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LEGAL DESCRIPTION:

LOT 1 REPAIR F AMENDED, THE BUSINESS CENTER AT C.T.C. REPLAT F AMENDED, LOUISVILLE, COLORADO

SITE AREA:

5.656 ACRES

ZONING:

PLANNED COMMUNITY ZONE DISTRICT - INDUSTRIAL

PROPOSED USE:

ANY USES ALLOWED IN CITY OF LOUISVILLE INDUSTRIAL ZONE DISTRICTS.

PROJECT DESCRIPTION:

THE PROJECT PROPOSES:

1. ADDITION OF AN APPROXIMATELY 1,167 SF METAL BUILDING ADDITION ON THE REAR OF THE EXISTING BUILDING AT 185 S 104TH STREET TO ACCOMMODATE THE EXPANSION OF A BAKERY TENANT CURRENTLY OCCUPYING THIS BUILDING. THE ADDITION WILL BE LOCATED NEAR THE NORTHWEST CORNER OF THE EXISTING BUILDING. NO EXISTING PARKING WILL BE MODIFIED AND THE BUILDING FOOTPRINT WILL BE OFFSET BY AN EQUIVALENT REDUCTION IN EXISTING DRIVEWAY APRON AND LOADING RAMP PAVING ON THE REAR OF THE BUILDING.

DESCRIPTION OF PREVIOUS AMENDMENT:

1. ADDITION OF 6,267 sf OF SINGLE-STORY WALK-IN FREEZER AT THE REAR OF 197 S. 104TH.
2. ADDITION OF A 1,410 SF SINGLE-STORY CONNECTION BETWEEN THE EXISTING BUILDINGS AT 185 S 104TH AND 197 S 104TH.
3. ELIMINATE THE COMMON PROPERTY LINE BETWEEN LOTS 2A AND 3A MAKING ON CONSOLIDATED LOT.

THE PROPOSED PROJECT WILL AFFECT THE LOADING RAMP AT THE REAR OF THE EXISTING BUILDING AT 185 S 104TH. THERE WILL BE NO OTHER IMPACT.

LAND USE:					
	REQUIRED	EXISTING		PROPOSED	
		%	SQ. FT.	%	SQ. FT.
BUILDING COVERAGE		28.9	71,223	29.4	72,391
LANDSCAPE AREA	MIN 25%	28.4	69,929	28.2	69,541
HARDSCAPE AREA		42.7	105,245	42.4	104,465
TOTAL SITE AREA		100	246,397	100	246,397
BUILDING HEIGHT	MAX. 40'-0"		23'-6" / 39'-0"		27'-0"
					ACCESSORY BUILDING
SETBACKS					
NORTH	10		55'-0"		55'-0"
WEST	15		134'-0"		134'-0"
SOUTH	30		67'-1"		67'-1"
EAST	30		124'-6"		124'-6"
TOTAL PARKING	132		179		---
STANDARD	126		173		---
ACCESSIBLE	6		6		---
BICYCLE	7		18		---
PARKING SETBACKS					
NORTH	10		10'-0"		10'-0"
WEST	10		10'-0"		10'-0"
SOUTH	20		21'-6"		21'-6"
EAST	20		55'-0"		55'-0"

LANDSCAPING:

EXISTING LANDSCAPE AREAS IMPACTED BY PROPOSED CONSTRUCTION ARE COMPRISED OF 2" ROCK MULCH. THE PROPOSED BUILDING WILL REPLACE 388 SF OF ROCK AND SIDE WALK. THIS IS ONLY .2% OF THE OVERALL EXISTING LANDSCAPED AREA. ADDITIONALLY, THE TOTAL REMAINING LANDSCAPING IS 28.2% OF THE SITE MORE AN THE REQUIRED MINIMUM OF 25%.

PROJECT PHASING:

CONSTRUCTION OF THE PROPOSED ADDITION WILL COMMENCE SEPARATELY WITHIN 12 MONTHS FOLLOWING THE APPROVAL OF THIS PUD AMENDMENT BY THE CITY OF LOUISVILLE.

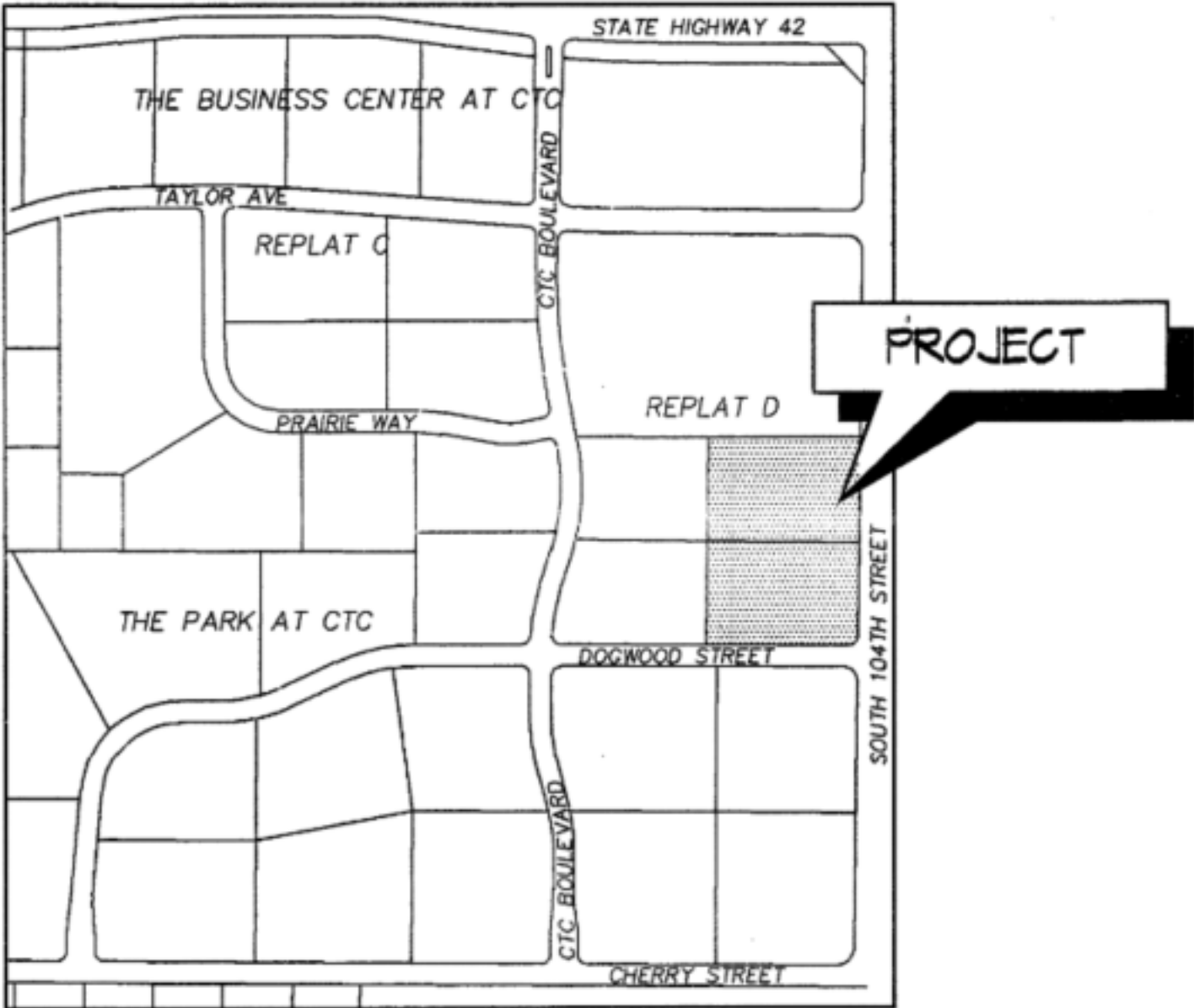
EXTERIOR LIGHTING:

ALL EXISTING BUILDING AND SITE LIGHTING TO REMAIN.

SIGNAGE:

ALL EXISTING BUILDING SIGNAGE TO REMAIN.

CTC COMMERCIAL PUD
2ND AMENDMENT
LOT 1 REPLAT F AMENDED
CASE NO. PUD-000549-2025



Vicinity Map

NOT TO SCALE

SHEET INDEX

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Sheet 6	A05	LIFE SAFETY PLAN
Sheet 7	C-1	GRADING PLAN
Sheet 8	C-2	UTILITY PLAN

PROJECT TEAM

Property Manager:
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Gibbons-White, Inc on behalf
of CTC Commercial I & II, LLC
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tim@greenlighteng.com

CERTIFICATES

OWNERSHIP SIGNATURE BLOCK

By signing this PUD, the owner acknowledges and accepts all the requirements and intent set forth in this PUD. Witness our hands and seals this____day
of_____, _____.
(Notary Seal)

Owner Name Signature

Notary Name Signature

My Commission Expires_____

DIRECTOR OF COMMUNITY DEVELOPMENT CERTIFICATE

APPROVED THIS_____DAY OF_____, 20____ BY
THE DIRECTOR OF COMMUNITY DEVELOPMENT OF THE CITY OF LOUISVILLE,
COLORADO.

BY_____
DIRECTOR OF COMMUNITY DEVELOPMENT

IZZIO BAKERY

ACCESSORY BUILDING ADDITION

185 S 104TH STREET
LOUISVILLE, CO 80027

COVER SHEET

PROJECT NO.: 010458.001

A0

Sheet #1 of 8

P.U.D SUBMITTAL

SCHEMMER

ISSUE DATE: MAY 5, 2025
REVISIONS:
No.:
DATE:
BY:
DESCRIPTION:

DESIGNED: GH
DRAWN: EL
CHECKED: GH

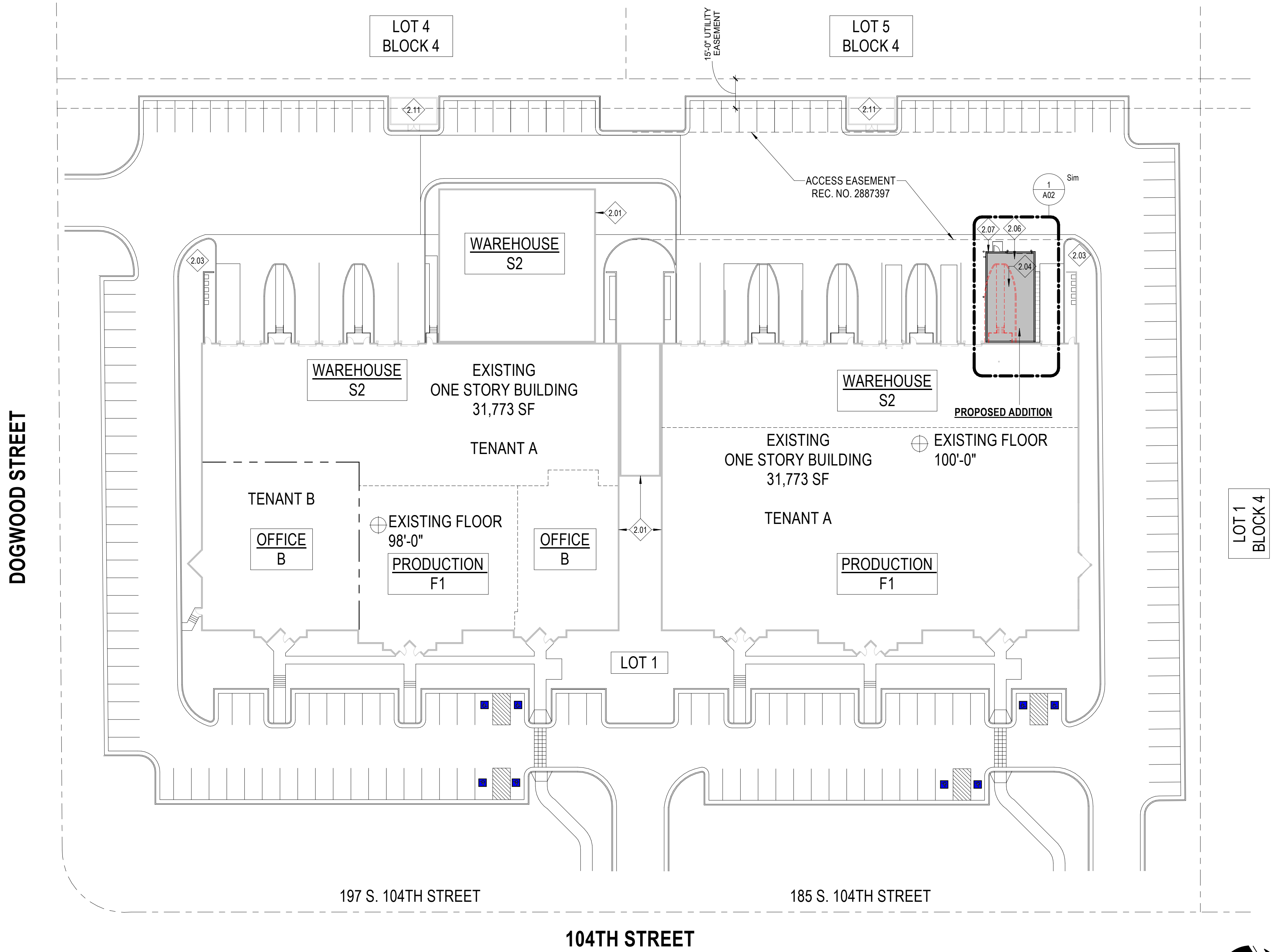
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**CTC COMMERCIAL PUD
2ND AMENDMENT
LOT 1 REPLAT F AMENDED
CASE NO. PUD-000549-2025**

PROJECTED OCCUPANCY & USE						
LOCATION	TENANT	OCC	USE	AREA	PARKING (DDSG)	
					RATIO	REQUIRED
185 S. 104TH	A	F-1	PRODUCTION	20,877.00	500	41.75
185 S. 104TH	A	S-2	WAREHOUSE	10,896.00	1000	10.9
CONNECTION	A	S-2	WAREHOUSE	1,410.00	1000	1.41
FREEZER	A	S-2	WAREHOUSE	6,267.00	1000	6.27
197 S. 104TH	A	B	OFFICE	4,130.25	250	16.52
197 S. 104TH	A	S-2	WAREHOUSE	14,347.00	1000	14.35
197 S. 104TH	A	F-1	PRODUCTION	6,303.00	500	12.61
197 S. 104TH	B	B	OFFICE	6,993.00	250	27.97
ACCESSORY BUILDING	A	S-2	EQUIPMENT STORAGE	1,168 SF	---	---
TOTAL				72,391.00		131.77
AVE ACTUAL PARKING RATIO				179/71.233		2.51/1000

REF. NOTES (X):

- 2.01 EXISTING CONSTRUCTION TO REMAIN.
- 2.03 EXISTING FIRE HYDRANT.
- 2.04 REMOVE CURB, GUTTER, LANDING, RAILINGS, AND SIDEWALK.
- 2.06 NEW CONCRETE SLAB ON GRADE. - SEE CIVIL AND STRUCTURAL.
- 2.07 NEW METAL BUILDING ADDITION.
- 2.11 TRASH ENCLOSURE.



1 P.U.D. PLAN COORDINATION
SCALE: 1/32" = 1'-0"



IZZIO BAKERY
ACCESSORY BUILDING ADDITION
185 S 104TH STREET
LOUISVILLE, CO 80027
SITE PLAN

PROJECT NO.: 010458.001

A01
Sheet #2 of 8

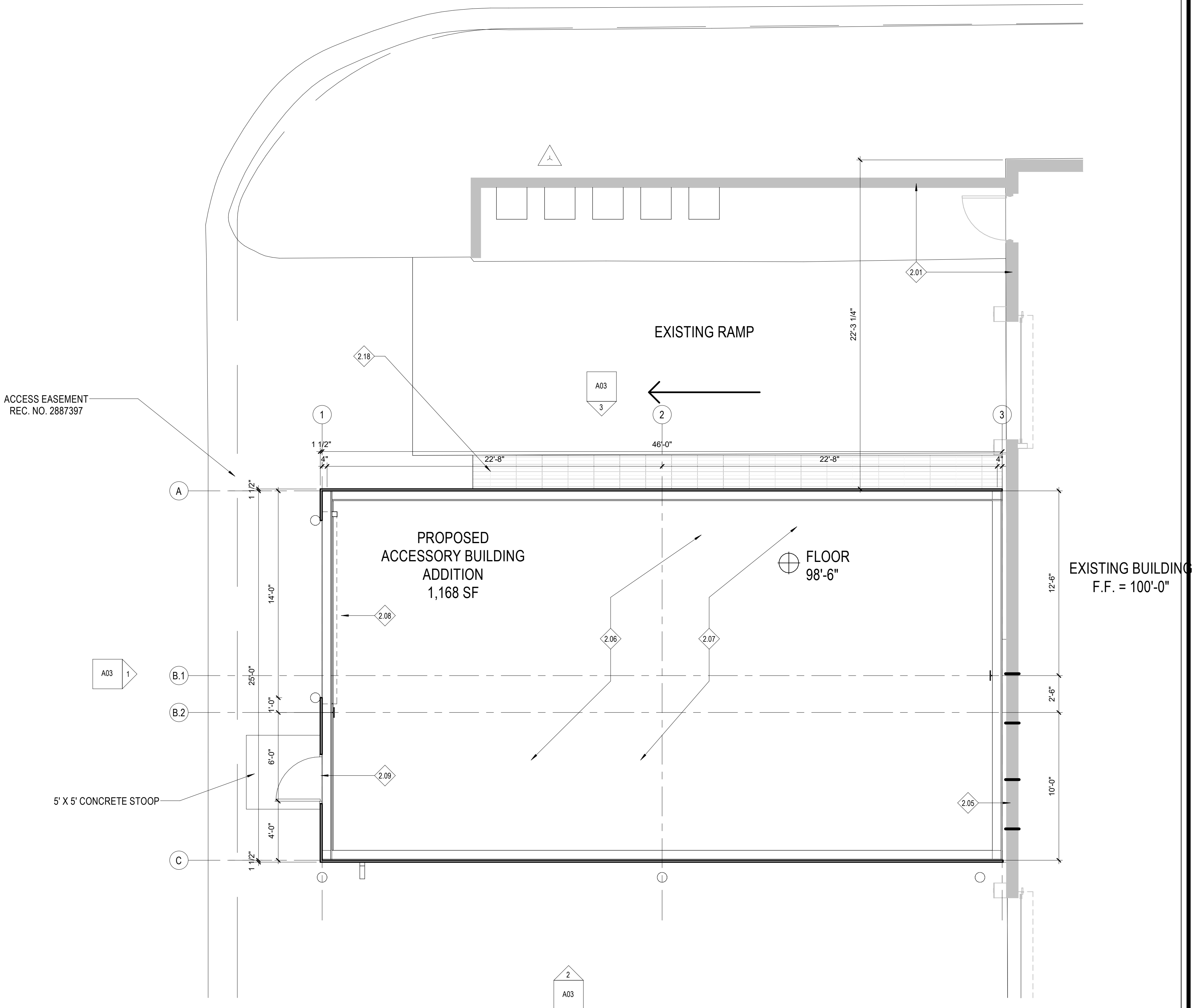
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SCHENKER

CTC COMMERCIAL PUD
2ND AMENDMENT
LOT 1 REPLAT F AMENDED
CASE NO. PUD-000549-2025

REF. NOTES (◊):	
2.01	EXISTING CONSTRUCTION TO REMAIN.
2.05	INFILL DOORS.
2.06	NEW CONCRETE SLAB ON GRADE. - SEE CIVIL AND STRUCTURAL.
2.07	NEW METAL BUILDING ADDITION.
2.08	NEW OVERHEAD DOOR.
2.09	NEW MAN DOOR.
2.18	HORIZONTAL LAID IN BAR GRATING TO BE INSTALLED TO PREVENT TRASH, LEAVES, ETC. FROM CLOGGING UP THE DRAIN AT THE BOTTOM OF THE TRUCK RAMP. RAMP TO BE SLOPED AT SAME ANGLE AS REMAINING RAMP.



1 ENLARGED PLAN COODINATION
SCALE: 1/4" = 1'-0"



DESIGNED:	GH	ISSUE DATE:	MAY 5, 2025
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		DATE:	
		BY:	
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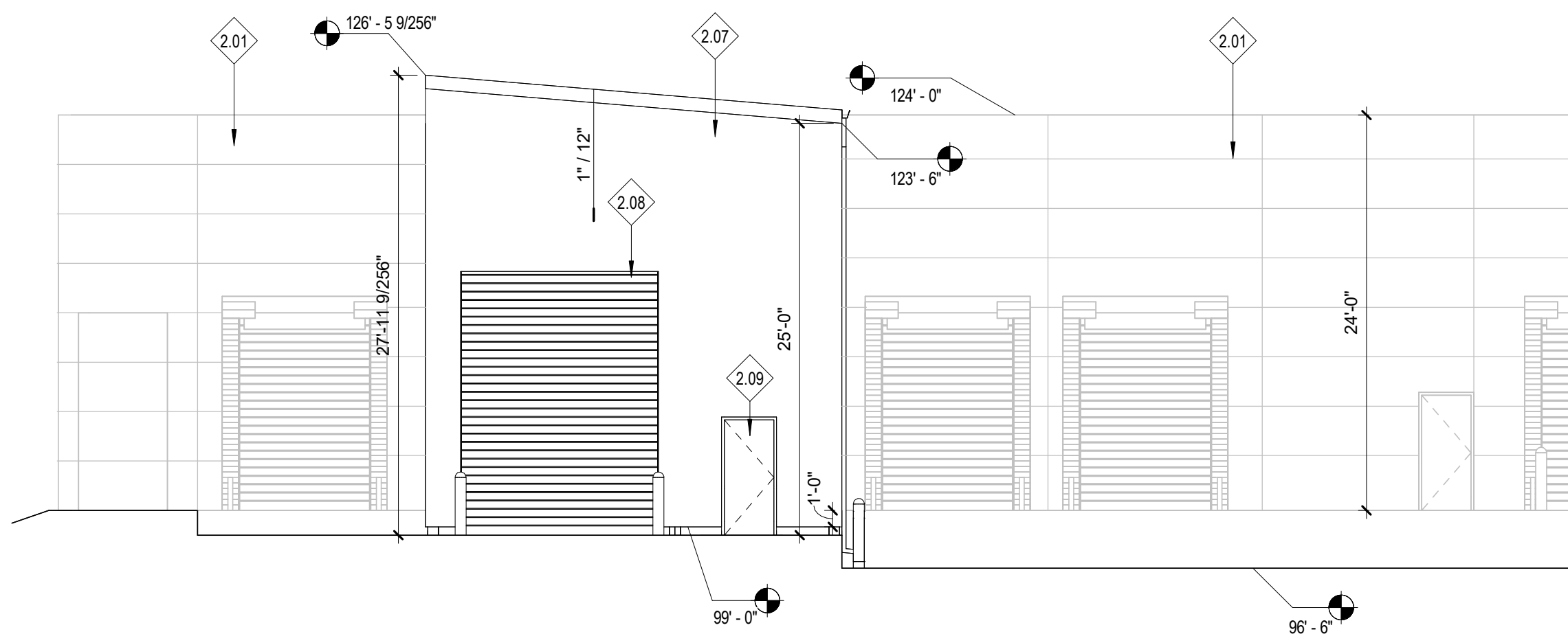
SCHEMMER

IZZIO BAKERY
ACCESSORY BUILDING ADDITION
185 S 104TH STREET
LOUISVILLE, CO 80027
ACCESSORY BUILDING ADDITION
FLOOR PLAN

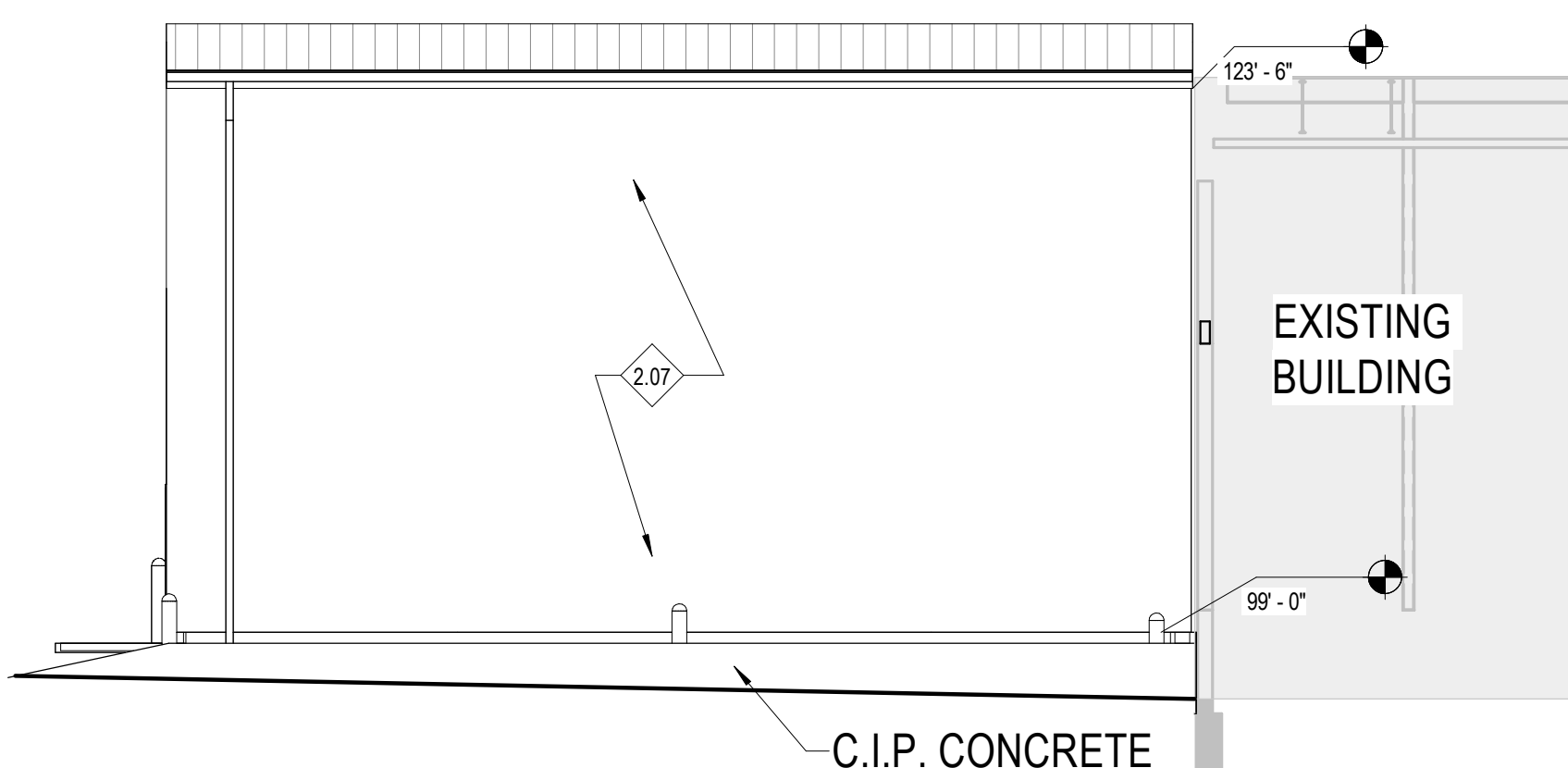
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A02
Sheet #3 of 8

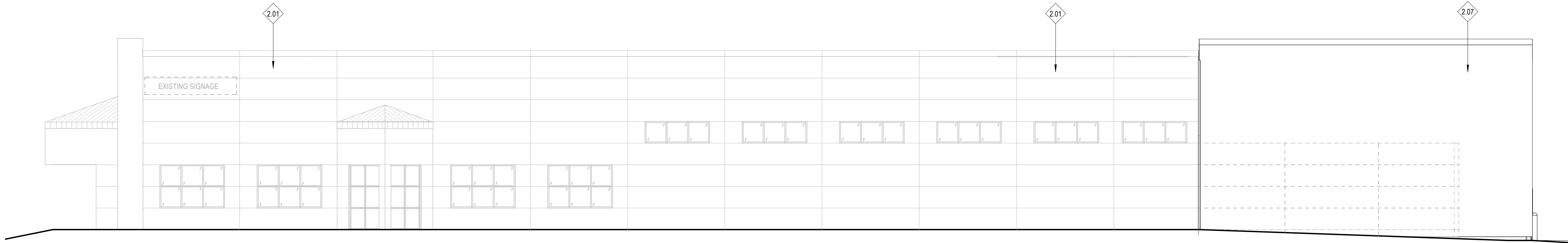
CTC COMMERCIAL PUD
2ND AMENDMENT
LOT 1 REPLAT F AMENDED
CASE NO. PUD-000549-2025



1 WEST BUILDING ELEVATION COORDINATION
SCALE: 1/8" = 1'-0"



2 SOUTH BUILDING ELEVATION COORDINATION
SCALE: 1/8" = 1'-0"



3 NORTH BUILDING ELEVATION COORDINATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS:

ADDITION:	
WALLS:	METAL PANELS
ROOF:	STANDING SEAM METAL ROOFING
EXISTING:	
BUILDING WALLS:	PAINTED PRECAST CONCRETE WITH ACCENT REVEALS (MINIMUM 2 COLORS)
WINDOW FRAMING:	ALUMINUM STOREFRONT FRAMING SYSTEM
GLAZING:	TINTED INSULATING GLAZING
SLOPED ROOF:	STANDING RIB METAL ROOFING
FLAT ROOF:	EPDM MEMBRANE ROOFING WITH RIVER ROCK BALLAST
MECHANICAL SCREEN:	PAINTED VERTICAL RIBBED STEEL DECKING

EXTERIOR COLORS OF THE PROPOSED ADDITION ARE AS FOLLOWS:

REF. NOTES (x):

- 2.01 EXISTING CONSTRUCTION TO REMAIN.
- 2.07 NEW METAL BUILDING ADDITION.
- 2.08 NEW OVERHEAD DOOR.
- 2.09 NEW MAN DOOR.

ROOF PANELS:

COLOR: Beige

WALL PANELS:

COLOR: Polar White

TRIM COLORS:

GABLE: Charcoal

CORNER: Charcoal

EAVE: Charcoal

FRAMED OPENINGS: Charcoal

MATERIAL AND COLORS PROVIDED BY BUILDING MANUFACTURER

P.U.D SUBMITTAL

SCHEMMER

IZZIO BAKERY
ACCESSORY BUILDING ADDITION
185 S 104TH STREET
LOUISVILLE, CO 80027
EXTERIOR BUILDING ELEVATIONS

PROJECT NO.: 010458.001

A03
Sheet #4 of 8

The site plan for Lot 1 is bounded by 197 S. 104TH STREET to the west, 185 S. 104TH STREET to the east, and 104TH STREET to the south. The plan shows four existing one-story buildings: a 6,267 SF building at the top left, a 1,410 SF building at the top right, a 31,773 SF building on the left, and a 31,773 SF building on the right. A proposed addition, outlined in red, is located on the right side of the lot, adjacent to the 1,410 SF building. The addition is labeled 'PROPOSED ADDITION' and includes a red dashed line indicating a specific area. The plan also shows existing floor levels: 98'-0" on the left and 100'-0" on the right. Various dimensions are provided, including 28'-0" for the lot width, 24'-0" for building widths, and 2'-0" for setbacks. The plan is divided into Lot 4 (Block 4) to the north and Lot 5 (Block 4) to the east. The lot is labeled 'LOT 1' in the center.

TYPICAL MINIMUM TURNING RADI
(CITY OF LOUISVILLE STD)

FIRE APPARATUS ACCESS

PLATFORM CLEARANCE

BUMPER SWING

TIRE CURB CLEARANCE

MINIMUM INSIDE RADIUS

20'-2"

35'-11"

40'-7"

43'-10"

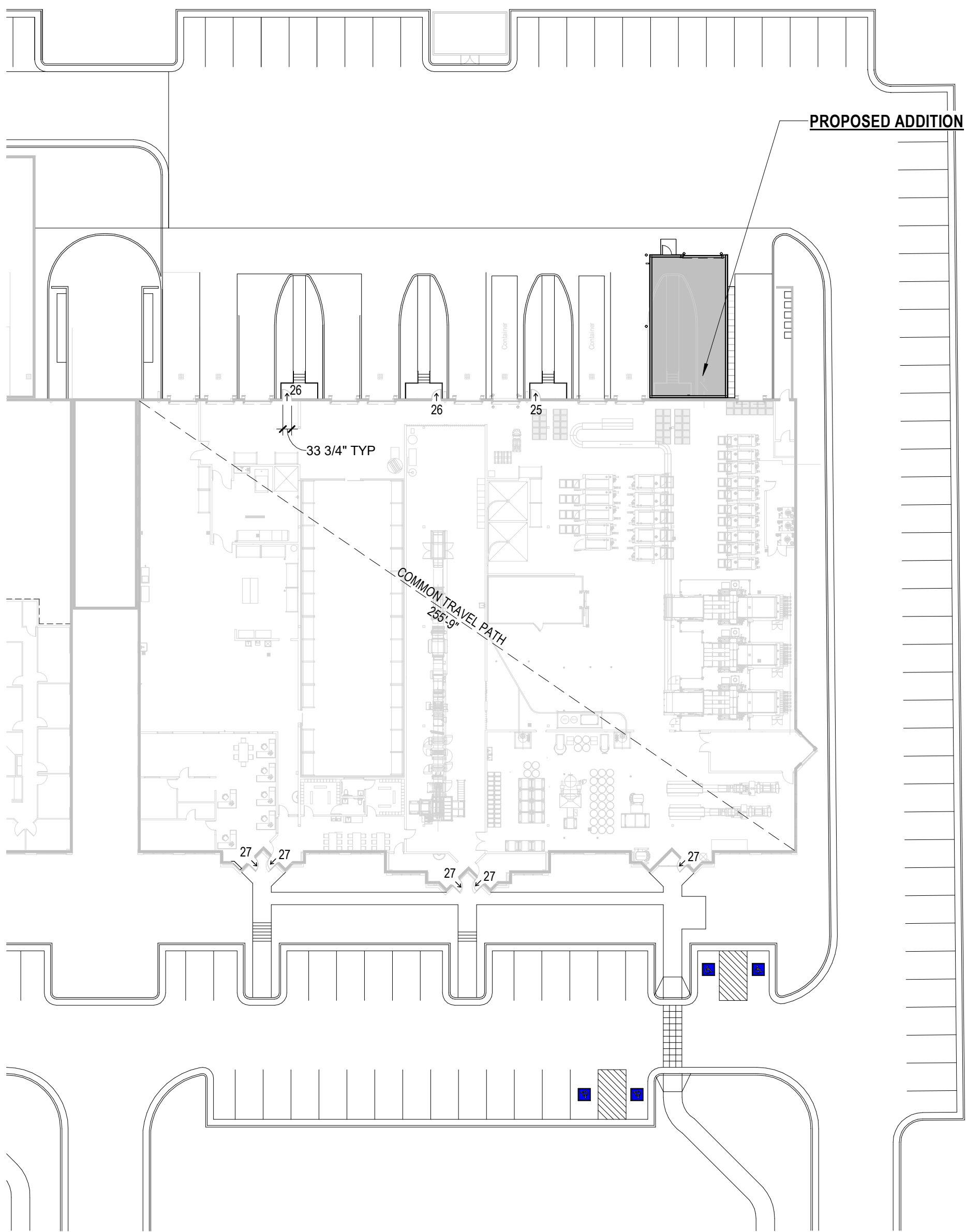
MIN. CLEAR WIDTH



A04
Sheet #5 of 8

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CTC COMMERCIAL PUD
2ND AMENDMENT
LOT 1 REPLAT F AMENDED
CASE NO. PUD-000549-2025



OCCUPANCY B	150 SF / OCC.
EXISTING BUILDING	= 31,773 SF
31,773 SF / 150	= 212 OCC.
212 OCC x 0.2	= 42.4 "
REQUIRED EGRESS WIDTH	= 42.4 "
EGRESS WIDTH PROVIDED	= 270"
	(6 DOORS @ 33.75" EACH)

1 LIFE SAFETY PLAN
SCALE: 1/32" = 1'-0"

ISSUE DATE: MAY 5, 2025

REVISIONS:

No.:

DATE:

BY:

DESCRIPTION:

DESIGNED:

GH

EL

GH

CHECKED:

GH

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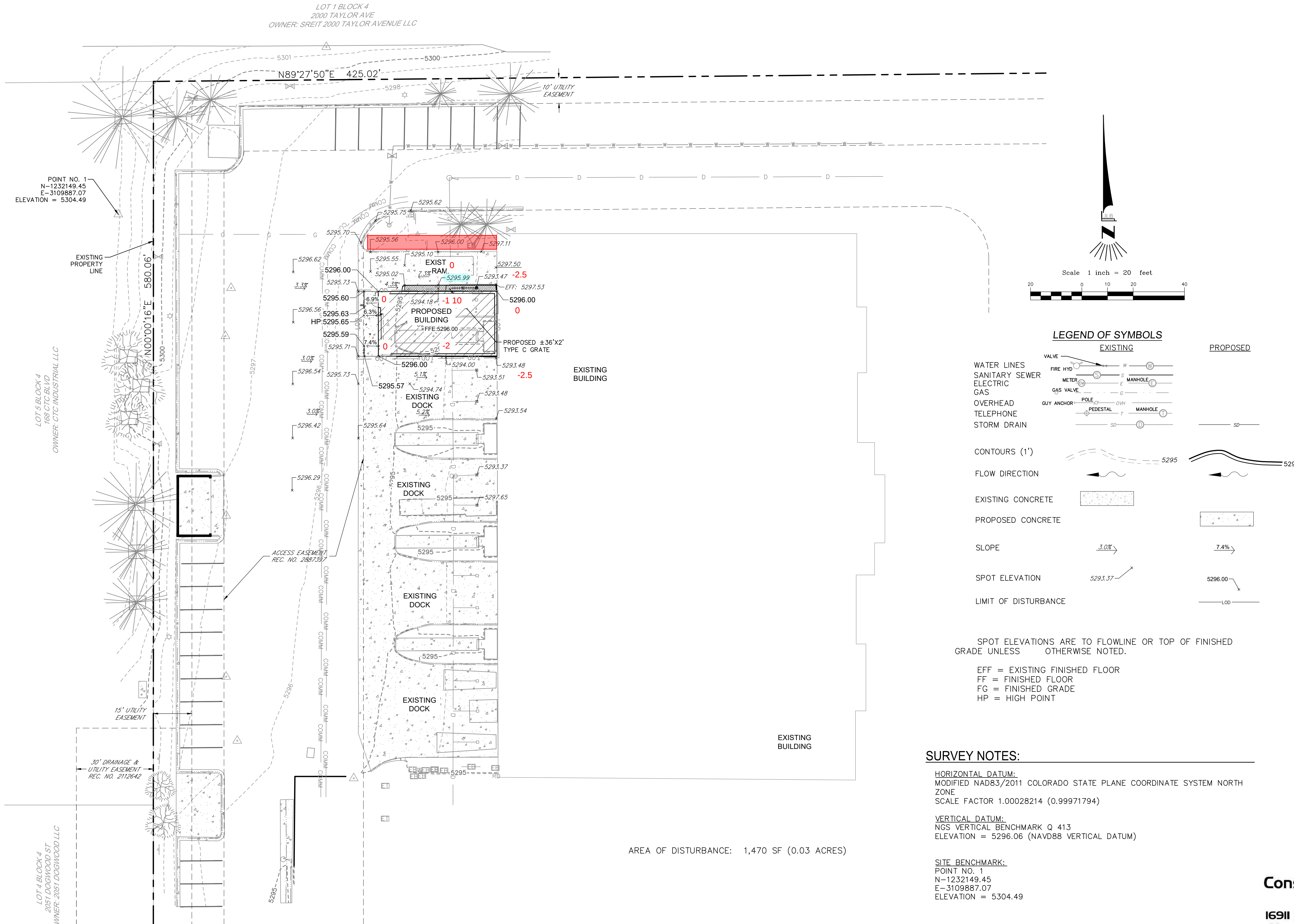
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IZZIO BAKERY
ACCESSORY BUILDING ADDITION
185 S 104TH STREET
LOUISVILLE, CO 80027
LIFE SAFETY PLAN

PROJECT NO.: 010458.001

A05
Sheet #6 of 8

**CTC COMMERCIAL PUD
2ND AMENDMENT
LOT 1 REPLAT F AMENDED
CASE NO. PUD-000549-2025**



DESIGNED:	Designer	ISSUE DATE:	MAY 5, 2025
REVISIONS:			
DRAWN:	Author	No.:	DATE:
		BY:	DESCRIPTION:

P.U.D SUBMITTAL

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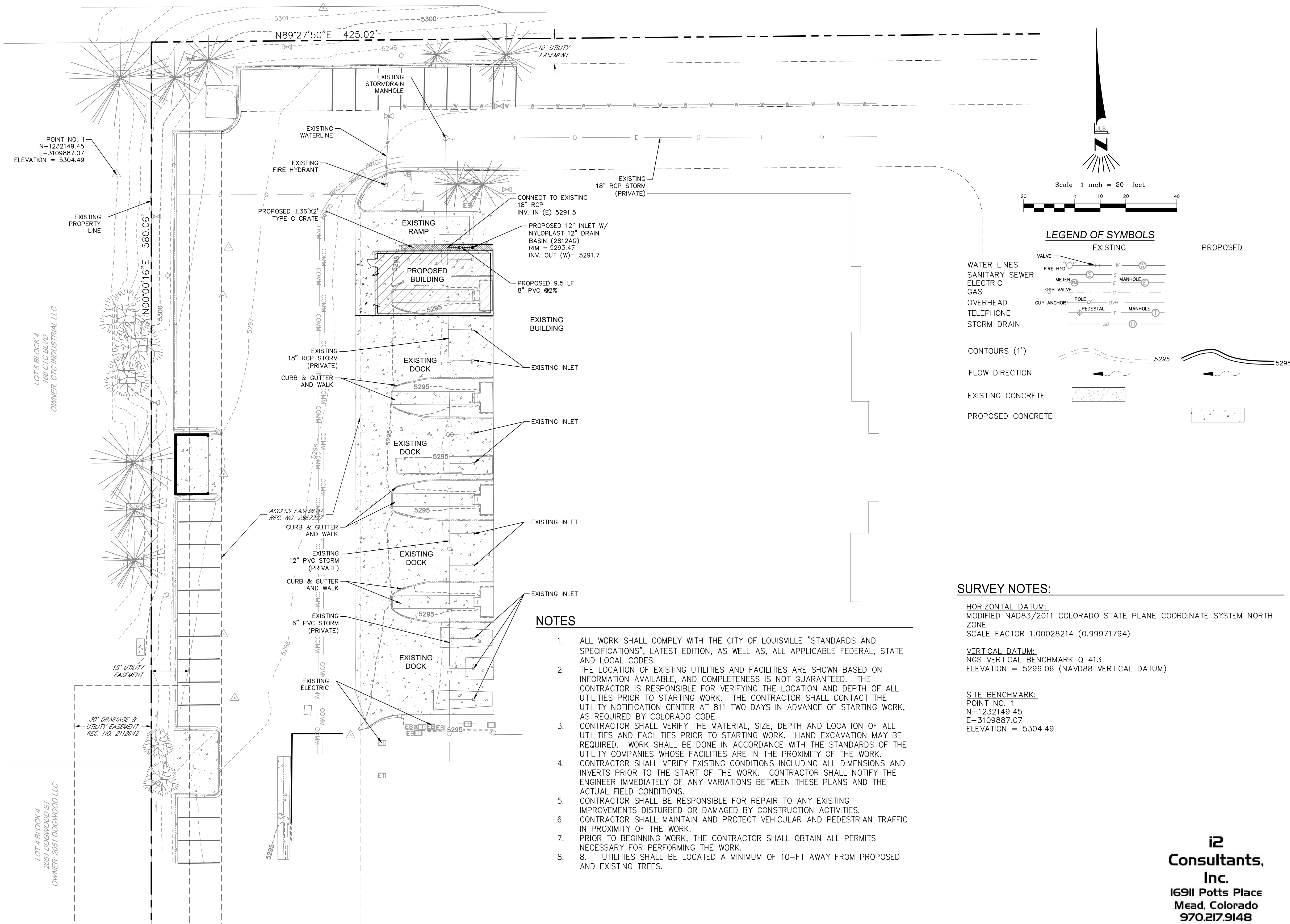
IZZIO BAKERY
ACCESSORY BUILDING ADDITION
185 S 104TH STREET
LOUISVILLE, CO 80027
GRADING PLAN

PROJECT NO.: 010458.001

C-1
Sheet #7 of 8

CTC COMMERCIAL PUD
2ND AMENDMENT
LOT 1 REPLAT F AMENDED
CASE NO. PUD-000549-2025

LOT 1 BLOCK 4
2000 TAYLOR AVE
OWNER: SREIT 2000 TAYLOR AVENUE LLC



DESIGNED:	DESIGNER:	ISSUE DATE:	MAY 5, 2025
DRAWN:	AUTHOR:	REVISIONS:	
CHECKED:	CHECKER:	No.:	
		DATE:	
		BY:	
		DESCRIPTION:	

P.U.D SUBMITTAL

SCHEMMER

IZZIO BAKERY
ACCESSORY BUILDING ADDITION
185 S 104TH STREET
LOUISVILLE, CO 80027
UTILITY PLAN

PROJECT NO.: 010458.001

C-2
Sheet #8 of 8

i2
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970.217.9148