x 3'-0"w ILLUM.
DIRECTIONAL w/o REPLACEMENT. BACKFILL LANDSCAPING.
CAP EXISTING POWER.

BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

Stratus

PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE	6/14/24
REVISIONS	
1	DESCRIPTION DATE
2	COMMENT RESPONSE 01/16/25
	CONDENSED PAGES 4/15/25

SHEET TITLE
SIGN E06

SHEET NUMBER
11
SHEET 11 OF 20

4/7/2025
K:\ACCOUNTS\ADVENTHEALTH\PROJECTS\AVISTA\AVISTA_PUD_000518-2024\Drawings\Signage\Signage_Signage.dwg
4/7/2025

E07

ILLUMINATED DIRECTIONAL CUSTOM DE-72-IL

Scale: 1"=1'-0"

24.8 square feet

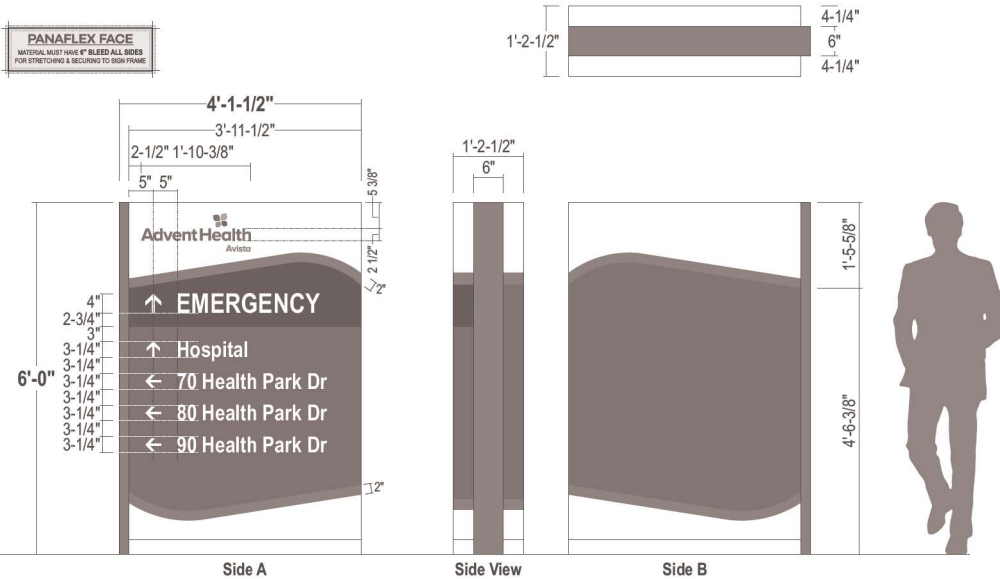
refer to
PRODUCTION SHOP DRAWING
AVN1118A
for manufacturing details

refer to
MONICLE
CONTROL DOCUMENTS
for manufacturing details

EXISTING SIGN SF:	27.5
PROPOSED SIGN SF:	24.8

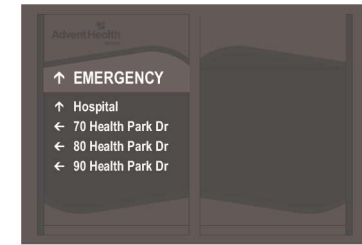
AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

NOTE: TYPICAL COPY SIZE HAS BEEN REDUCED
ON THIS DIRECTIONAL IN ORDER TO ACCOMMODATE
LENGTH OF OVERALL READING



- CABINET:** Sign comp extrusion - Depth as shown
Returns painted to match face
- CENTER CLADDING:** .125 formed alum. cladding painted Green SG finish
- FACES:** 3M Panagraphics III Flexible substrate
- GRAPHICS:** All graphics to be digitally printed by Miratec; Background for ER Portion **ONLY** will illuminate (waiver required from city)
All other background & logo sections to be opaque;
Directional copy to be reverse weeded from face to fully illuminate
- ILLUM.** Agilight White LED's as required by manufacturer
Power supplies housed within cabinet
- BASE:** 3"h .125 Break formed alum. base extrusion cover painted white SG finish
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated directional required
- NOTE:** Connect to existing power

SIMULATED NIGHT VIEW

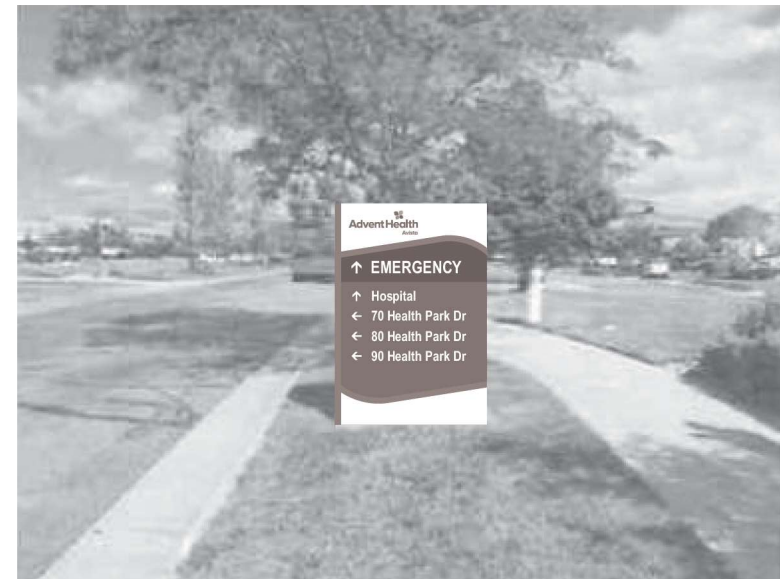


EXISTING CONDITIONS



PROPOSED SIDE A

Scaled Proportionately



BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

Stratus

PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24

REVISIONS	DESCRIPTION	DATE
1	COMMENT RESPONSE	01/16/25
2	CONDENSED PAGES	4/15/25

SHEET TITLE

SIGN E07

SHEET NUMBER

12
SHEET 12 OF 20

E08

ILLUMINATED PYLON

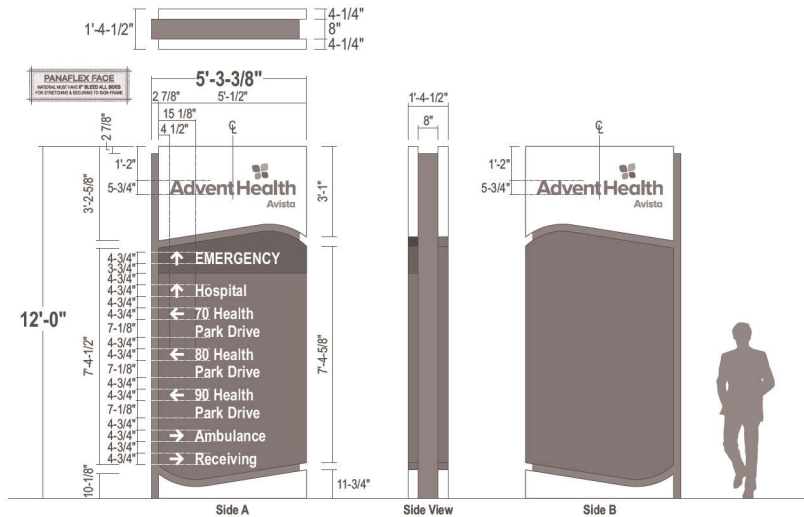
CUSTOM PE-12-IL

Scale: 1/2"=1'-0"

63.4 square feet

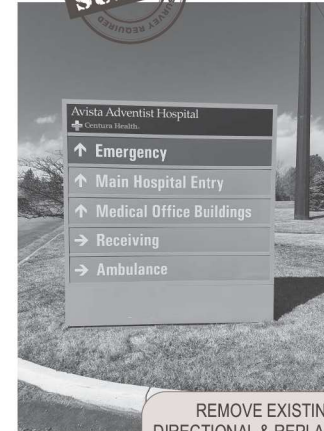
Header was changed to
Aluminum w/ Routed GraphicsSHOP DRAWING
NEEDS REVISION
#ADH1120A
for manufacturing detailsrefer to
MONICLE
CONTROL DOCUMENTS
for manufacturing details

EXISTING SIGN SF:	80
PROPOSED SIGN SF:	63.4



- CABINET:** Sign comp extrusion - Depth as shown - painted White SG finish
- CENTER CLADDING:** .125 formed alum. cladding painted Green SG finish
- REVEALS:** .125 alum. reveal painted Green SG
- HEADER & DIRECTIONAL FACES:** .125 routed alum. face; chemically welded to frame with vertical piano hinge; Painted white, blue & red
- HEADER & DIRECTIONAL COPY:** Routed graphics w/ flushed-in acrylic copy
Header Logo: #7328 White flushed in acrylic w/ surface applied day/night vinyl on logo copy
White Directional Copy: #7328 White flushed in acrylic bonded to 1/4" clear acrylic
Second surface applied diffuser film on all copy
- EMERGENCY FACE:** Alum extrusion w/ 3M panagraphics III faces and surface applied trans. red vinyl with reverse weeded copy & arrow
- TYPEFACE:** Arial Narrow Bold
- ILLUM.** Agilight Retro Rays 700 (6500K White) LED's as required by manufacturer
Power supplies housed within cabinet
- BASE:** Fabricated .125 alum base painted White SG
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated pylon required
- NOTE:** Connect to existing power

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024



EXISTING CONDITIONS



REMOVE EXISTING 10'-0" h x 8'-0" w ILLUM.
DIRECTIONAL & REPLACE. BACKFILL LANDSCAPING.
CONNECT TO EXISTING POWER.



Scale: 3/4"=1'-0"

PROPOSED SIGNAGE

BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

Stratus

PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24
REVISIONS
1 DESCRIPTION DATE
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CONDENSED PAGES 4/15/25

SHEET TITLE

SIGN E08

SHEET NUMBER

13
SHEET 13 OF 20

E09

ILLUMINATED PYLON

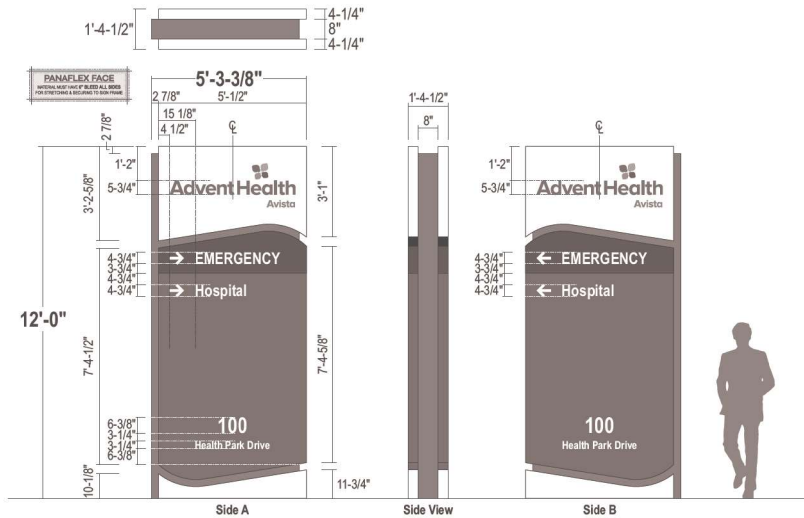
CUSTOM PE-12-IL

Scale: 1/2"=1'-0"

63.4 square feet

Header was changed to
Aluminum w/ Routed GraphicsSHOP DRAWING
NEEDS REVISION
#ADH1120A
for manufacturing detailsrefer to
MONICLE
CONTROL DOCUMENTS
for manufacturing details

EXISTING SIGN SF:	112.3
PROPOSED SIGN SF:	63.4



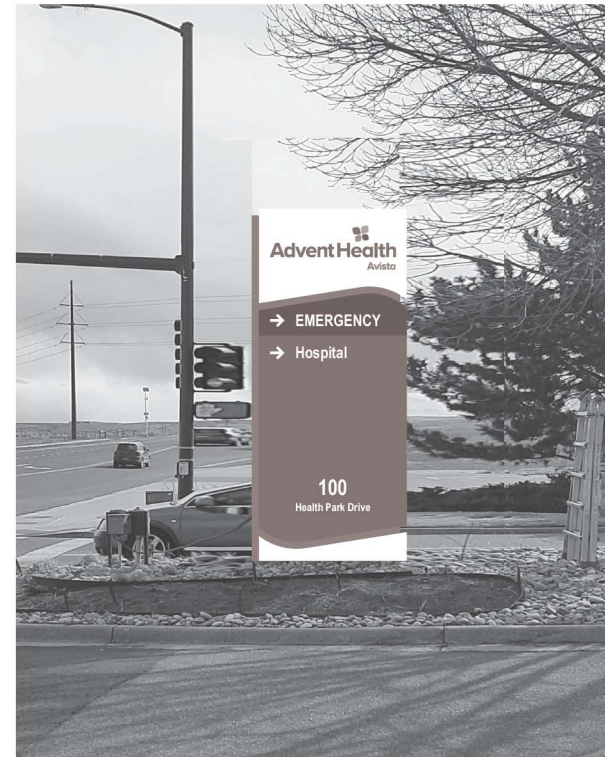
- CABINET:** Sign comp extrusion - Depth as shown - painted White SG finish
- CENTER CLADDING:** .125 formed alum. cladding painted Green SG finish
- REVEALS:** .125 alum. reveal painted Green SG
- HEADER & DIRECTIONAL FACES:** .125 routed alum. face; chemically welded to frame with vertical piano hinge; Painted white, blue & red
- HEADER & DIRECTIONAL COPY:** Routed graphics w/ flushed-in acrylic copy
Header Logo: #7328 White flushed in acrylic w/ surface applied day/night vinyl on logo copy
White Directional Copy: #7328 White flushed in acrylic bonded to 1/4" clear acrylic
Second surface applied diffuser film on all copy
- EMERGENCY FACE:** Alum extrusion w/ 3M panagraphics III faces and surface applied trans. red vinyl with reverse weeded copy & arrow
- TYPEFACE:** Arial Narrow Bold
- ILLUM.** Agilight Retro Rays 700 (6500K White) LED's as required by manufacturer
Power supplies housed within cabinet
- BASE:** Fabricated .125 alum base painted White SG
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated pylon required
- NOTE:** Connect to existing power

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

EXISTING CONDITIONS



REMOVE EXISTING 14'-0" h x 8'-1/4" w ILLUM.
DIRECTIONAL & REPLACE. BACKFILL LANDSCAPING.
CONNECT TO EXISTING POWER.



Scale: 1/2"=1'-0"

PROPOSED SIGNAGE

BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

Stratus

PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24
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SHEET TITLE

SIGN E09

SHEET NUMBER

14

SHEET 14 OF 20

E14

ILLUMINATED DIRECTIONAL CUSTOM DE-48-IL

Scale: 1"=1'-0"

16.5 square feet

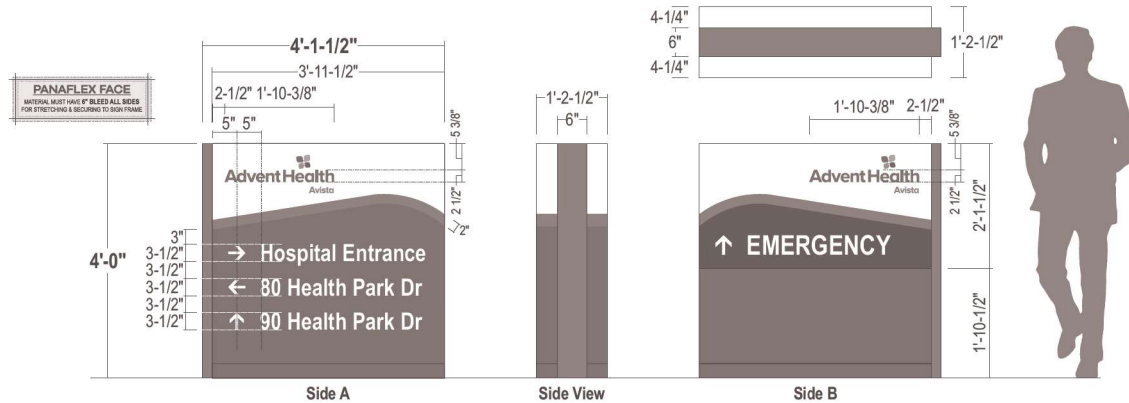
refer to
PRODUCTION SHOP DRAWING
AVN1118A
for manufacturing details

refer to
MONICLE
CONTROL DOCUMENTS
for manufacturing details

EXISTING SIGN SF:	20.6
PROPOSED SIGN SF:	16.5

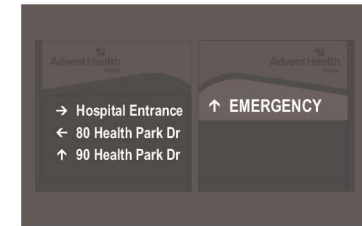
AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

NOTE: TYPICAL COPY SIZE HAS BEEN REDUCED
ON THIS DIRECTIONAL IN ORDER TO ACCOMMODATE
LENGTH OF OVERALL READING



- CABINET:** Sign comp extrusion - Depth as shown
Returns painted to match face
- CENTER CLADDING:** .125 formed alum. cladding painted Green SG finish
- FACES:** 3M Panagraphics III Flexible substrate
- GRAPHICS:** All graphics to be digitally printed by Miratec; Background for ER Portion **ONLY** will illuminate (waiver required from city)
All other background & logo sections to be opaque;
Directional copy to be reverse weeded from face to fully illuminate
- ILLUM.** Agilight White LED's as required by manufacturer
Power supplies housed within cabinet
- BASE:** 3"h .125 Break formed alum. base extrusion cover painted white SG finish
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated directional required
- NOTE:** Connect to existing power

SIMULATED NIGHT VIEW



EXISTING CONDITIONS



REMOVE EXISTING 4'-1-1/2"h x 5'-0"w ILLUM.
DIRECTIONAL & REPLACE. BACKFILL LANDSCAPING.
CONNECT TO EXISTING POWER.

PROPOSED SIDE A

Scaled Proportionately



BA
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**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24

REVISIONS

REVISION	DESCRIPTION	DATE
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SHEET TITLE

SIGN E14

SHEET NUMBER

16

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E19 ILLUMINATED DIRECTIONAL CUSTOM DB-48-IL

Scale: 1"=1'-0"

16.5 square feet

refer to
PRODUCTION SHOP DRAWING
AD11117A
for manufacturing details

refer to
MONICLE
CONTROL DOCUMENTS
for manufacturing details

EXISTING SIGN SF:	20.6
PROPOSED SIGN SF:	16.5

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

NOTE: TYPICAL COPY SIZE HAS BEEN REDUCED
ON THIS DIRECTIONAL IN ORDER TO ACCOMMODATE
LENGTH OF OVERALL READING

SIMULATED NIGHT VIEW



EXISTING CONDITIONS



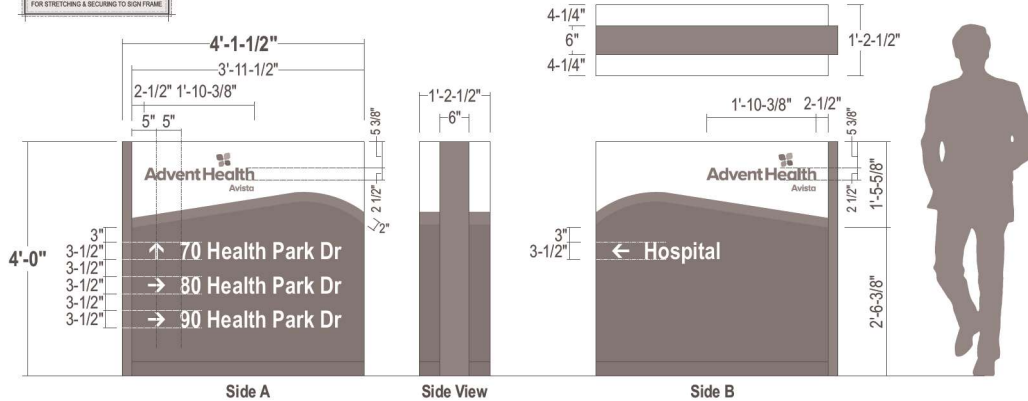
REMOVE EXISTING 4'-1-1/2" h x 3'-0" w ILLUM.
DIRECTIONAL & REPLACE. BACKFILL LANDSCAPING.
CONNECT TO EXISTING POWER.

PROPOSED SIDE A



Scaled Proportionately

PANAFLEX FACE
MATERIAL MUST HAVE 6" BLEED ALL SIDES
FOR STRETCHING & SECURING TO SIGN FRAME



- CABINET:** Sign comp extrusion - Depth as shown
Returns painted to match face
- CENTER CLADDING:** .125 formed alum. cladding painted Green SG finish
- FACES:** 3M Panagraphics III Flexible substrate
- GRAPHICS:** All graphics to be digitally printed by Miratec; All background & logo sections to be opaque;
Directional copy to be reverse weeded from face to fully illuminate
- ILLUM.** Agilight White LED's as required by manufacturer
Power supplies housed within cabinet
- BASE:** 3" h .125 Break formed alum. base extrusion cover painted white SG finish
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation
to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated directional required
- NOTE:** Connect to existing power

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**PUD
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AVISTA
HOSPITAL
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SHEET TITLE
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17
SHEET 17 OF 20

E20

ILLUMINATED DIRECTIONAL CUSTOM DB-48-IL

Scale: 1"=1'-0"

16.5 square feet

refer to
PRODUCTION SHOP DRAWING
AD11117A
for manufacturing details

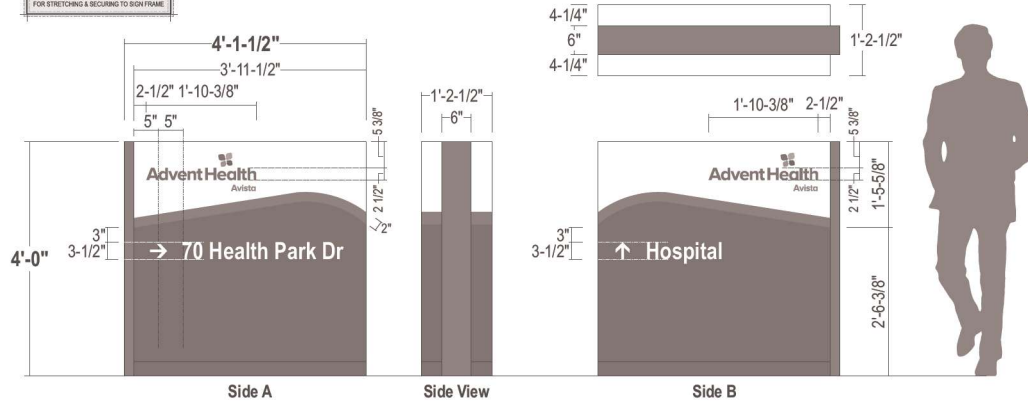
refer to
MONICLE
CONTROL DOCUMENTS
for manufacturing details

EXISTING SIGN SF:	20.6
PROPOSED SIGN SF:	16.5

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

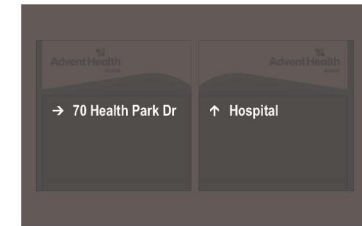
NOTE: TYPICAL COPY SIZE HAS BEEN REDUCED
ON THIS DIRECTIONAL IN ORDER TO ACCOMMODATE
LENGTH OF OVERALL READING

PANAFLEX FACE
MATERIAL MUST HAVE 6" BLEED ALL SIDES
FOR STRETCHING & SECURING TO SIGN FRAME



- CABINET:** Sign comp extrusion - Depth as shown
Returns painted to match face
- CENTER CLADDING:** .125 formed alum. cladding painted Green SG finish
- FACES:** 3M Panagraphics III Flexible substrate
- GRAPHICS:** All graphics to be digitally printed by Miratec; All background & logo sections to be opaque;
Directional copy to be reverse weeded from face to fully illuminate
- ILLUM.** Agilight White LED's as required by manufacturer
Power supplies housed within cabinet
- BASE:** 3"h .125 Break formed alum. base extrusion cover painted white SG finish
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation
to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated directional required
- NOTE:** Connect to existing power

SIMULATED NIGHT VIEW



EXISTING CONDITIONS



REMOVE EXISTING 4'-1-1/2" h x 3'-0" w ILLUM.
DIRECTIONAL & REPLACE. BACKFILL LANDSCAPING.
CONNECT TO EXISTING POWER.

PROPOSED SIDE A

Scaled Proportionately



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SHEET TITLE

SIGN E20

SHEET NUMBER

18
SHEET 18 OF 20

E21

D/F ILLUM. MONUMENT

CUSTOM

Scale: 3/8"=1'-0"

139.2 square feet

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
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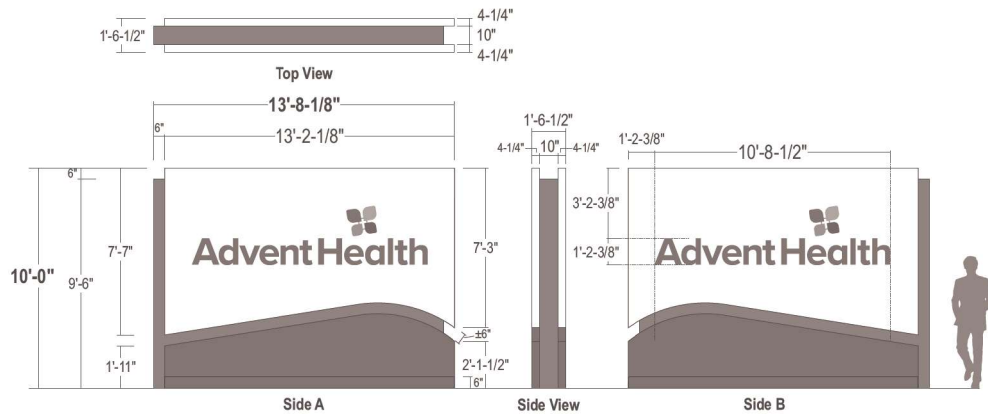
Primary; Max area 96 sf plus
50% increase oriented to US36 = 144 sf allowable.

SHOP DRAWING
NEEDS REVISION
ADH1083B
for manufacturing details

Header was changed to
Aluminum w/ Routed Graphics

EXISTING SIGN SF:	34
PROPOSED SIGN SF:	139.2

refer to
MONIGLE
CONTROL DOCUMENTS
for manufacturing details



- CABINET:** Sign comp extrusion - Depth as shown - painted White SG finish
- CENTER CLADDING:** .125 formed alum. cladding painted Green SG finish
- REVEAL:** .125 alum. reveal painted Green SG
- HEADER FACE:** .125 routed alum. face; chemically welded to frame with vertical piano hinge; Painted white
- REVEAL:** #7328 White flushed in acrylic w/ surface applied day/night vinyl on logo copy
- LOWER BLANK FACES:** .125 alum. face; chemically welded to frame with vertical piano hinge ; Paint Blue SG Finish
- ILLUM.:** Agilight Retro Rays 700 (6500K White) LED's as required by manufacturer
Power supplies housed within cabinet
- BASE:** Fabricated .125 alum removable base cladding painted blue SG finish
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated monument required
- JOB NOTE:** No existing power at sign location - Route electrical circuit to new sign surface prior to install. By facilities.

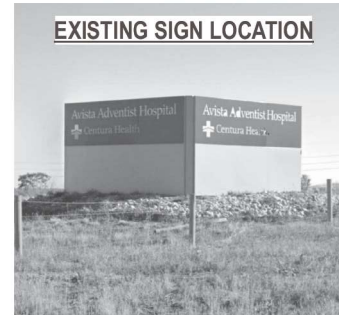
SIMULATED NIGHT VIEW



EXISTING CONDITIONS

NEW SIGN TO BE INSTALLED IN
DIFFERENT LOCATION - SEE NEXT PHOTO (RIGHT)
EXISTING TO BE REMOVED AFTER
PERMITS APPROVED FOR NEW SIGN.

EXISTING SIGN LOCATION



REMOVE EXISTING 4'-0" h x 8'-6" w MONUMENT.
DO NOT REPLACE. BACK FILL LANDSCAPING
& CAP EXISTING ELECTRICAL.

NEW SIGN LOCATION



NONE EXISTING.
NEW MONUMENT TO BE INSTALLED ON
2'-0" LANDSCAPING BERM TO ACHIEVE 12'-0" OAH

FINISHED LANDSCAPING TO BE COMPLETED
BY FACILITIES

NOT TO SCALE

PROPOSED



BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

Stratus

PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24
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1 DESCRIPTION DATE
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SHEET TITLE
SIGN E21

SHEET NUMBER
19
SHEET 19 OF 20

Scale: NTS

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

