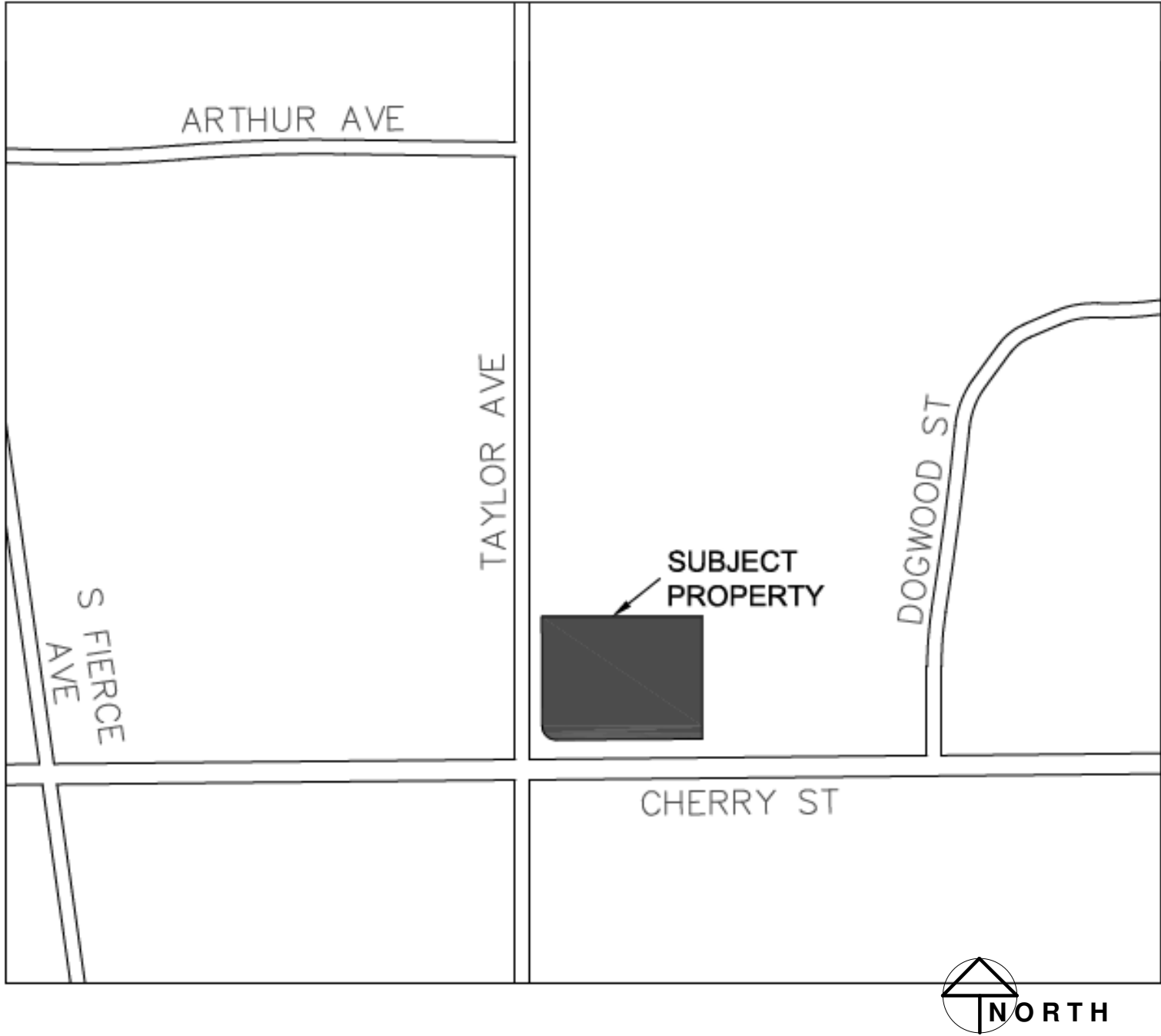


380 SOUTH TAYLOR AVENUE
PLANNED UNIT DEVELOPMENT - SET IN STONE
COLORADO TECHNOLOGICAL CENTER
LOT 18 BLOCK 6
CASE #: PUD-000512-2024

VICINITY MAP



OWNERSHIP SIGNATURE BLOCK

THE UNDERSIGNED AS THE OWNER OF THE LANDS DESCRIBED HEREIN, HEREBY AGREES ON BEHALF OF ITSELF, AND ITS HEIRS, SUCCESSORS AND ASSIGNS TO DEVELOP AND MAINTAIN THE PROPERTY DESCRIBED HEREON IN ACCORDANCE AND COMPLIANCE WITH THIS APPROVED PLAN AND THE LOUISVILLE MUNICIPAL CODE.

WITNESS MY/OUR HAND(S) AND SEAL(S) THIS _____ DAY OF 2024,
DMYTRI KALCHYK
OWNER, SET IN STONE, INC.

BY: _____

NOTARY NAME

NOTARY SIGNATURE

SEAL

MY COMMISSION EXPIRES _____

PLANNING COMMISSION CERTIFICATE

RECOMMENDED APPROVAL THIS _____ DAY OF _____, 2024 BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO.

RESOLUTION NO. _____ SERIES _____

CITY COUNCIL CERTIFICATE

APPROVED THIS _____ DAY OF _____, 2024 BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO.

RESOLUTION NO. _____ SERIES _____

MAYOR CITY CLERK SEAL

CLERK AND RECORDER CERTIFICATE:

(COUNTY OF BOULDER, STATE OF COLORADO)
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT

_____ O'CLOCK _____, M.

THIS _____ DAY OF _____, 20 _____

AND IS RECORDED IN PLAN FILE _____, FEE _____ PAID,

_____ FILM

NO. _____ RECEPTION

BY _____
CLERK & RECORDER

BY _____
DEPUTY

IDDSG - Site Data Table (PDUs and SRUs) (as of 1.10.23)

SHEET INDEX

	Required	Existing (if req'd)	Proposed
Total Site Area		52,258	
Site Coverage	75% max / sq ft max	% / sq ft	% / sq ft
Building	14,150		27.1
Parking	4,604		8.8
Driveway	10,725	INCLUDES LOADING	20.5
Total:	29,479		56.4
Landscape Coverage	25% min / sq ft max		
Landscape Area	17,001 (13,064 REQD)		32.5
Hardscape Area	5,778	INCLUDES EXIST TRANSFORMERS WALKS, TRASH, DITCH, POND	11.1
Total:	100% / SF	100% / SF	100% / SF
Building Height	40'	Max.	25'
Setbacks			
North	10'	Min.	11'
West	30'	Min.	30'
South	30'	Min.	31'
East	10'	Min.	56'
Parking Spaces			
Standard	22	Min.	26
Accessible	2	Min.	2
EV Installed	2 - 8.3 %	based on	2
EV Ready	3 - 12.5 %	24 total spaces	4
EV Capable	4 - 16.7 %		4
Bicycle	3	Min.	4
Parking Setbacks			
North	10'	Min.	10'
West	20'	Min.	48'
South	20'	Min.	30'
East	10'	Min.	25'

WAIVERS REQUESTED:

CODE SECTION	REQUIRED STANDARD	REQUESTED STANDARD
IDDSG SEC. 1.2.D.	VARY BUILDING SETBACKS FOR MULTI-BUILDING PROPOSALS	SITE ORIENTATION AND BOTH BUILDINGS SET BACK 30' FROM TAYLOR AVENUE
IDDSG SEC. 4.5.1.A	EXTERIOR MATERIALS - METAL NOT PERMITTED	ARCHITECTURAL METAL CLADDING IS ACCEPTABLE TO THE CTC AND CITY
IDDSG SEC. 5.1.D.2	ONE STREET TREE REQUIRED EVERY 40 LINEAR FEET	KEEPING EXISTING MATURE TREES ON THE SOUTH SITE AND ADDING 3 GIVES AN APPROPRIATE AMOUNT. WEST SIDE OF THE SITE CONSIDERS DRIVEWAY ENTRANCE
IDDSG SEC. 2.1.1.C	DRIVE AISLE WIDTH WAIVER FROM 28 FEET	26' ACCEPTABLE PER FIRE DEPARTMENT AND THE IFC

1	COVER SHEET
2	DEVELOPMENT PLAN
3	SITE DETAILS
4	SOUTH BUILDING 'A' ELEVATIONS
5	NORTH BUILDING 'B' ELEVATIONS
6	GRADING AND DRAINAGE PLAN
7	DRAINAGE DETAILS
8	SITE UTILITY PLAN
9	LANDSCAPE PLAN
10	LANDSCAPE PLANT MATERIALS
11	SITE LIGHTING PHOTOMETRIC PLAN
12	SITE LIGHTING FIXTURE TYPES

PROJECT TEAM

OWNER

DMYTRI KALCHYK
SET IN STONE
5366 SOUTH BANNOCK
LITTLETON, COLORADO 80120
PHONE: 720-421-4066 EMAIL: dmytri@setinstonecolorado.com

ARCHITECT

DON RUSSELL
DONATO L. RUSSELL ARCHITECTURE LLC
LONGMONT, COLORADO 80501
PHONE: 303-324-4988 EMAIL: dlr@rmi.com

CIVIL ENGINEER

KEN ARMFIELD
ARMFIELD ENGINEERING, LLC
904 ALTA
LONGMONT, COLORADO 80501
PHONE: 720-363-7125 EMAIL: ken@armfieldengineering.com

SITE UTILITIES

E. WAYNE WENTWORTH - CIVIL ENGINEERING DESIGN
202 MAIN STREET, SUITE 4
LONGMONT, COLORADO 80501
PHONE: 303-775-7962 EMAIL: wentwrth@aol.com

LANDSCAPE ARCHITECT

KARLA DAKIN
K. DAKIN DESIGN
1240 LA FARGE AVENUE
LOUISVILLE, COLORADO 80027
303-604-2988 EMAIL: karla@kdakindesign.com

STRUCTURAL ENGINEER

ROBERT ALSON
AZ ENGINEERING
4853 HAMPSHIRE COURT, SUITE 202
NAPLES, FLORIDA 34112
PHONE: 303-667-5089 EMAIL: azengineering@yahoo.com

MECHANICAL ENGINEER

DAVID COOK, P.E.
DAVID COOK ENGINEERING, LLC
7700 E. ACADEMY BLVD UNIT 805
DENVER, COLORADO 80230
PHONE: 303-882-5032 EMAIL: davidcook@dce-llc.com

ELECTRICAL ENGINEER-PHOTOMETRICS

MARK CLARK
MC+ ENGINEERING
8421 STACY DRIVE
FEDERAL HEIGHTS, COLORADO 80260
PHONE: 303-589-6202 EMAIL: mark@mcpluseng.com

PROJECT NARRATIVE

SET IN STONE REALIZES THIS IS AN IMPORTANT LOCATION IN THE COLORADO TECHNOLOGY CENTER NEIGHBORHOOD. THIS HIGH VISIBILITY SITE, LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF CHERRY STREET AND TAYLOR AVENUE, DEMANDS AN INTERESTING AND EXCITING ARCHITECTURAL SOLUTION.

WE HAVE BEEN INFLUENCED BY EXISTING ARCHITECTURAL METAL BUILDINGS IN THE CTC, SUCH AS THE SPECIALIZED BICYCLE COMPONENT BUILDING, 101 SOUTH TAYLOR AVENUE AND THE SPOT CLIMBING GYM, 1754 DOGWOOD STREET. SET IN STONE HAS CREATED VISUAL INTEREST FOR THEIR WAREHOUSE AND MANUFACTURING BUILDINGS BY DEEMPHASIZING MASS, LENGTH AND HEIGHT OF THE BUILDINGS ALONG TAYLOR AVENUE AND CHERRY STREETS. BY BREAKING UP ROOF LINES AND VARYING ARCHITECTURAL METAL COLORS AND TEXTURES WE BELIEVE WE HAVE MET THOSE DESIGN GOALS.

DUE TO THE NATURE OF OUR CORNER LOT AND 30' SETBACKS ON BOTH WEST AND SOUTH SIDES OF THE SITE, WE BELIEVE THE BUILDING LOCATIONS SUBSTANTIALLY SCREEN PARKING, LOADING AND DRIVEWAY FROM ADJACENT STREETS.

PHASING SCHEDULE

SET IN STONE INTENDS TO BEGIN CONSTRUCTION ON THE SOUTH BUILDING 'A' PURSUANT TO CITY COUNCIL P.U.D. APPROVAL AND BUILDING INSPECTION APPROVAL OF CONSTRUCTION DOCUMENTS.

CONSTRUCTION OF THE NORTH BUILDING 'B' IS EXPECTED TO BEGIN WITHIN THE 3 YEAR TIME LIMIT OF P.U.D APPROVAL.

PROJECT ANALYSIS

PROJECT DESCRIPTION

NEW GRANITE COUNTERTOP MANUFACTURING FACILITY SOUTH PORTION OF THE SITE, INDUSTRIAL BUILDING FOR LEASE ON THE NORTH PORTION OF THE SITE.

LEGAL DESCRIPTION

LOT 18, BLOCK 6, COLORADO TECHNOLOGICAL CENTER, FIRST FILING, COUNTY OF BOULDER, STATE OF COLORADO

LOT SIZE

52,258 S.F., 1.2 ACRES

ZONING DISTRICT

I - INDUSTRIAL

DESIGN STANDARDS AND GUIDELINES

2018 INTERNATIONAL BUILDING CODE
CITY OF LOUISVILLE INDUSTRIAL GUIDELINES

CONSTRUCTION TYPE

TYPE V-B FULLY FIRE SPRINKLERED

OCCUPANCY CLASSIFICATIONS

PROPOSED MANUFACTURING BUILDING 'A' - SOUTH 7150 S.F. 14%

USE	AREA	PARKING	OCCUPANT LOAD
SHOWROOM	1621 S.F.	8 SPACES (1:225)	11 OCCUPANTS (1:150)
MANUFACTURING	2975 S.F.	6 SPACES (1:500)	15 OCCUPANTS (1:200)
RESTROOMS AND MECH	554 S.F.		
WAREHOUSE	2000 S.F.	2 SPACES (1:1000)	4 OCCUPANTS (1:500)
	7150 S.F.	16 SPACES	14 PROVIDED

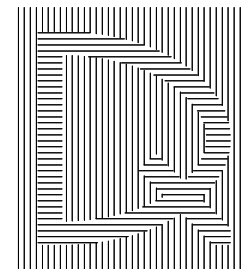
PROPOSED WAREHOUSE BUILDING 'B' - 7000 S.F. 13%

USE	AREA	PARKING	OCCUPANT LOAD
RESTROOMS AND MECH	554 S.F.		
WAREHOUSE	6446 S.F.	7 SPACES	13 OCCUPANTS
	7000 S.F.	7 SPACES	14 PROVIDED

No.	REVISION DESCRIPTION	DATE

This document contains sensitive and/or proprietary information and therefore must be treated as a confidential document. Acceptance of this document by the City of Louisville Planning Commission does not constitute an approval of the project. The project shall be maintained and transmitted in a confidential manner. No part of this document shall be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of DONATO L. RUSSELL ARCHITECTURE.

DONATO L. RUSSELL ARCHITECTURE LLC
ARCHITECTURE PLANNING RESTORATION
LONGMONT, COLORADO dlr@rmi.com 303-324-4988



date: 6/25/24



SYMBOL LEGEND

- | | | |
|--------|---|---|
| △ | = | CALCULATED POINT |
| ● | = | FOUND MONUMENT AS NOTED |
| ○ | = | SET, 5X18" REBAR W/PLASTIC CAP |
| ◊ | = | STAMPED PLS 38744
(UNLESS OTHERWISE NOTED) |
| (R) | = | RECORD INFORMATION |
| (M) | = | MEASURED INFORMATION |
| (C) | = | CALCULATED INFORMATION |
| ⊕ | = | WATER VALVE |
| ⊗ | = | WATER METER |
| Ⓢ | = | TELEPHONE PEDESTAL |
| Ⓢ | = | COMMUNICATION PEDESTAL |
| Ⓢ | = | COMMUNICATION VAULT |
| Ⓢ | = | ELECTRIC BOX |
| Ⓢ | = | ELECTRIC PANEL |
| Ⓢ | = | ELECTRIC TRANSFORMER |
| Ⓢ | = | SANITARY SEWER MANHOLE |
| Ⓢ | = | STORM SEWER MANHOLE |
| Ⓢ | = | FIRE HYDRANT |
| Ⓢ | = | SPOT ELEVATION |
| — | = | PROPERTY LINE |
| — | = | LOT LINE |
| — | = | EASEMENT LINE |
| — UGE | = | UNDERGROUND ELECTRIC LINE |
| — TELE | = | UNDERGROUND TELEPHONE LINE |
| — SS | = | SANITARY SEWER LINE |
| — SO | = | UNDERGROUND STORM LINE |
| — 100 | = | MAJOR CONTOUR LINE |
| — | = | MINOR CONTOUR LINE |

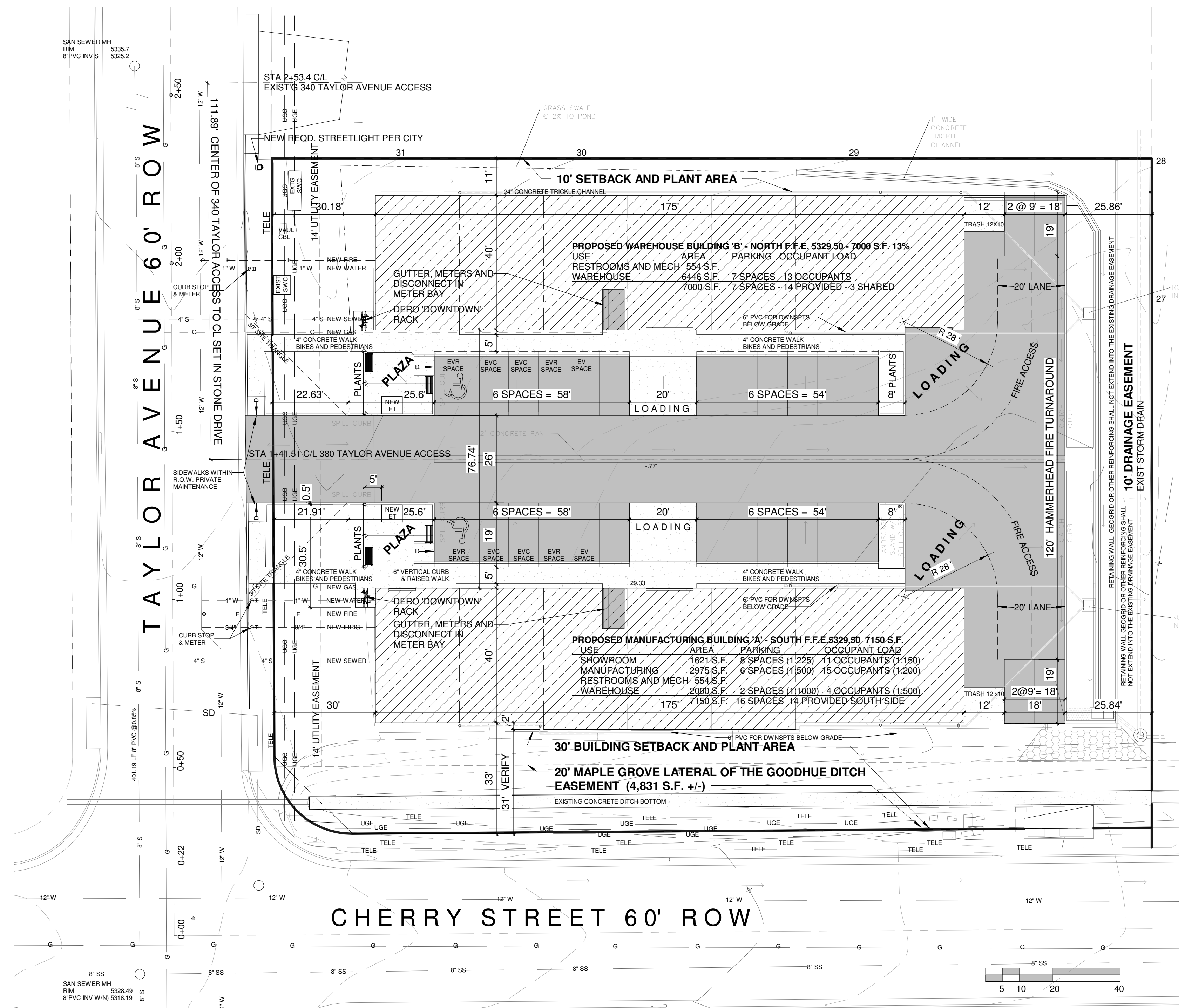
No.	REVISION DESCRIPTION	DATE
1	PLANNING/CTC REVISIONS	11/4/24
2	PLANNING REVISIONS #2	2/10/25

This document contains sensitive and/or proprietary information and materials. It is to be treated as a confidential document. Acceptance of this document constitutes an agreement that this document and the information contained herein shall be maintained and transmitted in a confidential manner. No part of this document shall be reproduced, released or distributed without the express written permission of DONATO L. RUSSELL ARCHITECTURE.

LONGMONT, COLORADO dlr@rmi.com 303-324-4988

date: 6/25/24

Sheet number
2
of 12



SITE PLAN
1" = 20'-0"

380 SOUTH TAYLOR AVENUE
PLANNED UNIT DEVELOPMENT - SET IN STONE
COLORADO TECHNOLOGICAL CENTER
LOT 18 BLOCK 6
CASE #: PUD-000512-2024



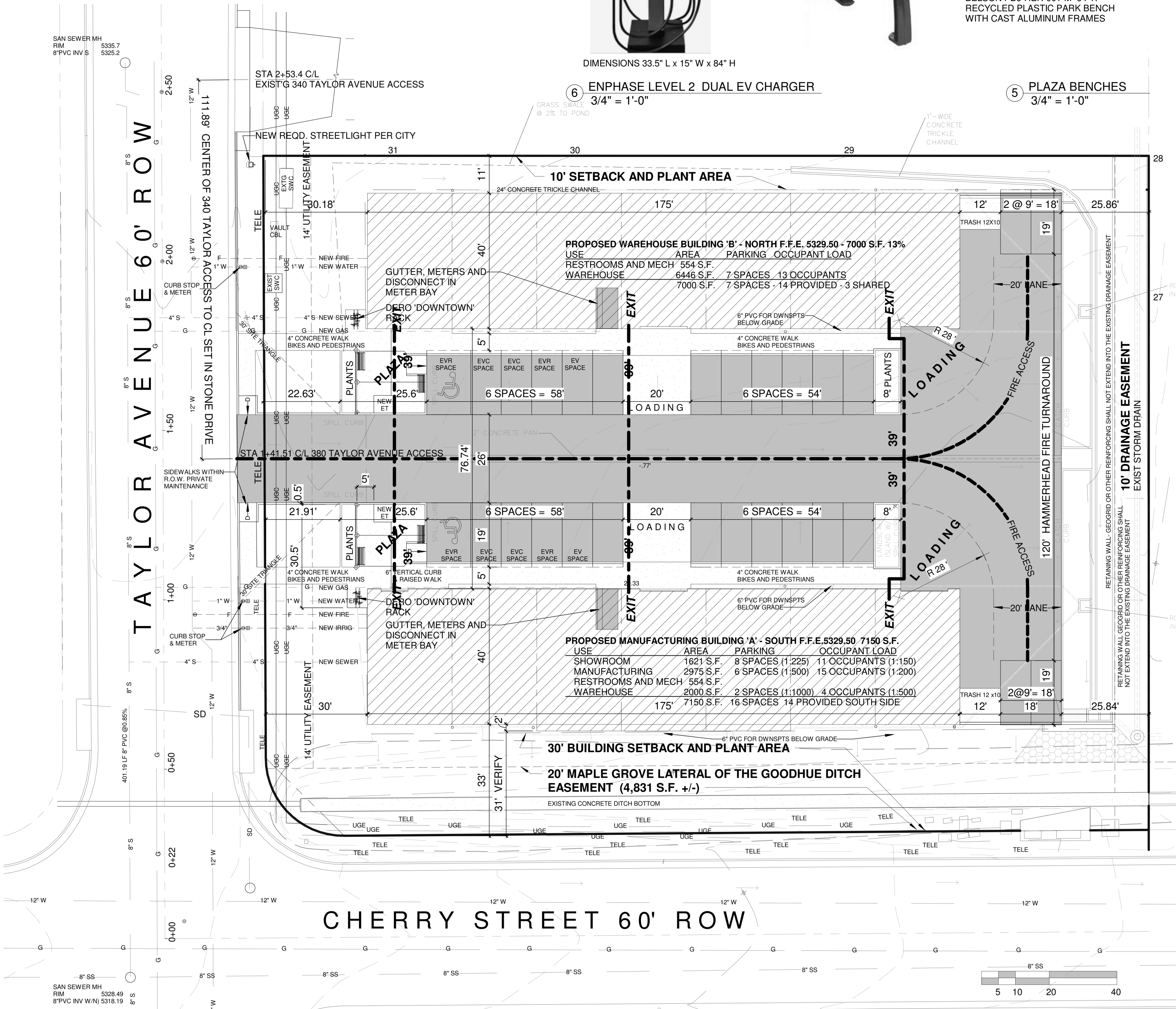
DIMENSIONS 33.5" L x 15" W x 84" H



BELSON P86-HER-001-M 6 FT.
RECYCLED PLASTIC PARK BENCH
WITH CAST ALUMINUM FRAMES

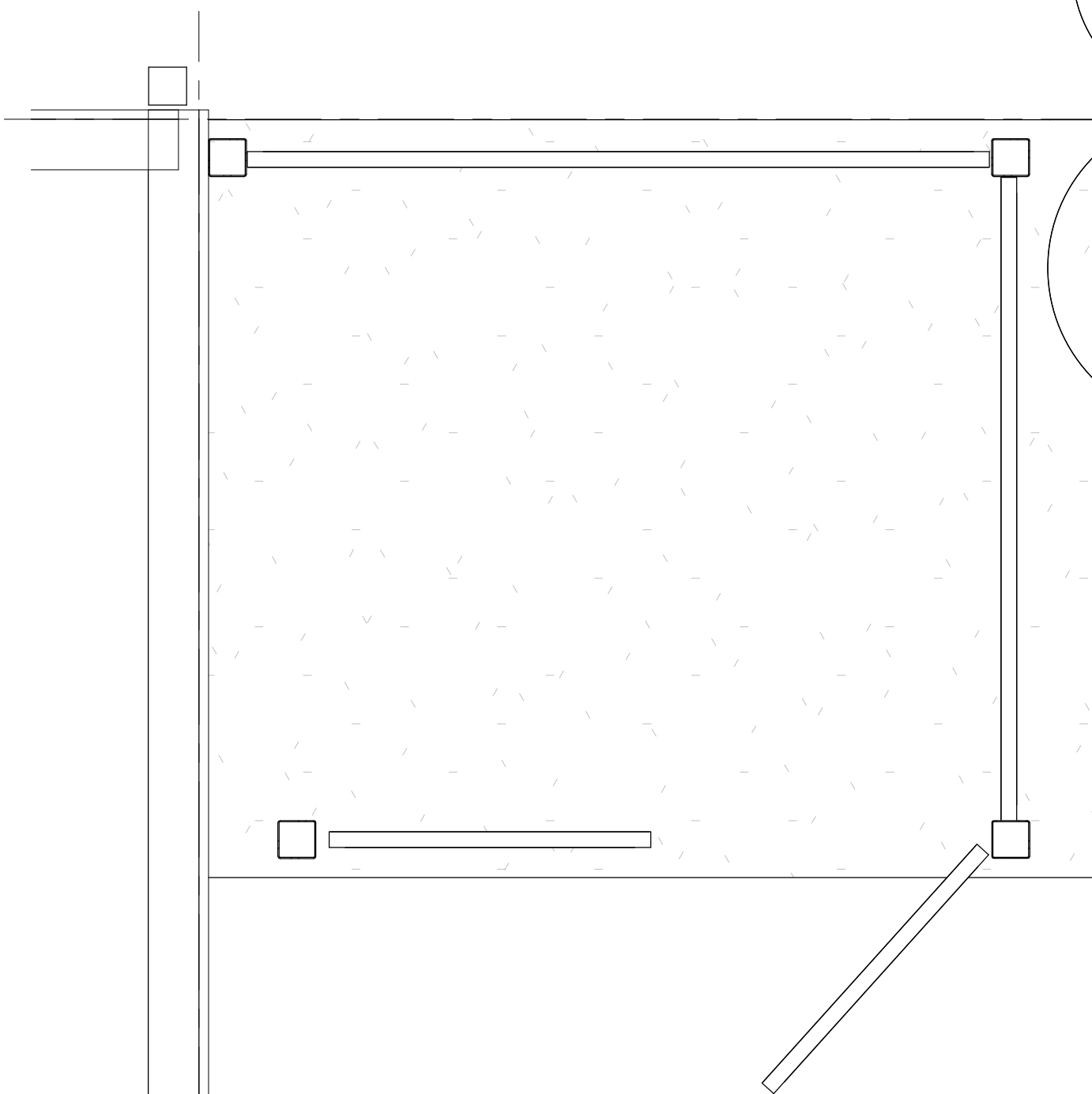
⑥ ENPHASE LEVEL 2 DUAL EV CHARGER
3/4" = 1'-0"

⑤ PLAZA BENCHES
3/4" = 1'-0"

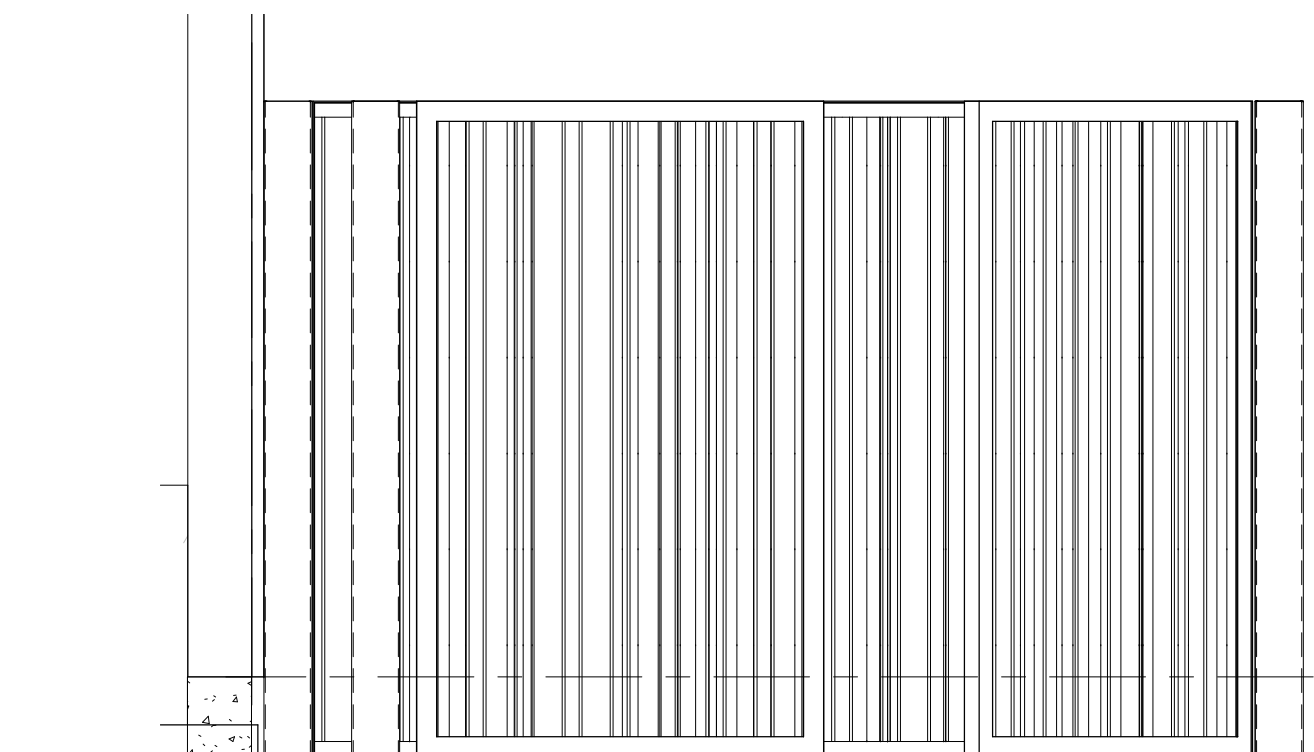


④ FIRE AND LIFE SAFETY PLAN
1" = 20'-0"

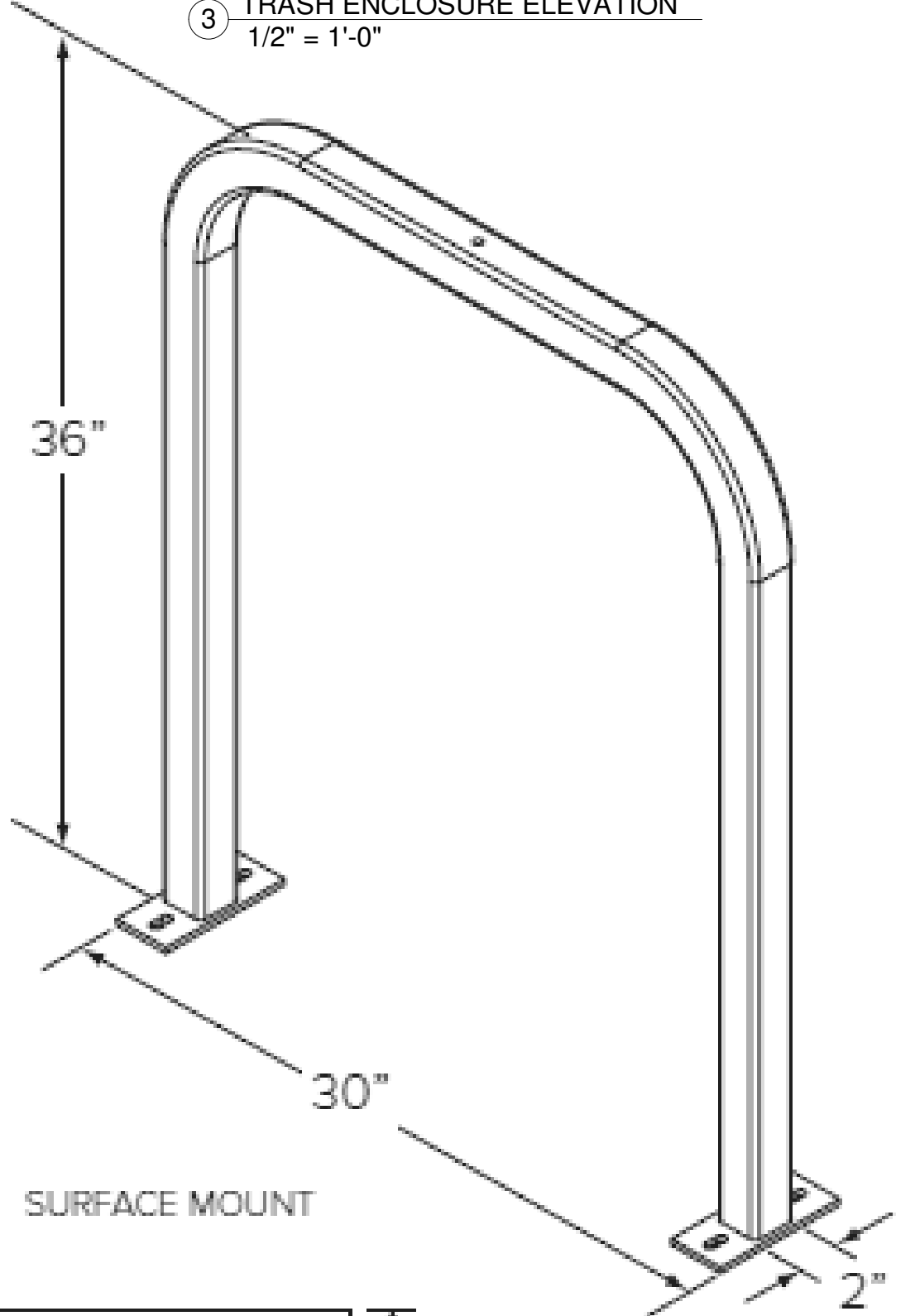
KEYNOTES	
Key Value	Keynote Text



② TRASH ENCLOSURE PLAN
1/2" = 1'-0"



③ TRASH ENCLOSURE ELEVATION
1/2" = 1'-0"



① DERO 'DOWNTOWN' BIKE RACK
1/16" = 1'-0"

No.	REVISION DESCRIPTION	DATE
1	PUD REVIEW REVISIONS	11/4/24
2	PUD REVIEW REVISIONS #2	2/10/25

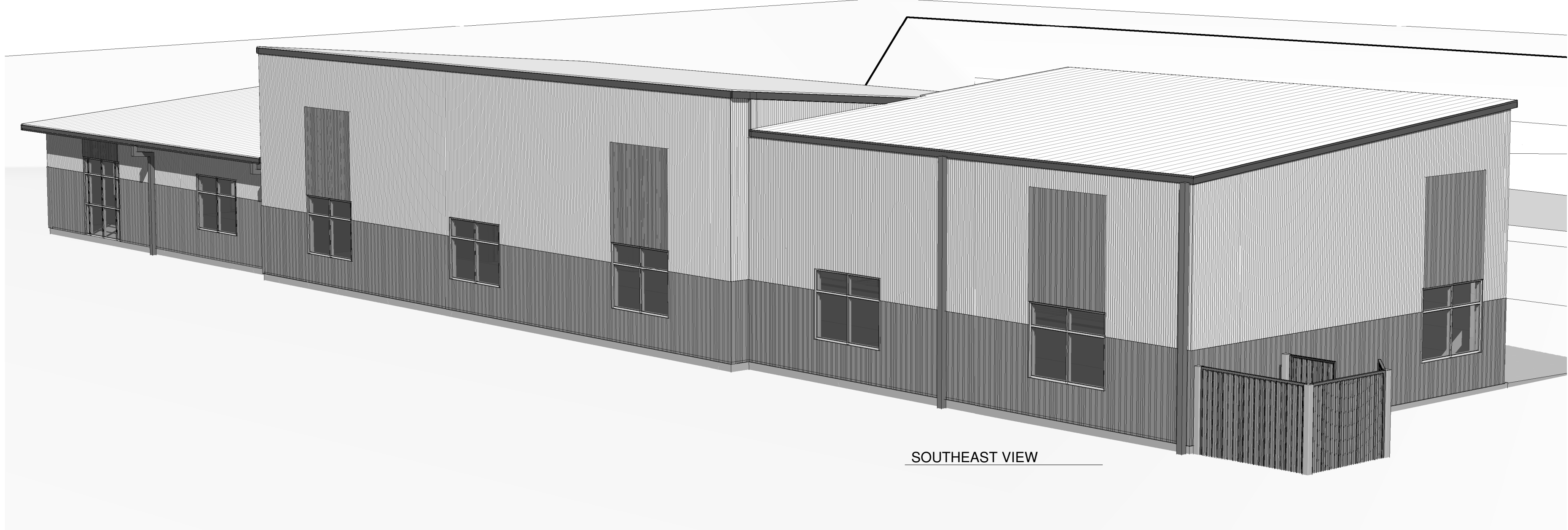
This document contains sensitive and/or proprietary information and therefore must be treated as a confidential document. Acceptance of this document by the City of Longmont is not a warranty, representation, or endorsement of any product or service. The City of Longmont shall not be held responsible for any errors or omissions in this document. The City of Longmont shall not be held responsible for any damages, including consequential damages, arising from the use of this document. The City of Longmont shall not be held responsible for any claims, including attorney's fees, arising from the use of this document. The City of Longmont shall not be held responsible for any claims, including attorney's fees, arising from the use of this document.

DONATO L. RUSSELL ARCHITECTURE LLC
ARCHITECTURE PLANNING RESTORATION
LONGMONT, COLORADO dlr@rmi.com 303-324-4988

date: 6/25/24

Sheet number
3
of 12

380 SOUTH TAYLOR AVENUE
PLANNED UNIT DEVELOPMENT - SET IN STONE
COLORADO TECHNOLOGICAL CENTER
LOT 18 BLOCK 6
CASE #: PUD-000512-2024

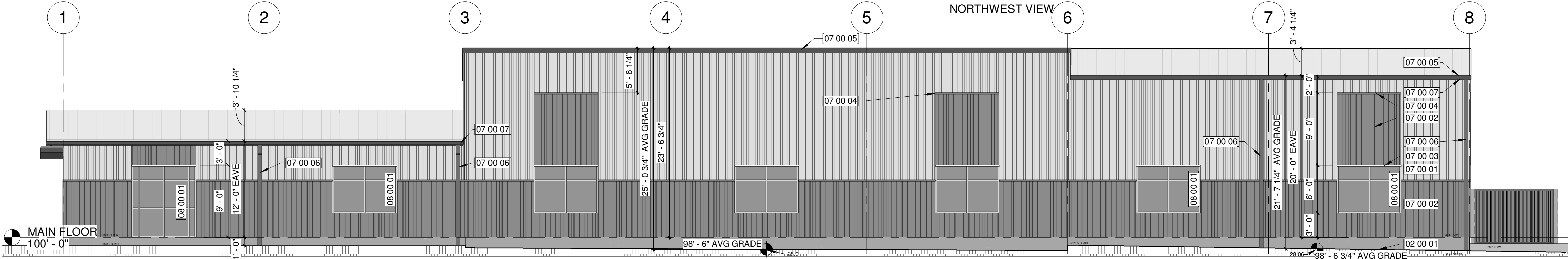


SOUTHEAST VIEW

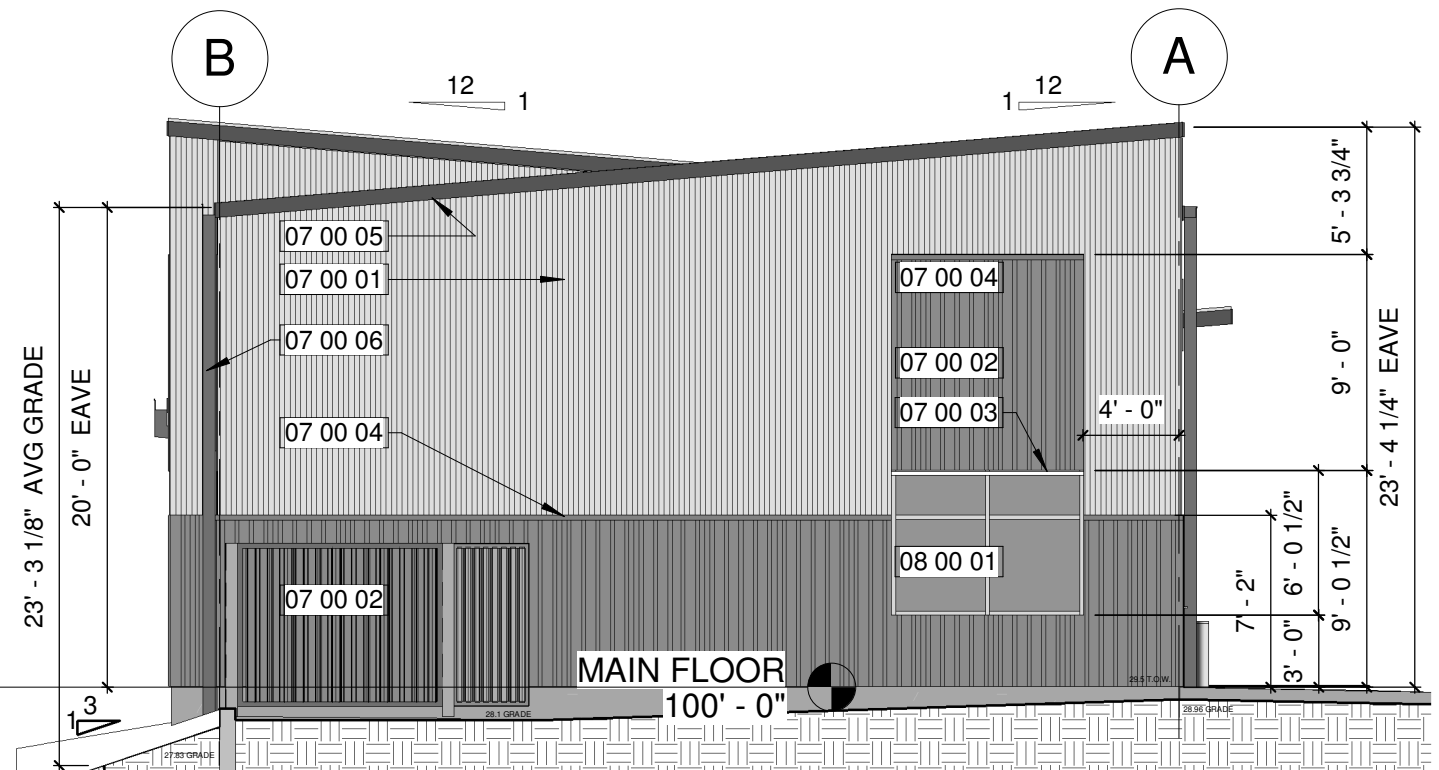
KEYNOTES	
Key Value	Keynote Text
02 00 01	FINISHED GRADE
07 00 01	EM1-1653 PANELS COLOR SNOWDRIFT WHITE W81 - 1"
07 00 02	EM15-1224 PANELS COLOR OLDTOWN GREY W25 - 1-1/2"
07 00 03	2" FLASHING TO MATCH STOREFRONT FRAME ALL WINDOW OPENINGS
07 00 04	2.5" TRANSITION TRIM FROM EM1 TO EM15 PANELS BY CLADDING MANUFR.
07 00 05	8" METAL FASCIA-COLOR TO MATCH EM15 PANELS
07 00 06	6" DOWNSPOUT - DISCHARGE INTO CATCH BASIN @ BELOW GRADE PIPING ADJ TO BUILDINGS - COLOR TO MATCH EM15 PANELS
07 00 07	6" METAL GUTTER-COLOR TO MATCH EM15 PANELS
07 00 08	2" - 24 GA. STANDING SEAM METAL ROOFING OVER SINGLE LAYER MB INSULATION - COLOR TO MATCH EM1-1653 WALL PANELS
08 00 01	GREY INSULATING GLAZING IN 2" X 4.5" MILL FINISH THERMALLY BROKEN FRAMING
08 00 02	HOLLOW METAL INSULATED DOOR IN STEEL FRAME - PAINT TO MATCH EM15-1224 WALL PANELS
08 00 03	OVERHEAD INSULATED SECTIONAL METAL DOOR 14' X 14'
15 00 01	GAS METER
15 00 02	CONDENSING UNITS
16 00 01	ELECTRICAL METER PACK
16 00 02	ELECTRICAL DISCONNECT AND GUTTER



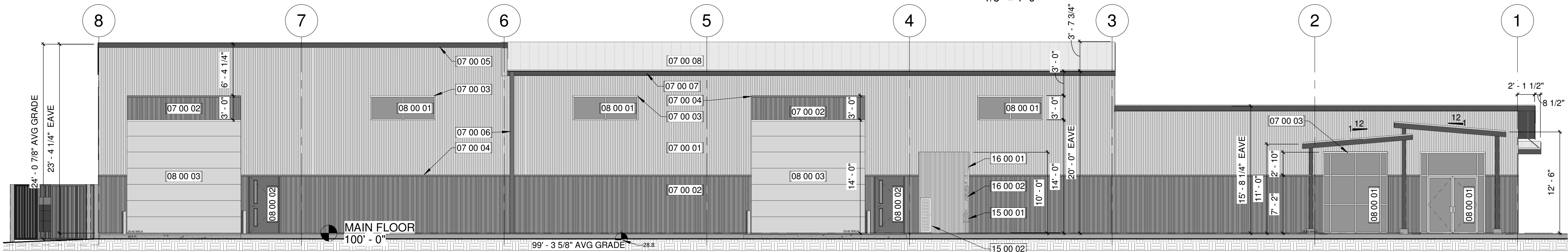
NORTHWEST VIEW



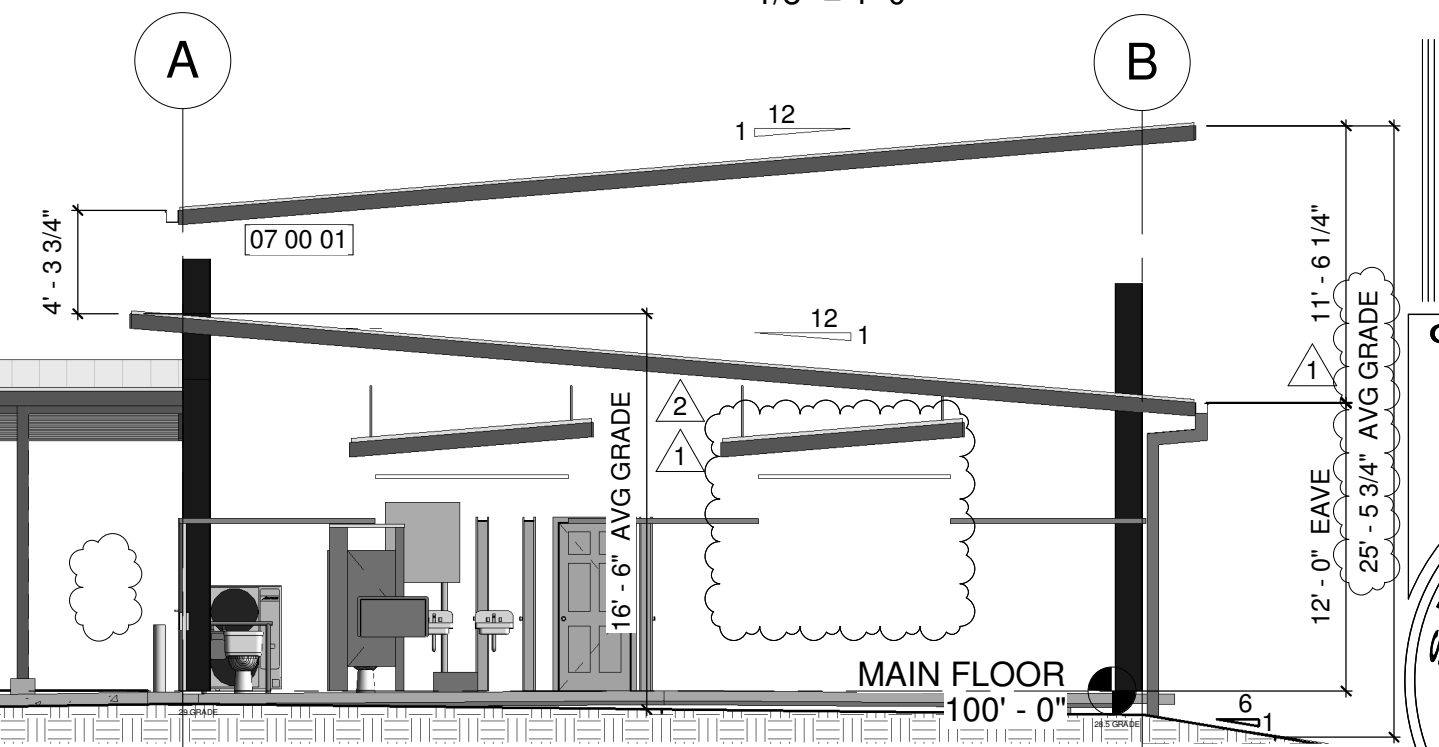
SOUTH ELEVATION SOUTH BUILDING A
1/8" = 1'-0"



EAST ELEVATION SOUTH BUILDING A
1/8" = 1'-0"



NORTH ELEVATION SOUTH BUILDING A
1/8" = 1'-0"



WEST ELEVATION SOUTH BUILDING A
1/8" = 1'-0"

Donato L. Russell Architecture PLLC
ARCHITECTURE PLANNING RESTORATION
LONGMONT, COLORADO dlr@rmi.com 303-324-4988

date: 6/25/24

PLANNED UNIT DEVELOPMENT - SET IN STONE
COLORADO TECHNOLOGICAL CENTER
LOT 18 BLOCK 6
CASE #: **PUD-000512-2024**

A detailed architectural rendering of a modern industrial building. The structure features a dark, flat roof and a facade composed of light-colored vertical siding on the upper portion and dark horizontal siding on the lower portion. The building has several large, multi-paned windows and two large roll-up doors. A prominent covered entrance with a dark frame and glass doors is located on the left side. The building is set against a plain white background.

NORTH BUILDING B NORTHEAST VIEW

This architectural section drawing illustrates a building facade with structural details and dimensions. The drawing is oriented horizontally, with a vertical centerline on the right side. The facade is divided into several vertical sections, each labeled with a number in a circle (9, 10, 11, 12, 13, 14, 15, 16) at the top. The drawing shows a cross-section of the building, including the roof, walls, and floor. Key dimensions and features include:

- Roof and Eave Details:**
 - Left side: 20'-0" EAVE, 3'-6 1/4" height.
 - Section 14: 23'-4 1/4" EAVE.
 - Section 12: 23'-1 1/8" AVG GRADE, 5'-4 1/4" height, 9'-0" width.
 - Section 9: 18'-0" EAVE, 2'-10" height.
- Wall and Floor Details:**
 - Section 16: 07 00 08, 07 00 07, 07 00 06, 07 00 02, 9'-0" height, 1'-11 1/2" width.
 - Section 13: 07 00 05, 07 00 04, 07 00 01, 05 00 03, 07 00 02, 23'-0" height, 9'-0" width.
 - Section 12: 07 00 02, 05 00 03, 23'-0" height, 9'-0" width.
 - Section 11: 07 00 06, 23'-0" height, 9'-0" width.
 - Section 10: 07 00 02, 05 00 03, 23'-0" height, 9'-0" width.
 - Section 9: 07 00 02, 05 00 03, 23'-0" height, 9'-0" width.
- Other Dimensions and Features:**
 - Left side: 3'-0" height, 6'-0" width, 3'-0" height.
 - Section 15: 9'-0" height, 1'-11 1/2" width.
 - Section 14: 23'-0" height, 9'-0" width.
 - Section 13: 23'-0" height, 9'-0" width.
 - Section 12: 23'-0" height, 9'-0" width.
 - Section 11: 23'-0" height, 9'-0" width.
 - Section 10: 23'-0" height, 9'-0" width.
 - Section 9: 23'-0" height, 9'-0" width.
 - Bottom: 100'-0" width, 2'-0" height, 100'-3 5/8" AVG GRADE.

Architectural drawing of the Main Floor plan for a building. The plan shows a rectangular structure with a sloped roof. Key features include:

- Property line on the left.
- 18'-9" AVG GRADE
- 20'-0" EAVE
- 101'-3"
- 30'-25"
- 101'-0 5/8" AVG GRADE
- 30'-62"
- 9'-0"
- 23'-9 3/4" EAVE
- 5'-0"
- 100'-0"

The drawing is labeled 'D' and 'C' in circles. It includes various annotations such as '07 00 05', '07 00 15', '07 00 01', '05 00 03', '08 00 01', '07 00 03', '07 00 04', '07 00 02', and '12'.

This architectural section drawing illustrates the vertical dimensions and structural details of a building facade, divided into six vertical sections labeled 9 through 16. The drawing includes various structural elements such as eaves, rooflines, and interior partitions, with dimensions provided in feet and inches. Key features include:

- Section 9:** Shows a vertical dimension of 9'-6" and a horizontal dimension of 10'-0".
- Section 10:** Features a 23'-8 1/4" eave and a vertical dimension of 6'-8 1/4".
- Section 11:** Includes a vertical dimension of 4'-0" and a horizontal dimension of 10'-0".
- Section 12:** Shows a vertical dimension of 4'-0" and a horizontal dimension of 10'-0".
- Section 13:** Includes a vertical dimension of 14'-0" and a horizontal dimension of 10'-0".
- Section 14:** Features a 20'-0" eave and a vertical dimension of 14'-0".
- Section 15:** Includes a vertical dimension of 23'-4 1/4" and a horizontal dimension of 10'-0".
- Section 16:** Shows a vertical dimension of 23'-4 1/4" and a horizontal dimension of 10'-0".

The drawing also includes a "MAIN FLOOR" label and a "99' - 3 3/8" AVG GRADE" label. The overall vertical dimension of the building is 24' - 3 7/8" AVG GRADE.

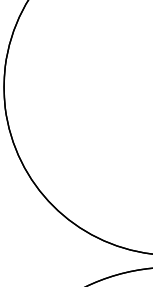
Architectural elevation drawing of the rear of a building. The drawing shows a main floor and a second floor. The main floor has a large window on the left and a door on the right. The second floor has a large window on the left and a smaller window on the right. The drawing includes dimensions for the building's height and width, and labels for various features like 'MAIN FLOOR', 'AVG GRADE', and 'PROPERTY LINE'. Callouts 07 00 01 through 07 00 06 point to specific architectural details.

KEYNOTES	
Key Value	Keynote Text
05 00 03	2" STEEL TUBE SIMULATED WINDOW FRAME OVER PANELING PAINTED TO MATCH STOREFRONT MILL FINISH
07 00 01	EM1-1653 PANELS COLOR SNOWDRIFT WHITE W81 - 1"
07 00 02	EM15-1224 PANELS COLOR OLD TOWN GREY W25 - 1-1/2"
07 00 03	2" FLASHING TO MATCH STOREFRONT FRAME ALL WINDOW OPENINGS
07 00 04	2.5" TRANSITION TRIM FROM EM1 TO EM15 PANELS BY CLADDING MANUFR.
07 00 05	8" METAL FASCIA-COLOR TO MATCH EM15 PANELS
07 00 06	6" DOWNSPOUT - DISCHARGE INTO CATCH BASIN @ BELOW GRADE PIPING ADJ TO BUILDINGS -COLOR TO MATCH EM15 PANELS
07 00 07	6" METAL GUTTER-COLOR TO MATCH EM15 PANELS
07 00 08	2" - 24 GA. STANDING SEAM METAL ROOFING OVER SINGLE LAYER MB INSULATION - COLOR TO MATCH EM1-1653 WALL PANELS
07 00 15	CABLE STAYED CANOPIES/ENTRANCE CANOPIES TO MATCH ROOF
08 00 01	GREY INSULATING GLAZING IN 2' X 4.5' MILL FINISH THERMALLY BROKEN FRAMING
08 00 02	HOLLOW METAL INSULATED DOOR IN 2' X 4.5' MILL FINISH - PAINT TO MATCH EM15-1224 WALL PANELS
08 00 03	OVERHEAD INSULATED SECTIONAL METAL DOOR 14" X 14"

This document contains sensitive and/or proprietary information and therefore must be treated as a confidential document. Acceptance of this document signifies that the recipient understands and agrees that the information herein shall be maintained and transmitted in a confidential manner. No part of this document shall be reproduced, released or distributed without the express written permission of DONATO L. RUSSELL ARCHITECTURE.

No.	Description	Date
1	PUD REVIEW REVISIONS	11/4 /24
2	PUD REVIEW REVISIONS #2	2/10/25

KEYNOTES	
Key Value	Keynote Text

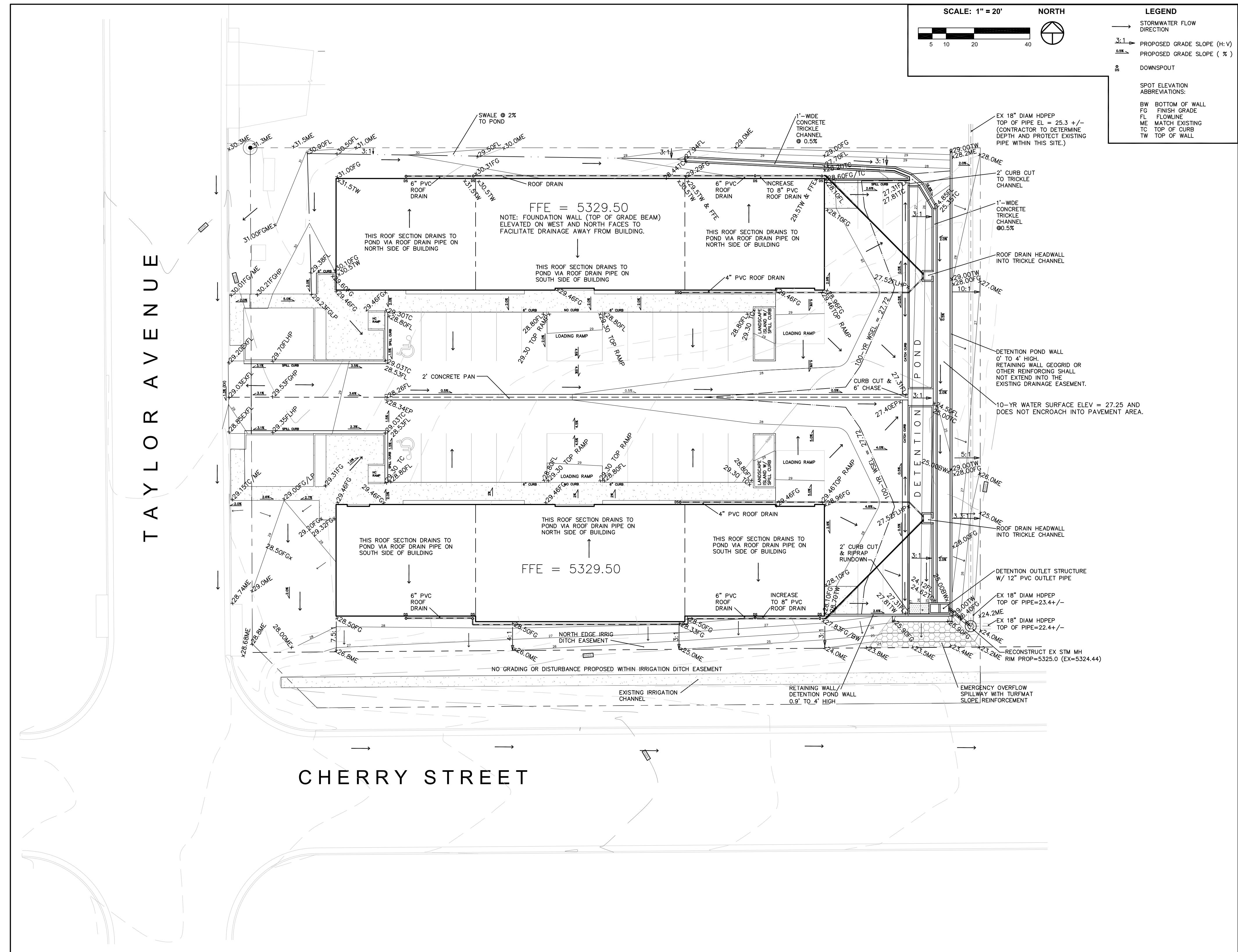
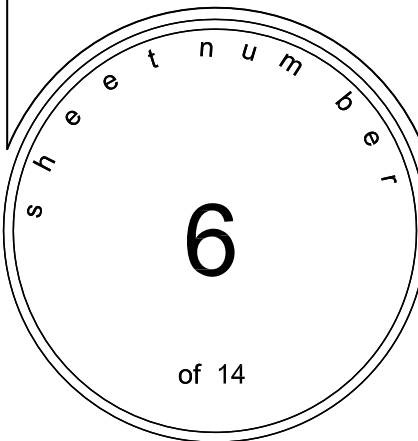


No.	REVISION DESCRIPTION	DATE
1	DROP SITE BY 1'. REMOVE 2:1 SLOPES. REPLACE CENTER PIPE WITH PAN ONLY.	11/4/2024
2	RAISE FFE 0.5'. REPLACE PARK BLOCKS W/ CURB. NORTH SETBACK DRAIN SWALE.	2/10/2025

This document contains sensitive and/or proprietary information and therefore must be treated as a confidential document. Acceptance of this document constitutes an agreement that this document and the information contained herein shall be maintained and transmitted in a confidential manner. No part of this document shall be reproduced, released or distributed without the express written permission of DONATO L. RUSSELL ARCHITECTURE.

DONATO L. RUSSELL ARCHITECTURE LLC
ARCHITECTURE PLANNING RESTORATION
LONGMONT, COLORADO dlr@rmi.com 303-324-4988

date: 6/25/2024



NOTES:
All ADA accessible stalls and landings shall be no more than 2% in any direction.
The Accessible route shall be no more than 5% longitudinal slope and no more than 2% cross slope.

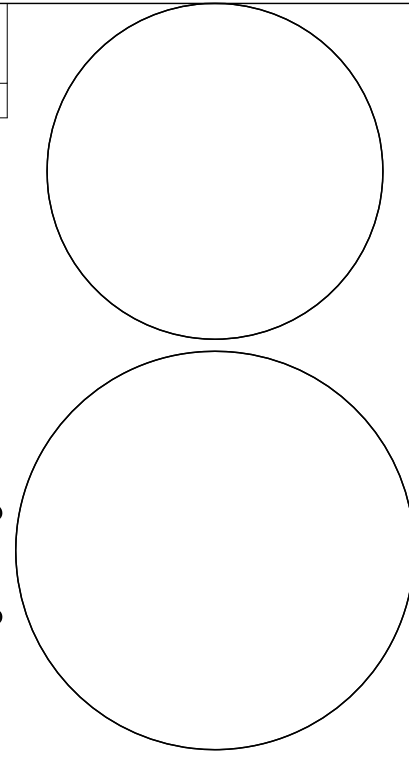
All new storm sewer is privately owned and maintained unless otherwise noted.

GRADING & DRAINAGE PLAN (PUD)

380 SOUTH TAYLOR AVENUE
PLANNED UNIT DEVELOPMENT - SET IN STONE
COLORADO TECHNOLOGICAL CENTER -- LOT 18 BLOCK 6
CASE #: PUD-000512-2024

KEYNOTES	
Key Value	Keynote Text

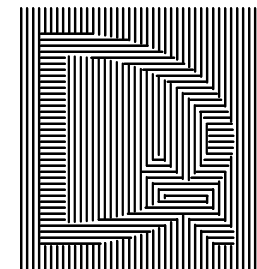
ARMFIELD ENGINEERING, LLC
904 Alta Street, Longmont, CO 80501
(720) 363-7125
armfieldengineering.com



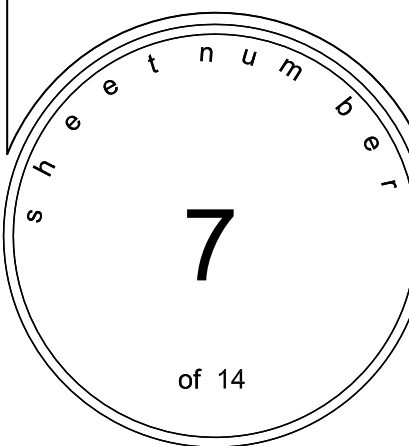
No.	REVISION DESCRIPTION	DATE
1	DROP SITE BY 1'. REMOVE 2:1 SLOPES, REPLACE CENTER PIPE WITH PAN ONLY.	11/4/2024
2	OUTLET STRUCTURE CHANGES FOR NEW GRADING, SPILLWAY IN DOWN.	2/10/2025

This document contains sensitive and/or proprietary information and therefore constitutes an agreement that this document and the information contained herein shall be held in confidence and shall not be disclosed to any third party without the written permission of DONATO L. RUSSELL ARCHITECTURE.

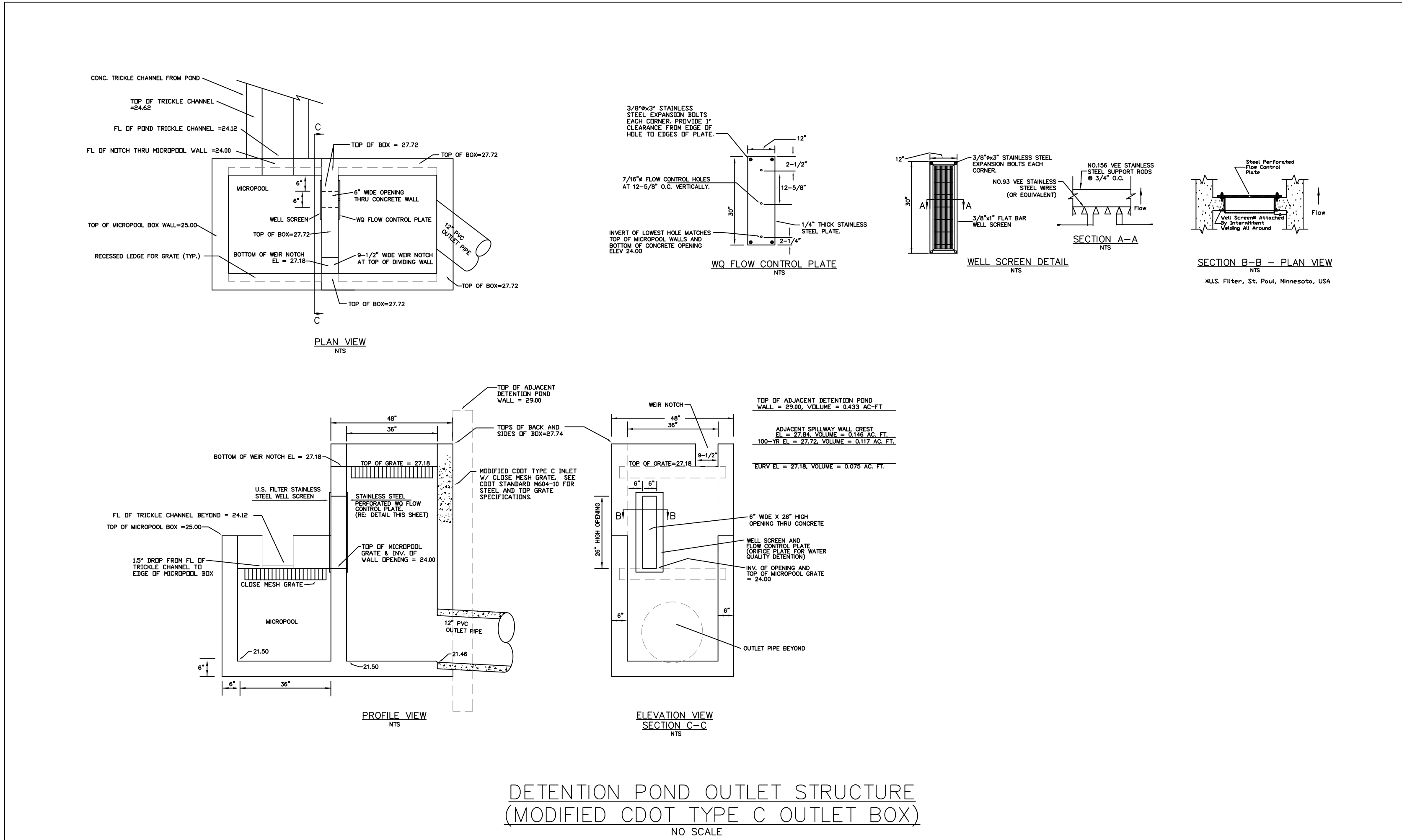
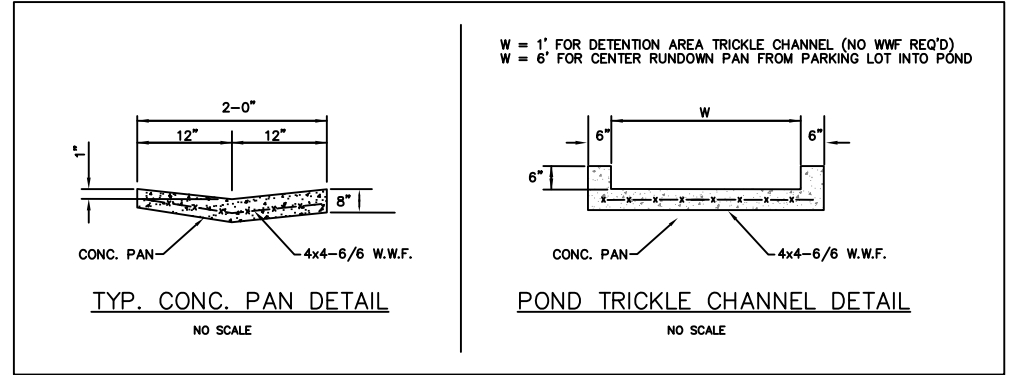
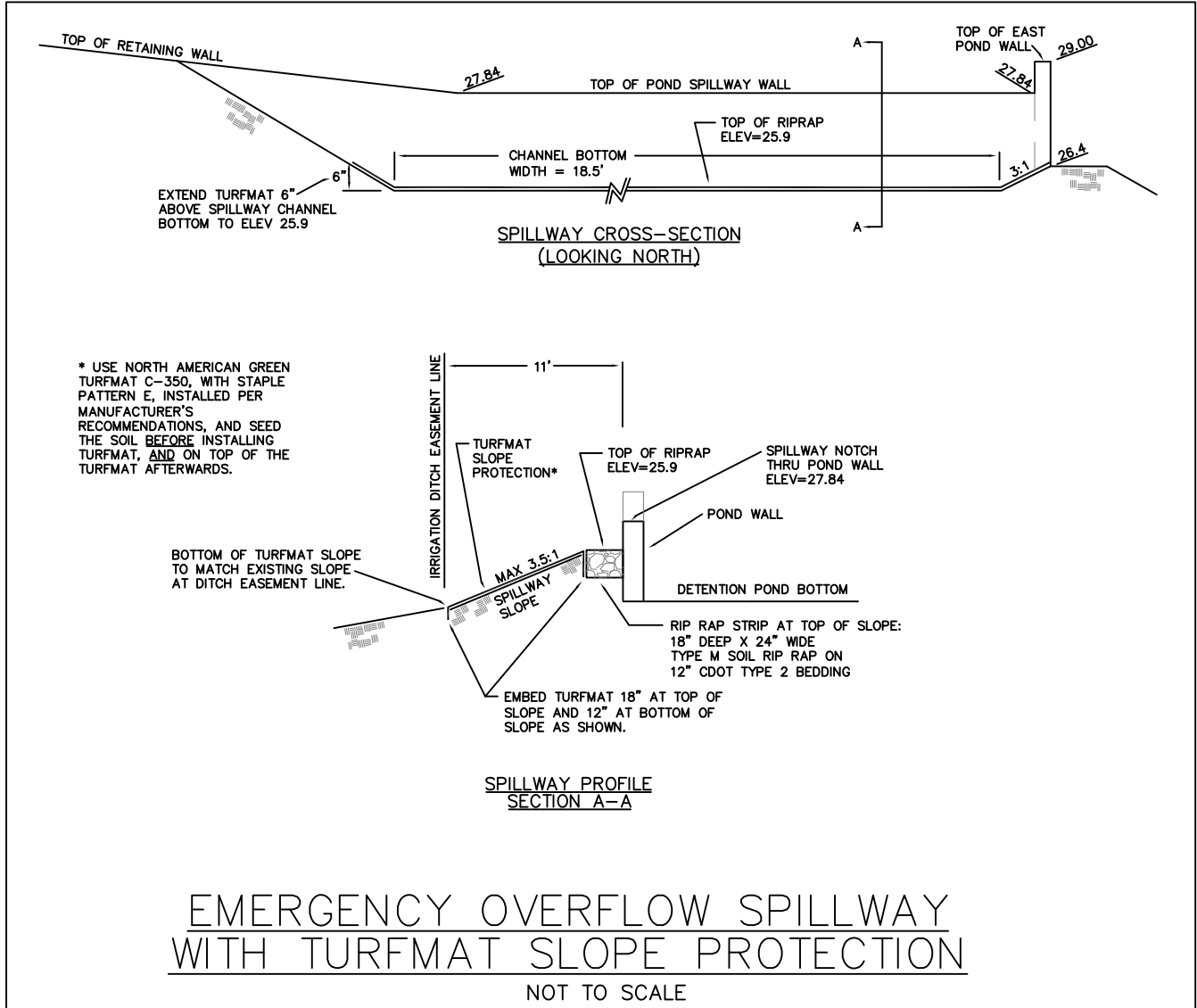
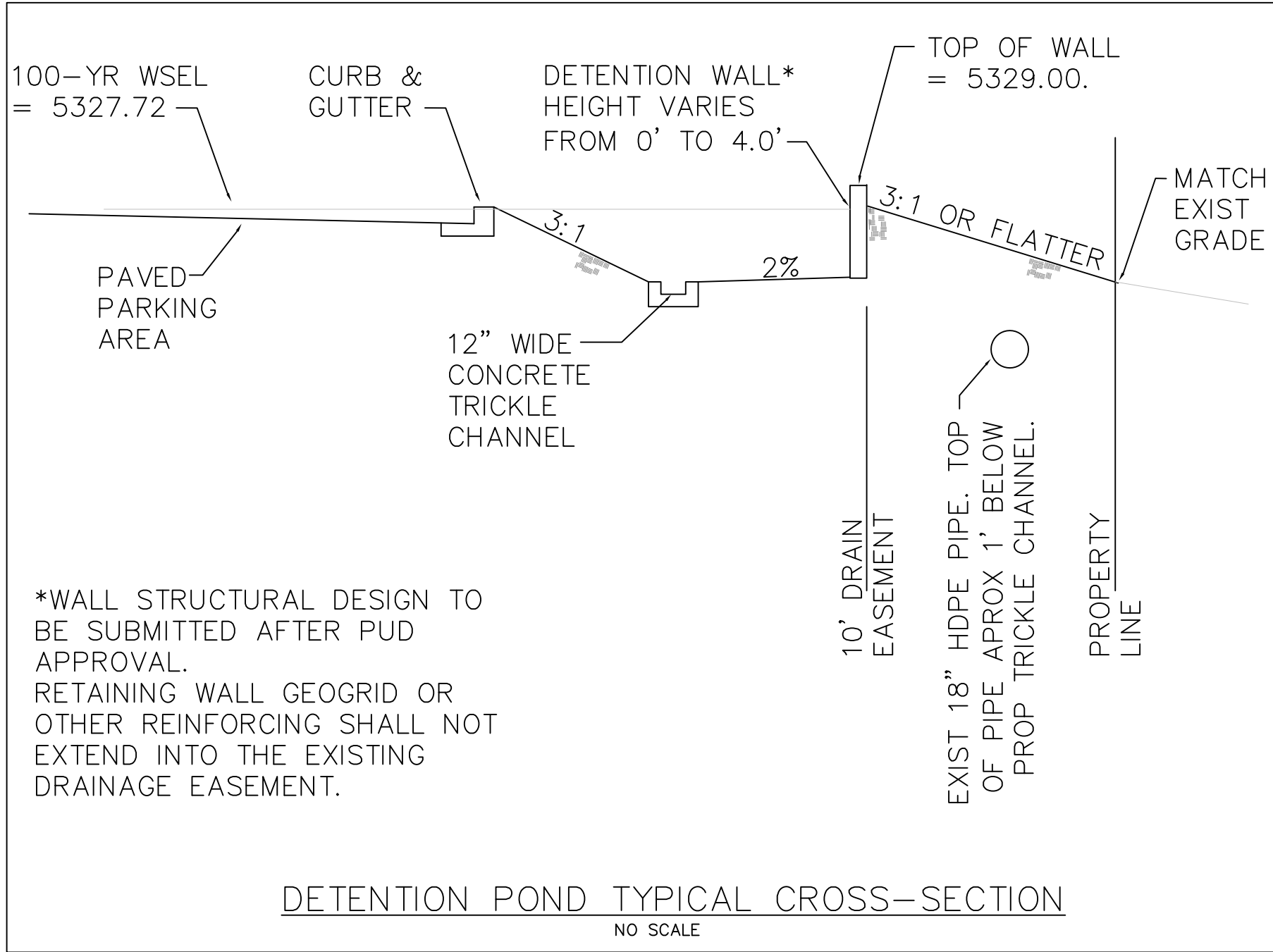
DONATO L. RUSSELL ARCHITECTURE LLC
ARCHITECTURE PLANNING RESTORATION
LONGMONT, COLORADO dl@rmi.com 303-324-4988



date: 6/25/2024



DRAINAGE DETAILS



380 SOUTH TAYLOR AVENUE
PLANNED UNIT DEVELOPMENT - SET IN STONE
COLORADO TECHNOLOGICAL CENTER
LOT 18 BLOCK 6
CASE #: PUD-000512-2024

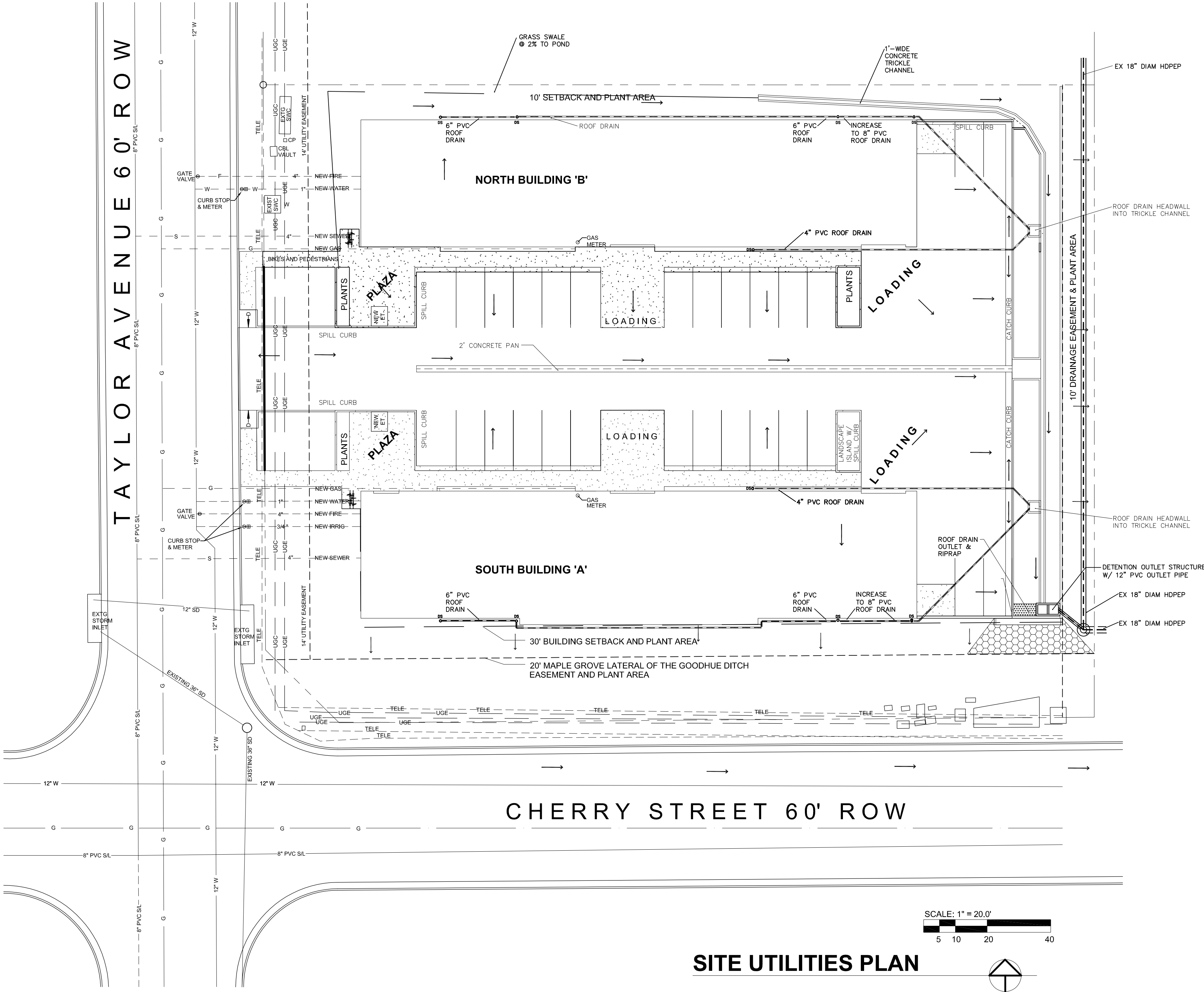
MASTER UTILITY PLAN

E. WAYNE WENTWORTH
CIVIL ENGINEERING DESIGN
202 MAIN STREET, SUITE 4
LONGMONT, COLORADO 80501

PHONE 303-775-7962
wentwrth@aol.com

DATE	SCALE	JOB NUMBER
6/16/24	NOTED	

REVISIONS	
DATE	BY
11/4/24	
2/10/25	



SITE UTILITIES PLAN

date:
6/16/24

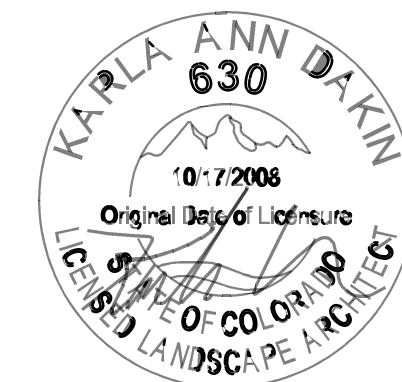
sheet number

8

of 14

380 SOUTH TAYLOR AVENUE
PLANNED UNIT DEVELOPMENT - SET IN STONE
COLORADO TECHNOLOGICAL CENTER
LOT 18 BLOCK 6
CASE #: PUD 000512-2024

KEYNOTES	
Key Value	Keynote Text



LANDSCAPE ARCHITECT:
K. DAKIN DESIGN



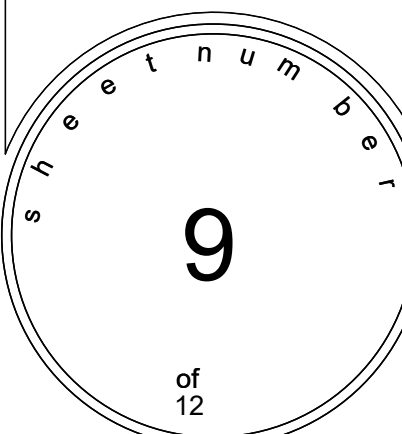
1240 LA FARGE AVE. LOUISVILLE, CO. 80027
TEL. 303.694.2988 karda@kardakindesign.com
Colorado Landscape Architect Lic. #630

No.	REVISION DESCRIPTION	DATE
1	Karla Dakin	11/11/24
2	Karla Dakin	2/10/25

This document contains sensitive and/or proprietary information and therefore must be treated as a confidential document. Acceptance of this document by the client shall constitute an acknowledgment of the confidential nature of the information herein and shall be maintained and transmitted in a confidential manner. No part of this document shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the express written permission of DONATO L. RUSSELL ARCHITECTURE.

DONATO L. RUSSELL ARCHITECTURE LLC
ARCHITECTURE PLANNING RESTORATION
LONGMONT, COLORADO dr@rmi.com 303-324-4988

date:
4/02/2025

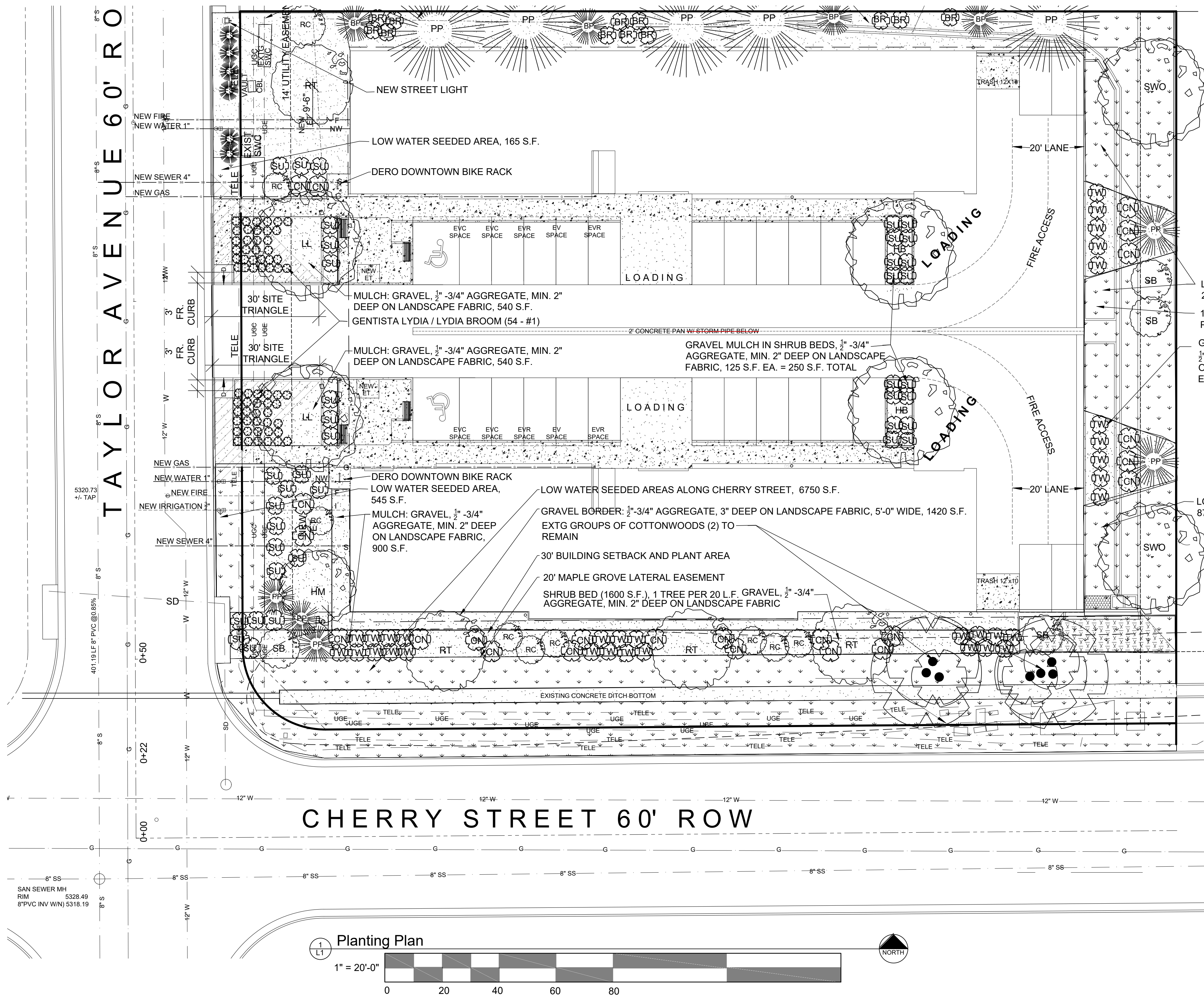


LEGEND - GENERAL SITE

- REMOVE TREE
- EXISTING TREE
- PROPERTY LINE
- TREE PROTECTION FENCING
- WATER LINE FOR FIRE SERVICE
- F — FIRE LINE
- NW — NEW WATER LINE
- SS — SEWER LINE
- G — GAS LINE
- W — WATER LINE
- SD — STORM WATER LINE
- TELE — TELEPHONE LINE
- UGE — UNDERGROUND ELECTRIC

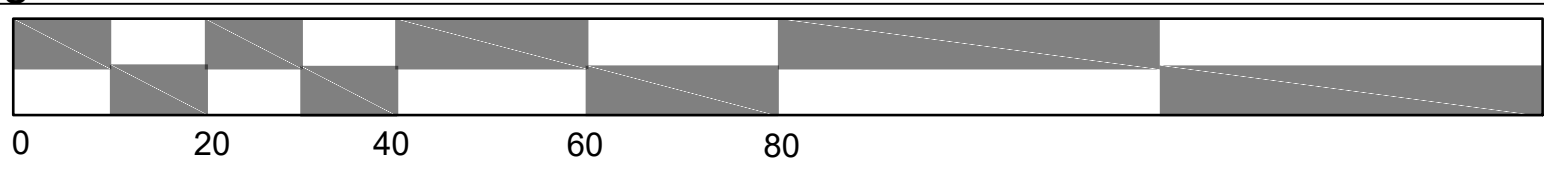
PLANT LEGEND

- | SYMBOL | DESCRIPTION |
|--------|---|
| ● | EXISTING TREES TO STAY |
| × | EXISTING TREES TO BE REMOVED |
| | CANOPY TREE |
| | EVERGREEN TREE |
| | ORNAMENTAL TREE |
| | SHRUBS |
| | LOW WATER SEEDDED GRASS, SEE PLANT SCHEDULE, L2 |
| | GRAVEL MULCH |



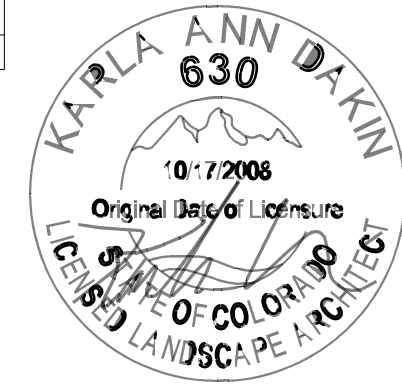
Planting Plan

1" = 20'-0"



380 SOUTH TAYLOR AVENUE
PLANNED UNIT DEVELOPMENT - SET IN STONE
COLORADO TECHNOLOGICAL CENTER
LOT 18 BLOCK 6
CASE #: PUD 000512-2024

KEYNOTES	
Key Value	Keynote Text



LANDSCAPE ARCHITECT:

K. DAKIN DESIGN



1240 LA FARGE AVE. LOUISVILLE, CO 80027
TEL. 303.694.2889 karda@kardadesign.com
Colorado Landscape Architect Lic. #630

No.	REVISION DESCRIPTION	DATE	
		1/17/2024	2/6/25
1	Karie Dakin		
2	Karie Dakin		

This document contains proprietary and/or confidential information and therefore its use, reproduction, or distribution is strictly prohibited without the written consent of K. Dakin Design. The information contained herein is for the sole use of the client and is not to be used for any other purpose. If you are not an intended recipient of this document, please do not print, copy, or distribute it. If you have received this document in error, please contact the sender immediately. K. Dakin Design, LLC

DONATO L. RUSSELL ARCHITECTURE LLC
ARCHITECTURE PLANNING RESTORATION
LONGMONT, COLORADO dir@rml.com 303-324-4988

Water requirements added

PLANT SCHEDULE- PROPOSED						
SYMBOL	ABREV.	BOTANICAL NAME / COMMON NAME	SIZE	AMT.	MAT. HT.	WATER REQ.
		EVERGREEN TREES		28		
	PP BP PO	PINUS EDULIS / PINON PINE PINUS HELDREICHII / BOSIAN PINE PINUS PONDEROSA / PONDEROSA PINE	6-8' T. 6-8' T. 6-8' T.	5 4 5	30' 25' 80'	VERY LOW LOW LOW
		DECIDUOUS TREES				
	HM HB SWO LL	ACER GRANDIDENTATUM HIGHLAND PARK / HIGHLAND PARK MAPLE CELTIS OCCIDENTALIS / WESTERN HACKBERRY QUERCUS BICOLOR / SWAMP WHITE OAK TILIA CORDATA / LITTLE LEAF LINDEN	2.5" C. 2.5" C. 2.5" C. 2.5" C.	1 2 2 2	35' 60' 60' 50'	LOW LOW LOW MED
		ORNAMENTAL TREES				
	SB RT RC	AMELCHANIER CANADENSIS SHADBLOW SERVICEBERRY KOELREUTERIA PANICULATA / GOLDEN RAIN TREE MALUS 'RED BARRON' / RED BARRON CRABAPPLE	2.0" C 2.0" C 2.0" C	3 4 9	25' 30' 18'	LOW LOW MED
		SHRUBS : DECIDUOUS & EVERGREEN				
	TW GL FS SU BR	ARTEMISIA TRIDENTATA / TALL WESTERN SAGEBRUSH GENISTA LYDIA / LYDIA BROOM PICEA PUNGENS 'ISELI FASTIGIATE' RHUS TRILOBATA 'AUTUMN AMBER' / CREEPING 3-LEAF SUMAC RUBUS DELICIOSUS / BOULDER RASBERRY	#5 #5 #10 #5 #5	33 61 6 39 12	12" 12" 15' 18" 6'	LOW LOW MED LOW LOW
		GRASS: SEEDED, LOW WATER FINE FESCUE BLEND	10,538 S.F.			VERY LOW
		MIXTURE	VARIETIES	% OF MIX BY WT	PLS#*/ACRE	
		FESTUCA TRACHYPHYLLA / HARD FESCUE	DURAR, RHINO	28	25	
		FESTUCA OVINA / SHEEP FESCUE	COVAR	22	20	
		FESTUCA OVINA / BLUE FESCUE	SR 3200, SR 3210	22	20	
		FESTUCA RUBRA / CREEPING RED FESCUE	SHADOW II SR 5100, ARUBA	28	25	
		SEEDING RATE FOR IRRIG. F.F. TURF	TOTAL PLS*/ACRE	90	# / ACRE	
		SEEDING RATE FOR MIN. IRRIG. OR NON-IRRIG., UNMOWED F.F. GRASSLAND	TOTAL PLS*/ACRE	25	# / ACRE	
		*PLS - PURE LIVE SEED (WEIGHT GIVEN IS ONLY SEED, NOT CHAFF)				
PLANT SCHEDULE- EXISTING TO REMAIN						
		BOTANICAL NAME / COMMON NAME	SIZE	AMT.		
		CANOPY TREES				
		POPULUS SP. / COTTON WOOD	4." - 2' C.	2 GROUPS		
		GRAVEL				
		1/2"-3/4" AGGREGATE, 2-3" DEEP (VARIES ON SHRUB BEDS) ON LANDSCAPE FABRIC		7335 S.F.		

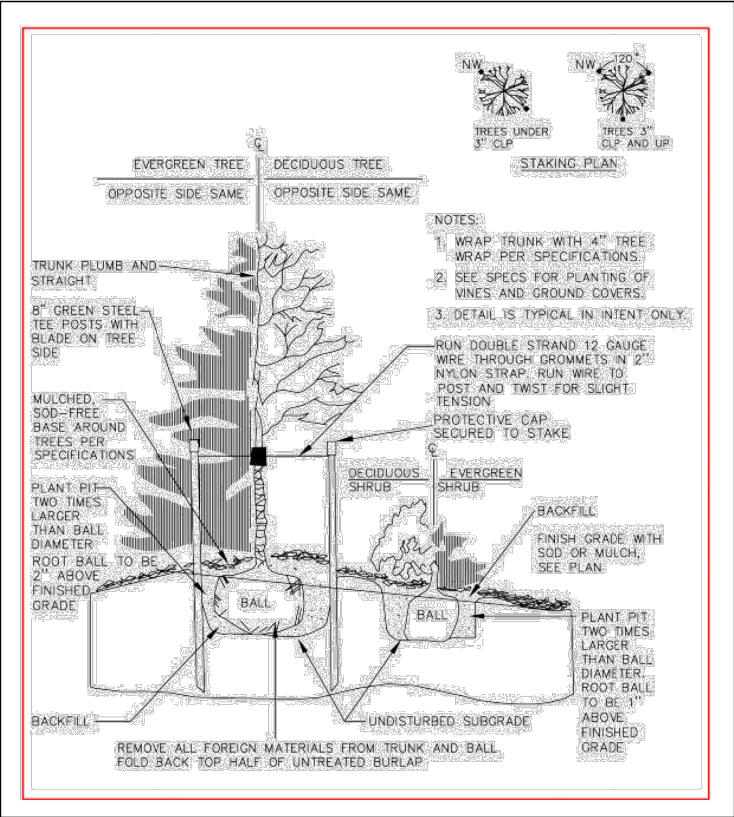
PLAN NOTES

REFERENCE: CITY OF LOUISVILLE, INDUSTRIAL DEVELOPMENT DESIGN STANDARDS AND GUIDELINES (IDDSG), JANUARY, 2000.

- GRADES SHALL BE SET TO ALLOW FOR PROPER DRAINAGE AWAY FROM ALL STRUCTURES. GRADES SHALL MAINTAIN SMOOTH PROFILES AND BE FREE OF SURFACE DEBRIS, BUMPS, AND DEPRESSIONS.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR GRADING AND UTILITIES.
- DEVELOPERS SHALL ENSURE THAT THE LANDSCAPE PLANS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- DURING CONSTRUCTION, PREVENT CLEANING OF EQUIPMENT, THE STORAGE OR DISPOSAL OF WASTE BUILDING MATERIAL (I. E. PAINT, OILS, SOLVENTS, ASPHALT, CONCRETE, MORTAR) WITHIN THE DRIPLINE OF ANY PROTECTED TREE OR GROUPS OF TREES.
- SITE PREPARATION & ALL PLANTING MUST BE COMPLETED IN ACCORDANCE WITH CHAPTERS 1 & 5 OF IDDSG. PRIOR TO INSTALLATION OF PLANT MATERIAL, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED, ORGANIC AMENDMENTS SUCH AS COMPOST, PEAL, OR AGED MANURE SHALL BE THOROUGHLY INCORPORATED AT THE RATE OF AT LEAST THREE (3) CUBIC YARDS OF AMENDMENT PER 1000 SQUARE FEET OF LANDSCAPE AREA.
- ALL TREES & SHRUBS SHOWN AT APPROXIMATELY 2/3'S OF MATURE SIZE.
- CONTRACTOR SHALL VERIFY ALL MATERIALS QUANTITIES PRIOR TO INSTALLATION. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER THE QUANTITY DESIGNATED.
- LABELS THAT IDENTIFY THE BOTANICAL OR COMMON NAME WILL BE ON ALL TREES AT THE FINAL INSPECTION.
- ALL PLANT MATERIALS WILL MEET THE FOLLOWING MINIMUM SIZES, AS NOTED IN SECT. 5-7:
 - DECIDUOUS SHADE/CANOPY TREES: 2.5" CALIPER
 - ORNAMENTAL: 2.0" CALIPER*
 - EVERGREEN TREES: 6'-8" HEIGHT (WITH A MINIMUM OF 25% 8" IN HEIGHT)
 - MULTI-STEM ORNAMENTALS: 8'-10" HEIGHT
 - SHRUBS: 5 GALLON CONTAINER
 - GROUND COVER/PERENNIALS: 2 1/4" POTS
 - VINES: 1 GALLON CONTAINER
- ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT.
- DECIDUOUS TREES SHALL BE PLANTED A MINIMUM OF 5- FEET AND EVERGREEN TREES A MINIMUM OF 10- FEET FROM PUBLIC UTILITIES AND PUBLIC SIDEWALKS, UNLESS MODIFIED BY PUD STREET TREE PLANS. TREE PLANTING SHALL BE COORDINATED WITH PUBLIC SERVICE COMPANY. LOCATION OF ALL UTILITIES SHALL BE VERIFIED IN THE FIELD PRIOR TO PLANTING. A HORIZONTAL DISTANCE OF 40' BETWEEN STREET TREE AND STREET LIGHT SHALL BE MAINTAINED.
- NO EDGING AROUND SHRUBS PLANTED IN SEEDED AREAS. USE ROLLED METAL EDGING AROUND PERENNIAL AND SHRUB BEDS THAT LINE STREETS AND SIDEWALKS
- INSTALL PERMANENT MULCH, GRAY GRAVEL 3/4", 2" DEEP, IN SHRUB, TREE, AND PERENNIAL PLANTED BEDS. PERENNIALS LIKE LAMB'S EAR AND NEPETA SHOULD BE ALLOWED TO SPREAD AND FILL IN.
- THE PROPERTY OWNER IS RESPONSIBLE FOR PROVIDING, PROTECTING AND MAINTAINING ALL LANDSCAPING IN A HEALTHY AND GROWING CONDITION, AND ADHERE TO ALL STANDARDS OF GUIDELINE OF SECTION 5-8 OF IDDSG. THE PROPERTY OWNER WILL REMOVE AND REPLACE DEAD PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OR PLANT MATERIAL AS ORIGINALLY INSTALLED, UNLESS MATERIAL IS DISEASED OR INSECT-INFECTED.
- ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH PERMANENT AUTOMATIC IRRIGATION SYSTEM DESIGNED TO PROVIDE EFFICIENT IRRIGATION COVERAGE WITH MINIMAL OVER SPRAY ONTO NON-LANDSCAPED AREAS.
- A SOIL SENSING DEVICE OR OTHER IRRIGATION MANAGEMENT SYSTEM WILL BE INSTALLED FOR IRRIGATION SYSTEMS IN TURF AREAS.
- ALL SEEDED AREAS UNLESS OTHERWISE NOTES WILL BE SEEDED WITH DRYLAND / NATIVE SEED TO SUIT SPECIFIC SOIL CONDITION AND MAINTANCE REQUIREMENTS.

IDDSG - Landscape Data Table (PUDs and SRUs)

	Required	Existing (if req'd)	Proposed
Total Site Area			52,258 S.F.
Perimeter Landscaping	# / linear foot		
Adjacent to Public/Private Road			
In ROW (tree lawn)	1 per 40 l.f.	N/A	N/A
On Private Property 450 L.F.	1 per 20 l.f.	22.5	23
Evergreen Trees		0	6
Deciduous Trees		2	8
Ornamental Trees		0	9
	TOTAL	2	23
Shrub Beds	% of total streetscape area 20% = 3000 S.F.	0	3580 S.F.
Shrubs per Tree 6	# within streetscape area 126	0	126
	TOTAL	0	126
Adjacent to Same Zoning 477 L.F.	# / linear foot		
Public Zone	231 L.F.	?	6
Private Zone 30 PER L.F.	234 L.F.	7.8	8
Evergreen Trees		0	11
Deciduous Trees		0	2
Ornamental Trees		0	3
	TOTAL	0	16
Shrubs/Vines/Grasses		N/A	28
	TOTAL	N/A	28
Adjacent to Res/Ag/Open Space Zoning	# / linear foot	N/A	N/A
Evergreen Trees		N/A	N/A
Deciduous Trees		N/A	N/A
Ornamental Trees		N/A	N/A
	TOTAL	N/A	N/A
Shrubs/Vines/Grasse		N/A	N/A
	TOTAL	N/A	N/A
Screen hedge	% of length of perimeter	N/A	N/A
Parking Lot Landscaping			
Overall 34 SPACES	Trees per 16 spaces		
Landscape Medians	# per 30 l.f.	2	2
Canopy Shade Trees		2	2
Deciduous Trees		0	0
Ornamental Trees		0	0
	TOTAL	2	2
Shrubs/Vines/Grasses	# per 30 l.f.		
	TOTAL		
Landscape Islands		N/A	N/A
Evergreen Trees		N/A	N/A
Deciduous Trees	2	N/A	2
Ornamental Trees		N/A	N/A
	TOTAL	N/A	N/A
Shrubs/Vines/Grasses	Min. of 8 shrubs/island	N/A	8
	TOTAL		
Building Site Landscaping			
Planting Bed	Linear footage of bldg.	SEE PERIMETER LANDSCAPING	
	perimeter		
Evergreen Trees	# / linear foot of bldg. footage	SEE PERIMETER LANDSCAPING	
Deciduous Trees		SEE PERIMETER LANDSCAPING	
Ornamental Trees		SEE PERIMETER LANDSCAPING	
	TOTAL		
Shrubs/Vines/Grasses			
	TOTAL	0	



TREE AND SHRUB PLANTING DETAILS

380 SOUTH TAYLOR AVENUE
PLANNED UNIT DEVELOPMENT - SET IN STONE
COLORADO TECHNOLOGICAL CENTER
LOT 18 BLOCK 6
CASE #: PUD-000512-2024

REVISION SCHEDULE		
Revision Number	Revision Description	Revision Date

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.6 fc	9.8 fc	0.0 fc	N/A	N/A

PROVIDED BY
TLA

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Filename	Light Loss Factor	Total Lumens	Wattage	Plot
	A	4	Lithonia Lighting	WDGE2 LED P5 30K 80CRI VW	WDGE2 LED WITH P5 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC	WDGE2_LED_P5_30K_80CRI_V Wires	1	5921	48.44	
	B	4	Lithonia Lighting	WDGE2 LED P4 30K 80CRI T4H	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 3000K, 80CRI, TYPE 4 MEDIUM OPTIC	WDGE2_LED_P4_30K_80CRI_T4 Wires	1	3978	46.6589	
	C	2	Lithonia Lighting	WDGE2 LED P2 30K 80CRI VW	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC	WDGE2_LED_P2_30K_80CRI_V Wires	1	1997	14.53	

Luminaire Locations

		Location						Aim		
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	A	-158.00	616.00	16.00	16.00	0.00	0.00	-158.00	616.00	0.00
2	A	-240.00	617.00	16.00	16.00	0.00	0.00	-240.00	617.00	0.00
3	A	-239.00	692.00	16.00	16.00	180.00	0.00	-239.00	692.00	0.00
4	A	-158.00	692.00	16.00	16.00	180.00	0.00	-158.00	692.00	0.00
1	B	-199.00	616.00	16.00	16.00	0.00	0.00	-199.00	616.00	0.00
2	B	-199.00	692.00	16.00	16.00	180.00	0.00	-199.00	692.00	0.00
3	B	-298.00	691.00	16.00	16.00	180.00	0.00	-298.00	691.00	0.00
4	B	-299.00	617.00	16.00	16.00	0.00	0.00	-299.00	617.00	0.00
1	C	-148.00	596.00	12.00	12.00	90.00	0.00	-148.00	596.00	0.00
2	C	-148.00	713.00	12.00	12.00	90.00	0.00	-148.00	713.00	0.00

Note

Lighting calculation software is for estimating purposes only, not generating exact values.

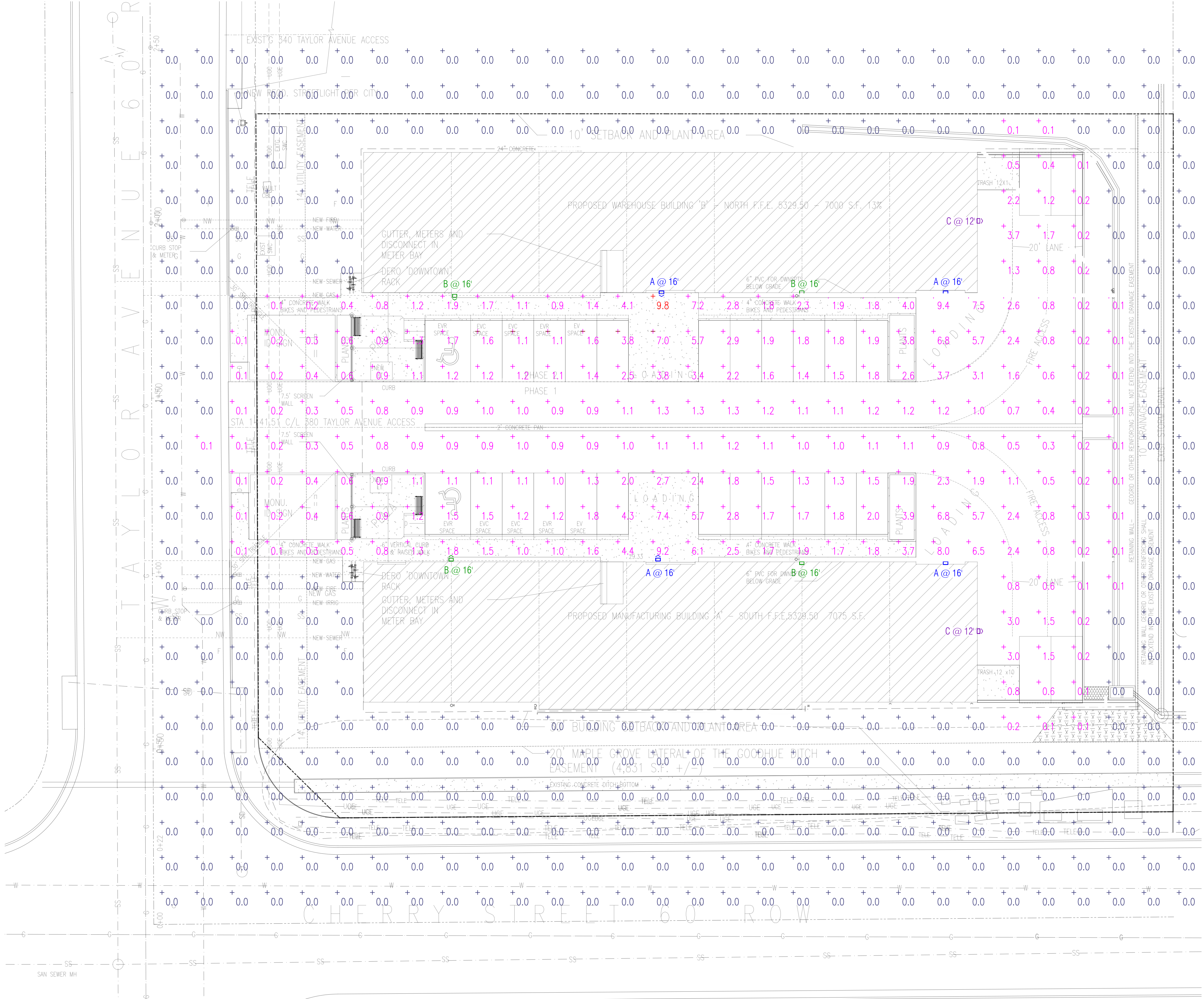
These calculations are for the use and adoption by our clients and theirs' solely at their discretion. This includes evaluation of the calculated lighting levels and model by the Architect, Engineer, Lighting Designer or Owner for adherence to the project's lighting specifications for levels and uniformity.

We make no guarantees of meeting any subjective expectations. Calculations are based on a model only. Space characteristics and electrical supply to fixtures, along with installation details, may alter fixture output and model performance. Model is based on standard reflectance values unless otherwise noted.

Any variance from reflectance values, obstructions, light loss factors (including both physical and electrical in nature) or dimensional data will affect the actual light levels obtained.

Final construction drawings and calculations are the responsibility of a licensed architect or engineer.

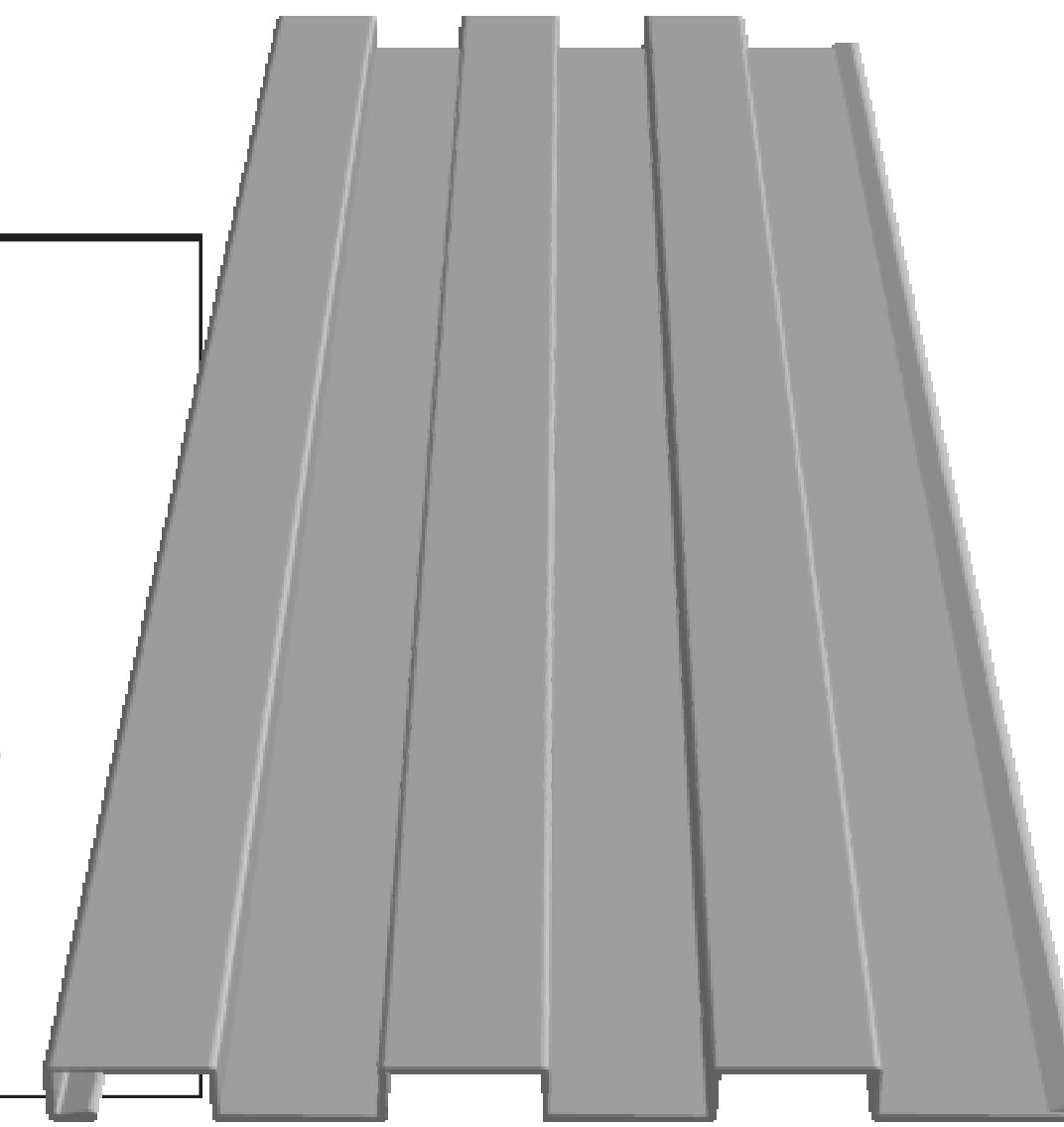
The Lighting Agency provides these calculations as a courtesy for evaluation only.



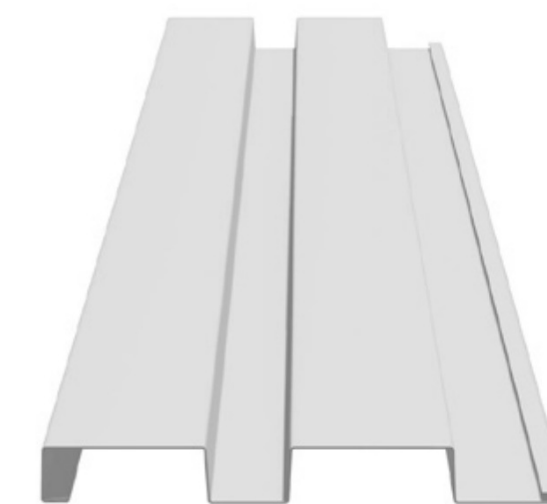


2" STANDARD

Technical drawing of a rectangular object, 16" wide and 1" high. The width is divided into five equal segments of 2.67" each. The height is 1". The drawing includes dimension lines and labels for the width segments and the total width.



A cross-sectional diagram of a concrete curb. The curb has a total width of 12 inches, indicated by a dimension line at the top labeled "12" Coverage". The top flange has a height of 1-1/2 inches, shown on the left. The top flange itself is 4 inches wide. The base of the curb is 2 inches wide. The curb is shown in a cross-section, with a vertical line indicating the edge of the concrete.



date: 6/25/24

Sheet number
00
of 12

MATERIAL SAMPLES
1/2" = 0'-1"


**DONATO L. RUSSELL ARCHITECTURE PLLC
 ARCHITECTURE PLANNING RESTORATION
 LONGMONT, COLORADO 303-324-4988
 dlr@rmi.com**