

Historic Preservation Commission Agenda

**Monday, October 20, 2025
City Hall, 2nd Floor Council Chambers
749 Main Street
6:30 PM**

Members of the public are welcome to attend and give comments remotely; however, the in-person meeting may continue even if technology issues prevent remote participation.

- You can call in to **+1 253 215 8782, Webinar ID # 831 7647 9579**
Webinar ID **#424734**
- You can log in via your computer. Please visit the City's website here to link to the meeting: www.louisvilleco.gov/hpc.

The Commission will accommodate public comments during the meeting. Anyone may also email comments to the Commission prior to the meeting at Planning@LouisvilleCO.gov.

1. Call to Order
2. Roll Call
3. Approval of Agenda
4. Approval of Minutes (January – December 2024)
5. Public Comments on Items Not on the Agenda
6. Public Hearing:
 - a. 1016 Main Street – Landmark Designation
 - b. 701 Lincoln Avenue - Grant Request
7. Grant Program Update – Draft Resolution
8. Work Plan & Subcommittee Updates
9. Updates from Staff
10. Updates from Commission Members
11. Adjourn

Persons planning to attend the meeting who need sign language interpretation, translation services, assisted listening systems, Braille, taped material, or special transportation, should contact the City Clerk's Office at 303 335-4574 or ClerksOffice@LouisvilleCO.gov. A forty-eight-hour notice is requested.

Si requiere una copia en español de esta publicación o necesita un intérprete durante la reunión, por favor llame a la Ciudad al 303.335.4574.

Historic Preservation Commission

Meeting Minutes

**Monday, January 22, 2024
City Hall, Spruce Room
749 Main Street
6:30 PM**

Call to Order – 6:34 PM

Roll Call was taken and the following members were present:

Commission Members Present: Lynda Haley, Chair
Christine Burg, Vice Chair
Gary Dunlap
Josh Anderson
Sloan Whidden
Marty Beauchamp
Keith Keller

Staff Members Present: Amelia Brackett Hogstad, HPC Planner
Ben Jackson, Planning Clerk

Approval of Agenda

The agenda was approved by voice vote.

Approval of Posting Locations

The posting locations were approved by voice vote.

Election of Officers and Museum Advisory Board Liaison

Dunlap nominated **Haley** as Chair, and was seconded by **Burg**. The nomination was confirmed by voice vote.

Anderson nominated **Burg** as Vice Chair, and was seconded by **Beauchamp**. The nomination was confirmed by voice vote.

Keller nominated **Whidden** as Museum Advisory Board Liaison, and was seconded by **Burg**. The nomination was confirmed by voice vote.

Approval of 2024 Meeting Dates

The 2024 meeting dates were approved by voice vote.

Public Comments on Items Not on the Agenda

City of Louisville

Community Development 749 Main Street Louisville CO 80027
303.335.4592 (phone) www.LouisvilleCO.gov

None were heard.

Public Hearing Items

a) Caboose Record Clarification

Brackett Hogstad explained that there needed to be clarification as to whether the probable cause finding for the “Caboose” from the December 2023 meeting included a condition. She said that it was unclear if the condition recommended by staff was included as part of the resolution adopted by the Commission. She added that the clarification vote was only for those that were present at that meeting.

Dunlap asked whether the condition was meant to be an expiration date for the probable cause finding.

Brackett Hogstad said yes.

Anderson said that he thought the Commission’s intention was to have the condition attached.

Keller said that this was his recollection.

Burg agreed.

Anderson moved to amend previous approval to include the expiration condition, and was seconded by **Burg**. The motion was adopted by a vote of 4 to 0.

b) 516 Grant Avenue – Demolition Review

Staff Findings:

Brackett Hogstad introduced the presentation for the demolition review. She went over the criteria from LMC and its purpose. She showed photos of the structure from 1948 and today, and noted the limited changes. She said that the house was around 80 years old, with some noted social significance, and that it could qualify for landmarking.

Staff Recommendation:

Staff recommended releasing the demolition request, as even though some social and architectural significance was present, it was not strong enough to warrant a stay.

Commissioner Questions of Staff:

None were heard.

Applicant Presentation:

Vincent Colson, non-resident, noted his record of historic preservation as a developer, but said that the house did not fit as something that could be preserved. He said that his previous experience with the Commission taught him what preservation options were available, but that none were viable in this case. The house was full of asbestos, and would cost upwards of \$50,000 to remove and have it remediated. He added that costs have gone up with higher interest rates, and given the larger size of the foundation, it was not viable to rent it out or renovate it. He wanted to preserve some parts of it, like the garden and flagstone.

Questions of Applicant:

Dunlap asked if applicant had had any additional demolition requests before Commission in the past.

Colson said no, just the one other one at 1209 Main.

Public Comment:

Christine Mestas, resident, former owner, described her strong connection to the home but ultimately spoke in support of Mr. Colson's request. She said that her family had owned the home and she grew up there, and that she wanted a new family to have a chance to build a home on the site.

Commissioner Discussion:

Beauchamp said that there had been significant changes to windows and doors, and that there was obvious sagging in the roof. He believed that demolition was clearly the best path forward, and was in favor of releasing the property.

Dunlap said that he also noted sagging in the roof.

Burg said that the property ended up before the full Commission because it was eligible for landmarking, but noted that the applicant was not interest in preserving it. She said that there were a good number of similar properties landmarked and preserved, so it would be okay to release it for demolition.

Anderson suggested that the application came from the subcommittee to the full Commission to get a broader opinion. He said that asbestos mitigation was the most important cost consideration, and that it would be easier to manage it during a demolition process.

Haley said that came to the Commission because it met the age, architectural, and social significance criteria required for landmarking. She said that the Commission should make sure that holds weren't punitive, so given there was no intention of preservation, it was best to release the property for demolition.

Dunlap moved to release the property for demolition, and was seconded by **Beauchamp**. The motion was adopted by a vote of 7 to 0.

c) 824 Lee Avenue – Demolition Review

Staff Findings:

Brackett Hogstad introduced the presentation for the demolition review. She said that the house was approximately 89 years old, and that it was moved to its current site from a mine in 1964. She noted that there appeared to have been some changes to the doors and windows, however there was very little documentation to show the original condition of the property. It did have some social significance due to its relocation from a mine site, and it could qualify for landmarking.

Staff Recommendation:

Staff recommended releasing the demolition request.

Commissioner Questions of Staff:

None were heard.

Applicant Presentation:

Michael Reis, resident, recapped the staff presentation. He said that he was second owner of the property, and that the first owner told him the house was originally moved from a mine in Erie. He said that the demolition was part of a plan to subdivide and redevelop the lot, and that he believe the property was not of significant historical value.

Questions of Applicant:

Beauchamp asked whether the applicant had explored incorporating the existing structure into their redevelopment plans.

Reis said that their plan for subdividing the lot meant that keeping the existing structure was not feasible.

Public Comment:

Jean Morgan, resident, had some concerns about what would go on the lot after the demolition. She was concerned about the possibility of 3 residential subdivisions fitting into the neighborhood, and would rather something like the current house remain there.

Haley said that Commission could make recommendations, but did not have jurisdiction over future development.

Commissioner Discussion:

Beauchamp said this one was tougher for him as the structure looked to be in good condition. He was hung up on the location being next to the neighboring cabins. He appreciated the applicant's desire to redevelop the site, but wondered whether the existing house could have been relocated somewhere else.

Anderson appreciated concerns from Beauchamp, but it was not a concern he shared. He noted the unique history of the structure as it had been moved before.

Burg said that she had some concern about the lack of documentation about the architectural history of the house. She said that the location near Miner's Field was important, and noted the importance of the history of the area to the town. She believed it would be a good candidate for landmarking.

Keller said that he agreed with staff's recommendation, and would lean towards supporting releasing it, though he could be convinced otherwise.

Beauchamp said that the lack of documentation gave him pause to put a hold on the demolition.

Burg appreciated that the applicant had met with staff multiple times, and noted the probable cause process and assumed it had been discussed. She wanted to make sure that the applicant knew there were preservation options.

Haley said that it was hard because of the location. The neighborhoods east of railroad tracks were likely the next to be redeveloped. However, the fact it was moved in 1964 made the property seem less significant to her. She was concerned by the lack of documentation, but was leaning towards releasing the property.

Beauchamp said that he did not want to set a precedent for unnecessary delays in the demolition review process, and that it was important to consider each application on the

merits.

Dunlap said that it seemed like the structure was appropriate for neighborhood, and that it would be shame to lose it. However, he understood it was not that simple.

Anderson said that it was a tough and unfortunate situation, but that it would not be fair to delay the demolition.

Whidden said that she felt the same tension regarding the character of the neighborhood, but she was inclined to support staff's recommendation.

Anderson moved to approve the demolition release, and was seconded **Beauchamp**. The motion was adopted by a vote of 6 to 1, with Commissioner Burg voting nay.

HPC Work Plan Discussion

Brackett Hogstad introduced the work plan. She said that the goals were to identify the Commissioner's top priorities for the Commission in 2024, and to add to or alter list of projects from the packet.

There was an extended discussion amongst the Commissioners about the work plan for 2024, and what their priorities should be. There was also discussion about updating the Commission's bylaws.

Items from Staff

Brackett Hogstad explained the Open Government rules for the Commission, and updated the Commissioners about the agenda for the February 2024 meeting.

The Commission adjourned at 8:21pm.

Historic Preservation Commission Meeting Minutes

**Monday, February 12, 2024
City Hall, Spruce Room
749 Main Street
6:30 PM**

Call to Order – 6:30 PM

Roll Call was taken and the following members were present:

Commission Members Present: Lynda Haley, Chair
Christine Burg, Vice Chair
Gary Dunlap
Josh Anderson
Sloan Whidden
Marty Beauchamp
Keith Keller

Staff Members Present: Amelia Brackett Hogstad, HPC Planner
Jeff Hirt, Planning Manager
Ben Jackson, Planning Clerk

Approval of Agenda

The agenda was approved by voice vote.

Approval of Minutes

The minutes for the October 2023, November 2023, and January 2024 meetings were approved by voice vote.

Public Comments on Items Not on the Agenda

None were heard.

Public Hearing Items

a) 1045 Front Street Alteration Certificate

Staff Findings:

Brackett Hogstad introduced the presentation for the alteration certificate, and noted that the application was referred to the whole Commission from the subcommittee. She explained its unique layout as a corner lot, and outlined its history. She said that the applicant was requesting the addition of a second dwelling unit on the property, the demolition of the existing garage, and the construction of a new garage. She noted that

the proposal had not yet received a building permit. There was an extension to the historic structure constructed in 1998, but while the proposal would limit the public view of this extension, it would not impact the historic part of the structure. She noted that the proposed design for the new garage would differentiate it from the historic structure.

Staff Recommendation:

Staff recommended approval of Resolution 1, Series 2024.

Commissioner Questions of Staff:

Dunlap asked to clarify whether the Commission should ignore zoning in their deliberations.

Brackett Hogstad said that the processes for obtaining the alteration certificate and the building permit were separate, but that staff needed to make sure that the proposed design was viable and that it would not conflict with the historic structure. She clarified that zoning was not under the jurisdiction of the Commission, so it should not play a part in their decision making.

Dunlap asked if the applicants were considering any variances.

Brackett Hogstad said no, and said that though it had yet to be approved, the preliminary design met all of the zoning requirements.

Dunlap recalled that the height limit in the RM zoning district was 20 feet, and that the proposal appeared to exceed that.

Beauchamp said that the second primary structure was allowed to be up to 30 feet in height.

Dunlap added that the second level of the garage appeared to also be a dwelling unit as it had a full kitchen and plumbing.

Brackett Hogstad said this was not part of the Commission's jurisdiction, so they could not consider it. She then went over the zoning requirements and maximum heights that were allowable for the property. She noted that the area in the garage would qualify as a guest suite under the zoning code.

Dunlap reiterated his concern that the layout of the kitchen made it look like an additional full dwelling unit.

Beauchamp said that this layout was allowed under the code.

Anderson clarified about what appliances would and would not classify the space as a kitchen.

Dunlap and **Brackett Hogstad** discussed how the proposed design would comply with the zoning code.

Applicant Presentation:

Peter Stewart, the architect, introduced their presentation. He covered the context of the historic structure and the poor state of the current garage. He noted that they found no significance for the existing garage. He said that they were not subdividing the lot and that they would retain the same owner. He then spoke about how they came to the proposed design.

Questions of Applicant:

None were heard.

Public Comment:

None were heard.

Commissioner Discussion:

Anderson spoke to why he referred the application to the full Commission from the subcommittee. He said that the primary reason was due to it being a corner lot rather than being mid-block, and that he did not have enough previous experience with similar lots to grant approval. He explained the criteria for approval from the LMC, and said that he would not have felt comfortable approving the application without bringing it before the whole Commission.

Burg agreed that the historic structure being on a corner lot was an important consideration, particularly given that it was more visible to the street. She liked that the new structures were not attached to the historic one, and that the historic structure would be well preserved.

Beauchamp asked to clarify whether the property was in the old town overlay district.

Dunlap said that it was.

Burg noted that Louisville did not have a “historic district”, and that the overlay was technically different.

Dunlap added that there were different zoning areas within the overlay district.

Beauchamp said that the site felt fairly dense, though he noted that the owner had use by right. He said that the lot would be challenging to build on given the almost 5 foot slope on it. He agreed that being on a corner lot would make it more visible.

Haley said that the design met the requirements for approval, but she felt that the massing and size of the proposal was a challenge. She appreciated that the original building would be left separate and intact.

Burg noted that they technically landmarked the whole property, even though the house was the only historically significant part. She did not feel that the proposal would negatively affect the house.

Anderson said that the language in the criteria was unusual, particularly given that it referenced a “historic district” even though one did not technically exist in Louisville. He felt that the proposed design was visually compatible with the rest of the overlay district, and that the density would fit in.

Haley noted that other proposed secondary dwellings tended to be smaller, and tended not to have two stories.

Anderson said that the design of the additional structures were a question of interpretation of the alteration certificate process.

Whidden said that the density of the proposal gave her pause, but that the design was ultimately within the scope of the requirements.

Dunlap again discussed his concerns about whether the garage could be considered an additional dwelling, and what amenities it could have before it crossed that threshold.

Anderson explained that the code would define it as a guest house and not an additional dwelling.

Dunlap said that it was a shame that the City hadn’t defined what an ADU was.

Haley reiterated that the HPC could only evaluate the proposed design, not the proposed use.

There was further discussion about the maximum allowable height for the proposed structures.

Brackett Hogstad clarified that the Commission could only judge the proposed height based on its impact on the historic structure.

Anderson said that it did look odd that there were three separate structures, and noted that three different dwelling units would not be allowed on a lot of that size.

Beauchamp asked whether the second structure would be considered a primary structure.

Brackett Hogstad said yes.

Beauchamp noted that the code required that no part of an accessory structure be within 10 feet of a primary structure, and that the proposal appeared to violate this.

Brackett Hogstad said that the 10 foot requirement was for commercial uses, and that the residential distance was 5 feet. She noted that there were some issues with the PDF version of packet, and that the proposal met these requirements.

Anderson said that he was leaning towards approval, though he was open to other opinions.

Haley said that she appreciated that this was brought to the full Commission.

Keller said that the proposed design fit in fairly well with the neighborhood, and was historically appropriate.

Haley said that because the historic building would be left untouched, the proposed design would preserve the landmark. She appreciated that the design would differentiate and distinguish it from the newer structures, and that the applicant focused on minimizing their impact.

Motion to approve Resolution 1, Series 2024 was moved by **Burg** and seconded by **Anderson**. The motion was adopted by a vote of 7 to 0.

b) 1213 Jefferson Avenue Probable Cause

Staff Findings:

Brackett Hogstad introduced the presentation for the probable cause application. She said that form of the front portion of the house was intact, though there had been a rear extension and an attached garage added around the 1960s or 1970s. There had also been changes to the sidings and railings. The house was approximately 76 years old, was in the minimal traditional style, and met the architectural and social significance criteria.

Staff Recommendation:

Staff recommended a finding of probable cause.

Commissioner Questions of Staff:

None were heard.

Questions of Applicant:

None were heard.

Public Comment:

None were heard.

Commissioner Discussion:

Anderson said that he was in favor.

Haley noted that the application met all of the criteria, and had a very strong social history.

Beauchamp and **Whidden** agreed.

Dunlap said that it was an important part of the neighborhood, and would like to see it preserved.

Motion to approve the finding of probable cause was moved by **Anderson** and seconded by **Beauchamp**. The motion was adopted by a vote of 7 to 0.

c) 733 McKinley Avenue Probable Cause

Staff Findings:

Brackett Hogstad introduced the presentation for the probable cause application. She noted that there had been some siding and window changes in the 1970s, though the structure was largely unchanged otherwise. The house was approximately 85 years old, was also in the minimal traditional style, and met the criteria for social and architectural significance.

Staff Recommendation:

Staff recommended a finding of probable cause.

Commissioner Questions of Staff:

None were heard.

Applicant Presentation:

Robert Tully, resident, spoke to the social significance of the house. He said that it was built for the children of the neighboring house in 1912, and that the original owners were from a pioneer family.

Questions of Applicant:

None were heard.

Public Comment:

None were heard.

Commissioner Discussion:

Haley pretty straight forward.

Beauchamp agreed, and said that he would be interested to learn more about the social history of the structure.

Burg liked that the property was largely unchanged, and felt that it was a good candidate for preservation.

Haley said context of time period important.

Motion to approve the finding of probable cause was moved by **Beauchamp** and seconded by **Whidden**. The motion was adopted by a vote of 7 to 0.

d) 800-804 Main Street Probable Cause

Staff Findings:

Brackett Hogstad introduced the presentation for the probable cause application. She noted that there had been a number of changes to the exterior façade, and it was unclear if the original buildings were still present. There were originally two buildings, but they were destroyed by fire in 1926, and it appeared that they were then merged into one. She speculated that the period of significance would be around the 1930s. An assessment would help to determine what was original and what the applicant could do to preserve it. She noted that this was a very prominent building, and it was likely to require extensive rehabilitation. The building was around 76 years old, and met the social and architectural significance criteria.

Staff Recommendation:

Staff recommended a finding of probable cause.

Commissioner Questions of Staff:

None were heard.

Applicant Presentation:

Erik Hartronft, resident, noted that building was now vacant after the last tenant moved, and they were trying to work out what they could do with the building. He said that the siding was briefly removed in the 1980s, and that he believed there was still a brick wall behind it. He wanted to do whatever was possible to preserve the building.

Questions of Applicant:

Dunlap suggested that there may have been a time preceding the brick wall.

Hartronft said there were brick walls visible on the interior, so he thought that the brick walls were actually original.

Public Comment:

None were heard.

Commissioner Discussion:

Whidden said that she had a great deal of curiosity as to what was there.

Beauchamp said that the location alone warranted approval.

Dunlap said that he was pleased that the applicants were interested in preserving the building.

Berg noted that there had been debate in the community about what would happen with the building since it was vacated.

Keller said that he loved the building and wanted to be able to showcase it. He recommended that the applicants consult with a structural engineer given the previous

fire. He was in favor.

Motion to approve the finding of probable cause was moved by **Anderson** and seconded by **Beauchamp**. The motion was adopted by a vote of 7 to 0.

Discussion – Louisville Comprehensive Plan Update

Hirt introduced the presentation on the Comprehensive Plan. He said that he was there to share information on the Comprehensive Plan, and to get feedback from the Commissioners. He explained what it was, why they needed to do it, and what the City wanted to get out of it.

There was an extended discussion on the priorities of the Commissioners, with the general consensus that growth and development were the most important considerations.

Discussion – 2024 HPC Work Plan, Part 2

There was an extended discussion on the Commissioner's priorities for the year ahead. They also assigned positions to new subcommittees.

Motion to adopt the work plan made by **Berg** and seconded **Anderson**. The motion was adopted by voice vote.

The Commission adjourned at 8:38pm.

Historic Preservation Commission Meeting Minutes

**Monday, March 18, 2024
City Hall, Council Chambers
749 Main Street
6:30 PM**

Call to Order – 6:34 PM

Roll Call was taken and the following members were present:

Commission Members Present: Lynda Haley, Chair
Gary Dunlap
Josh Anderson
Sloan Whidden
Marty Beauchamp
Keith Keller

Commission Members Absent: Christine Burg, Vice Chair

Staff Members Present: Amelia Brackett Hogstad, HPC Planner
Ben Jackson, Planning Clerk

Approval of Agenda

The agenda was approved by voice vote.

Public Comments on Items Not on the Agenda

None were heard.

Public Hearing Items

a) 936 La Farge Avenue Probable Cause

Staff Findings:

Brackett Hogstad introduced the presentation for the probable cause application. She said that there were changes to the windows sometime between the 1940s and the 1970s, in addition to changes to the roofing and the removal of the original chimney. Otherwise, the building was largely intact. She noted that the house was approximately 124 years old, was in the national form, and had strong social and architectural significance. Of particular note was the property's link to the Buffo family, and their long term single-family occupancy of the building.

Staff Recommendation:

City of Louisville

Community Development 749 Main Street Louisville CO 80027
303.335.4592 (phone) www.LouisvilleCO.gov

Staff recommended finding of probable cause.

Commissioner Questions of Staff:

None were heard.

Applicant Presentation:

None were heard.

Questions of Applicant:

None were heard.

Public Comment:

None were heard.

Commissioner Discussion:

Beauchamp said that he agreed with staff's assessment, and though that the property looked to be in good condition and was well preserved. He was in support.

Whidden said that she agreed, and thought that it seemed like a good candidate.

Haley noted that the window changes were also more than 50 years old, and therefore also eligible for landmarking.

Dunlap said that this was the kind of property he wanted to see landmarked.

Motion to approve the finding of probable cause was moved by **Beauchamp** and seconded by **Whidden**. The motion was adopted by a vote of 6 to 0.

b) 623 McKinley Avenue Probable Cause

Beauchamp disclosed that he had spoken with the applicants and recommended that they pursue a probable cause application. He did not feel that this would impair his judgement.

Staff Findings:

Brackett Hogstad introduced the presentation for the probable cause application. She noted that there had been some changes since 1956, including minor changes to the sidings. However, the overall form, windows and doors were largely intact. The house was approximately 71 years old and in the ranch form, which was not well represented in Louisville landmarks. There was also strong architectural and social significance, and a connection to the immigrant history of Louisville.

Staff Recommendation:

Staff recommended a finding of probable cause.

Commissioner Questions of Staff:

None were heard.

Applicant Presentation:

None were heard.

Questions of Applicant:

None were heard.

Public Comment:

None were heard.

Commissioner Discussion:

Haley said that this was a pretty straightforward case, and it met all of the criteria. She noted that some of the past changes could be reversed. She was in favor.

Whidden agreed, and felt that its underrepresented form was important to preserve.

Beauchamp concurred, and noted it was in very good condition.

Motion to approve the finding of probable cause was moved by **Dunlap** and seconded by **Anderson**. The motion was adopted by a vote of 6 to 0.

c) 700 Pine Street Probable Cause

Staff Findings:

Brackett Hogstad introduced the presentation for the probable cause application. She noted that the house had already been landmarked though no grants had yet been issued. The applicant would be eligible for a grant of up to \$4,000 to reimburse the cost of an HSA.

Staff Recommendation:

Staff recommended finding of probable cause.

Commissioner Questions of Staff:

None were heard.

Applicant Presentation:

None were heard.

Questions of Applicant:

None were heard.

Public Comment:

None were heard.

Commissioner Discussion:

Beauchamp asked whether the property was landmarked by its current owner.

Aaron Vogelsberg, resident, said that his mother was the one who landmarked the property, and that she was the former owner.

Haley said that she didn't see any issues with the application, and was in support. She added that she really liked the applicant's Christmas lights.

Dunlap spoke to why an HSA would be useful for the property, and said that he was in support.

Motion to approve the finding of probable cause was moved by **Beauchamp** and seconded by **Whidden**. The motion was adopted by a vote of 6 to 0.

Work Plan Updates

Brackett Hogstad updated the Commissioners on the GIS mapping project, and the difficulty the staff was having in finding someone to complete it in-house.

Items from Staff

Brackett Hogstad updated the Commissioners on the status of the downtown vision plan and the comprehensive plan. She also provided an update on the signage for the Austin-Niehoff House.

Updates from Commission Members

Whidden and **Haley** spoke about what they learned whilst attending the Saving Places conference the previous month.

Commission adjourned at 7:13

Historic Preservation Commission

Meeting Minutes

Monday, April 15, 2024

City Hall, Spruce Room

749 Main Street

6:30 PM

Call to Order – 6:30 PM

Roll Call was taken and the following members were present:

Commission Members Present: Lynda Haley, Chair
Christine Burg, Vice Chair
Gary Dunlap
Josh Anderson
Sloan Whidden
Keith Keller

Commission Members Absent: Marty Beauchamp

Staff Members Present: Amelia Brackett, HPC Planner
Ben Jackson, Planning Clerk

Approval of Agenda

The agenda was approved by voice vote.

Approval of Minutes

The minutes for the February and March 2024 meetings were approved by voice vote.

Public Comments on Items Not on the Agenda

None were heard.

Public Hearing Items

a) 928 La Farge Avenue Preservation and Restoration Grant Request

Burg disclosed that she had a conflict of interest, and recused herself from the hearing.

Staff Findings:

Brackett introduced the presentation for the grant request. She said that the proposed works were identified in the HSA, and was below the maximum request amount. The second request was for a window replacement, though staff felt that the windows were not historic, and therefore would likely not qualify for grant coverage.

Staff Recommendation:

Staff recommended approval of Resolution 1, Series 2024, allowing for a grant of up to \$17,819.90. Staff did not recommend approval of grant funds for the proposed window restoration.

Commissioner Questions of Staff:

Dunlap asked how the window request would compare to the recent 701 Grant case.

Brackett said that she was not sure about that specific case, but she explained that there were some possible scenarios where staff would recommend approval. She noted that this would apply if the windows were historic, or where replacing the windows was necessary to protect the historic integrity of the structure. She added that the program was not intended to fund updates to non-historic windows, though it would be up to Commissioners to decide whether the windows were eligible.

Applicant Presentation:

JoAnna Alidu, resident, said that the HSA was completed pre-Marshall Fire, though post fire examination found that smoke and ash from the fire had compromised the integrity of the windows. She added that her intention was to replicate styling of the house's original windows.

Questions of Applicant:

Haley asked about the approximate age of the windows, and what material they were constructed from.

Alidu said that they were built in the 1980s or 1990s, and that they were wooden.

Anderson asked whether the design of the windows would be like for like.

Alidu said yes.

Anderson asked whether the windows had any vinyl components.

Alidu said that the current ones had vinyl tracking on the inside, but that the new ones would not contain any vinyl.

Haley asked what prompted the window replacement after the fire.

Alidu said that the windows were faulty, and that they were responsible for letting in smoke and ash from the fire.

Haley asked whether this would be covered by insurance.

Alidu said yes, and that their insurance seemed likely to pay for them.

Haley wondered why the applicant would apply for the grant if their insurance would also pay for the windows.

Alidu said that they had had a lot of non-communication with their insurer, and that it was not guaranteed that they would pay for them.

Public Comment:

None were heard.

Commissioner Discussion:

Whidden said that she was trying to wrap her head around the complexity of the window replacement. She wondered which situations window replacements would qualify for

grant funding.

Anderson suggested that replacing newer windows with replicas of the original historic windows could qualify.

Dunlap spoke about improvements to energy efficiency that would result from window replacements, and as to whether this would be an appropriate use of grant funds.

Anderson said that if the windows had been changed previously, they would be eligible for grant funding. He noted that windows from the early 1970s could technically be considered historic as they would be more than 50 years old.

Dunlap said that he was more favorable towards the application as the house had retained most of its historic aspects.

Whidden asked whether the Commission could table the grant amount requested for the window replacement pending the resolution of the applicant's insurance claims.

Haley wondered whether a new HSA would be necessary for the windows.

Brackett suggested that the Commission could introduce a condition on the grant stating that funds for the window replacement would only be approved if the applicant's insurance declined to pay for them. She also noted that though the applicant had supplied a letter stating that the windows needed to be replaced, the Commission could potentially request further examination of the state of the windows.

Dunlap noted that payment of the grant was contingent on the receipts of the completed work, which could provide them with time for the insurance to be finalized.

Brackett said that the safest option might be to continue the application as this was not something City had covered before.

Haley asked whether the Commission could approve the staff recommended amount and have the applicant come back once the insurance issue had been settled.

Brackett said that they probably could, but they would likely need to re-notice the application as a separate request.

Anderson said that he felt the window grant was not ready to be approved.

There was an extended discussion as to whether the Commission should fund the window replacement as part of the grant request. The consensus was that this could create a negative precedent for future applications. They agreed that rehabilitation of existing historic windows could be appropriate, but that they needed to at least wait until the insurance claim had been resolved. There was opposition to funding complete window replacements.

Anderson said that he would support approving staff's recommended grant amount, and to defer consideration of the windows to a later date.

Whidden said that she agreed.

Brackett said that the Commission should be able to rehear the case at a later date as the applicant would be presenting new information.

Motion to approve Resolution 1, Series 2024, to the staff recommended amount of up to \$17,819.90 was moved by **Dunlap** and seconded by **Whidden**. The motion was adopted by a vote of 5 to 0, with **Burg** recused.

Work Plan Updates

None were heard.

Items from Staff

Brackett noted that one alteration certificate had been released since the last meeting, and that the Commission would be meeting again on April 29 to address two demolition requests.

Updates from Commission Members

None were heard.

Adjournment

Motion to adjourn was moved by **Anderson**, seconded by **Burg**, and adopted by voice vote.

The Commission adjourned at 7:25pm.

Historic Preservation Commission

Meeting Minutes

Monday, April 29, 2024

Electronic Meeting

6:30 PM

Call to Order – 6:30 PM

Roll Call was taken and the following members were present:

Commission Members Present: Lynda Haley, Chair
Christine Burg, Vice Chair
Josh Anderson
Marty Beauchamp
Gary Dunlap
Keith Keller
Sloan Whidden

Staff Members Present: Amelia Brackett, HPC Planner
Ben Jackson, Planning Clerk

Approval of Agenda

The agenda was approved by voice vote.

Public Comments on Items Not on the Agenda

None were heard.

Public Hearing Items

a) 1234 Jefferson Avenue Demolition Review

Dunlap recused himself from this item as he missed the start of it.

Staff Findings:

Brackett introduced the presentation for the demolition review. She went over the purpose and criteria of the demolition review process. She then showed the change in condition of the building, and covered how it met the landmark criteria. The house was approximately 114 years old, maintained the National Folk form, and had a well-documented social significance.

Staff Recommendation:

Staff recommended placing a 90-day stay on the application, ending on June 11, 2024.

Commissioner Questions of Staff:

City of Louisville

Community Development 749 Main Street Louisville CO 80027
303.335.4592 (phone) www.LouisvilleCO.gov

None were heard.

Applicant Presentation:

Andy Johnson, DAJ Design, and **Jeff Raikes**, owner, both residents, introduced their presentation.

Johnson explained the history of the property, how the application came about, and why they believed the application should be approved without a stay.

Raikes explained his family history in the City, and noted his wish to preserve as much of Louisville's history as possible. The home was not in a position where it could be preserved.

Questions of Applicant:

Anderson asked if any images of the flooring or structural foundations had been shared with the Commission.

Brackett said that this had not been included in the packet.

There was a discussion between **Brackett** and **Raikes** about sharing these with the Commission.

Anderson suggested that an HSA could have been appropriate here. He asked whether there was a reason this hadn't been explored.

Johnson said that he advised against it based off of his view of the structure.

Brackett shared images of the interior and flooring of the house.

Johnson explained what the photos were showing.

Anderson appreciated getting a better look at the condition of the foundations.

Beauchamp asked whether it would be possible, hypothetically, to save the house.

Johnson said that they had evaluated this at the start, but they found that the house was essentially too far gone to be salvaged.

Public Comment:

None were heard.

Commissioner Discussion:

Burg went over the landmark criteria, and noted that there were similar form homes preserved in Louisville. However, she felt that this was a challenging decision, particularly given the home's unique design. She wanted to encourage the applicant to consider preservation.

Whidden agreed with previous discussion. She wondered whether there was another creative way to preserve the social history given the poor condition of the structure.

Haley did not know if it would be possible to restore the structure to its original condition given the lack of documentation on this. She added that she would like to see the replacement house keep a somewhat similar design.

Keller said that he felt conflicted, and that he was not sure a stay would convince the applicant to change their mind. He would, however, like to see it preserved if at all possible.

Anderson noted that it was a unique house, and that there were few houses in Louisville that were as ornate as this one. An HSA would have made this decision easier to make. He said that he was leaning towards a stay of either 90 or 120 days.

Haley said she was generally in favor of productive stays, and that it was not clear a stay would be productive in this case. She noted that it would not be possible to complete an HSA within the stay, but that this could still allow them to talk about other options.

Beauchamp said that his hesitation was to not create an undue burden on the applicant, but added that he wanted applicant to provide more documentation on the condition of the floor structure and the foundations.

Johnson said that he would be happy to provide this information and to have it reviewed by the sub-committee.

Beauchamp said that he would appreciate this.

Rakes added that the previous owner told him that the foundation was significantly worse than they had anticipated.

Beauchamp noted that the costs behind restoration would be pretty daunting for any homeowner.

Haley shifted the discussion towards the proposed stay, and as to whether 90 or 120 days would be more appropriate.

Anderson said that he was leaning towards the staff recommendation of 90 days.

Haley asked if there would be support for sending it back to the subcommittee so they could review the additional photos.

Anderson felt that it wouldn't be necessary.

Burg suggested that the applicant could meet with Brackett during the stay to review the additional documentation.

Brackett said that it would not be possible to have it sent back to subcommittee.

There was a discussion on the purpose of a possible subcommittee review of the new photos, the consensus was against this.

Motion to place a 90-day stay on the demolition review was moved by **Burg** and seconded by **Anderson**. The motion was approved by a vote of 6 to 0, with **Dunlap** recused.

b) 1006 Pine Street Demolition Review

Staff Findings:

Brackett introduced the presentation for the 1006 Pine St demolition review. She said that the proposal was for changes to the current sidings, doors and windows, and not a total demolition of the structure. She also noted that these had changed over time, and were not original to the structure. She explained the social and architectural significance of the property, and finally noted that the applicant had made it clear they were not interested in preservation.

Staff Recommendation:

Staff recommended placing a 60-day stay on the application, ending on May 28, 2024

Commissioner Questions of Staff:

Anderson asked if the current siding had been applied over the original siding.

Brackett said it was her understanding that the currently exposed siding was the original siding.

Burg asked to confirm that the siding was being replaced on all four sides of the building.

Brackett confirmed this.

Beauchamp asked to confirm that the applicant was fully aware of the landmarking process.

Brackett confirmed that they were.

Applicant Presentation:

Zeke Freeman, architect, non-resident, explained the renovations and changes planned for the property. He noted that their intention was to maintain the character of the existing building as much as possible, and that the existing siding was past the end of its useful life.

Levy Villa, owner, resident, said that he would appreciate a speedy resolution of the demolition review, and would appreciate not having a stay placed on the demolition.

Questions of Applicant:

None were heard.

Public Comment:

Andy Johnson, resident, said that he was very excited to see this building come before the Commission. He added that he would love to see the owner receive grant funding for restoration.

Commissioner Discussion:

Haley noted the significance and prominence of the building in Louisville, and noted that the Commission wanted the best for the building.

Dunlap added that the building was becoming more prominent in the City given its growth.

Haley suggested that the main items for discussion with the application would be the stay, and the materials and changes proposed for the building. She said that she was hesitant about the proposed changes to the siding, but that she had less of an issue with the proposed changes to the windows and doors. She also asked about the purpose of the elevated door adjacent to the railway tracks.

Brackett said that she had been unable to find details about it.

Anderson suggested it might have been a hoist-way for a loft or storage area.

Whidden said that she struggled with losing the charisma of the original sidings. She also felt that the high door was an important part of the building, which she suggested may have been used for loading train cars.

Anderson noted that the siding did appear to have deteriorated, and suggested that it may have been painted over too many times.

There was an extended discussion about the poor condition of the existing siding, the proposed changes to said siding, and how this would affect the aesthetic of the structure. There was also a discussion about preserving the door, something that the applicant said that they would be in favor of.

Haley asked why the applicant was hesitant to pursue preservation grants for the renovation.

Villa said that they had discussed this in the past, but that at this time they just wanted to get the renovation done as quickly as they could so that they could reopen.

Anderson said that he would be in favor of staff's recommendation for a 60-day stay.

Haley asked whether the Commission would have any say over the changes once the stay had expired.

Brackett said that the scope of the demolition would have to be in line with what was reviewed by the Commission.

Haley asked whether the applicant could then make further changes to the siding.

Brackett said that her understanding was that any major changes to what was currently proposed would need to be reviewed by the Commission again.

Freeman asked whether an approval with conditions would be possible.

Brackett said that she was not sure that this was possible from the code. Her understanding was that the only options for the Commission was to either place a stay on the demolition, or to release it. She suggested that she could ask the City Attorney.

There was more discussion about the proposed siding, though the consensus was that the Commission was supportive of the proposed design.

Anderson said that he would be in support of the proposed 60-day stay.

Keller concurred, and added that the stay should be as short as possible.

Dunlap agreed, and wondered whether it would be necessary to have the subcommittee review any further changes.

Anderson said that the subcommittee would try to review the changes as quickly as possible given the applicant's desire for a quick resolution.

Motion to place a 60-day stay on the demolition was moved by **Anderson** and seconded by **Whidden**. The motion was adopted by a vote of 7 to 0.

Adjournment

The Commission adjourned at 8:38pm.

Historic Preservation Commission Meeting Minutes

**Monday, May 20, 2024
City Hall, Council Chambers
749 Main Street
6:30 PM**

Call to Order – 6:30 PM

Roll Call was taken and the following members were present:

Commission Members Present: Christine Burg, Vice Chair
Josh Anderson
Marty Beauchamp
Sloan Whidden
Keith Keller

Commission Members Absent: Lynda Haley, Chair
Gary Dunlap

Staff Members Present: Amelia Brackett, HPC Planner
Matt Post, Senior Planner

Approval of Agenda

The agenda was approved by voice vote.

Public Comments on Items Not on the Agenda

Andy Johnson, resident, wanted to provide the Commission an update on 1234 Jefferson. He showed some images of the inside of the original home.

Public Hearing Items

a) 1440 Cannon Street Probable Cause

Staff Findings:

Brackett introduced the presentation for the probable cause application. She showed photos of the previous condition of the home, and noted there had been little change in the last 60 years. The house was approximately 116 years old in the national style, and met the criteria for physical integrity and social significance.

Staff Recommendation:

Staff recommended a finding of probable cause.

Commissioner Questions of Staff:

None were heard.

Questions of Applicant:

Beauchamp asked whether the foundation had already been replaced.

Bob Musselwhite, applicant, resident, said that the foundation had been replaced at some point, and that it was made up of concrete blocks and slabs. He added that they had a structural engineer look at the foundation when they bought the property 14 years earlier, and that they said it was in good shape.

Public Comment:

None were heard.

Commissioner Discussion:

Beauchamp said he thought it was a straightforward application, and that it met all of the criteria. He was in support.

Keller agreed.

Burg said that she was in support, and was happy to see the City fund the cost of the HSA.

Motion to approve the finding of probable cause was moved by **Whidden** and seconded by **Anderson**. The motion was adopted by a vote of 5 to 0.

b) 900 Main Street Probable Cause

Staff Findings:

Brackett introduced the presentation for the probable cause application. She showed photos of the previous condition of the property, and noted there had been additions to the north and east, though these were both more than 50 years old. The property was approximately 69 years old, and was built as a residential-style commercial building. It had a strong connection to the commercial history of Downtown Louisville.

Staff Recommendation:

Staff recommended a finding of probable cause.

Commissioner Questions of Staff:

Berg asked if there was documentation relating to when the windows were first changed.

Brackett said that she was unable to find any information about changes to the windows or siding, but that this would likely be determined as part of the HSA.

Berg asked to clarify whether the additions to the building would be included in the HSA given they each had separate addresses.

Brackett said yes.

Applicant Presentation:

Andy Johnson, architect with DAJ Design, resident, introduced the applicant presentation. He spoke to the history of the building, and to what they wanted to find out through the HSA process.

Jeff Raikes, resident, spoke about the history of his family's ownership of the property.

Questions of Applicant:

None were heard.

Public Comment:

None were heard.

Commissioner Discussion:

Whidden said that she had really enjoyed reading about the history of the property and the business that had occupied it in the past. She was in support of the application.

Beauchamp agreed. He asked whether the applicant would consider exposing the brick and bring it back to its original exterior.

Rakes said that they likely would not.

Burg thought it would be good to complete the HSA so they could learn more about the past changes to the building. She noted that it met all of the criteria, and was in support.

Keller said that he agreed.

Anderson said that he was in support.

Motion to approve the finding of probable cause was moved by **Anderson** and seconded by **Whidden**. The motion was adopted by a vote of 5 to 0.

Work Plan Updates

There was an extended discussion about updates to the Grant Program. **Brackett** said that the purpose of the discussion was to get feedback from Commissioners about how they would like to see the program changed. (30:57)

Items from Staff

Updates from Commission Members

Adjournment

Motion to adjourn was moved by **x**, seconded by **x**, and adopted by voice vote.

The Commission adjourned at 7:44pm.

Historic Preservation Commission

Meeting Minutes

Monday, July 15, 2024

City Hall, Council Chambers

749 Main Street

6:30 PM

Call to Order – 6:30 PM

Roll Call was taken, and the following members were present:

Commission Members Present: Lynda Haley, Chair
Christine Burg, Vice Chair
Gary Dunlap
Sloan Whidden
Marty Beauchamp
Keith Keller

Absent Commission Members: Josh Anderson

Staff Members Present: Amelia Brackett, Senior Planner.
Ben Jackson, Planning Clerk

Agenda Approval

- Motion to approve the agenda for the evening.
- Motion seconded and approved by all members present.

Public Comments

No public comments on items not on the agenda.

Staff Presentation

917 Rex Street - Preservation and Restoration Grant Request

- Landmark alteration certificate and preservation/restoration grant.
- Property at 917 Rex Street: Landmark alteration certificate and preservation/restoration grant request.
- Undated photo, 1948 assessor's photo, and current photo.
- Porch added, changes to front porch, changes to siding.
- Structure and form remain intact since mid-century.
- Landmark criteria: Primary structure (built in 1936, 88 years old).
- Landmark criteria: Garage (at least 76 years old, placed before 1948).
- Architectural significance: Bungalow style (primary), barn door style clipped gable (garage).
- Physical integrity: Minor exterior changes.
- Social significance: Mining history, French immigration.
- Rear additions to house and garage: Minimal impact, differentiated in style, located at the rear.
- Side patio removal and front porch railings removal: Not original, changes align with restoration.
- Alterations to doors and windows: Preserve existing historic materials, remove non-historic elements.
- Elevations show additions on the rear of the house and garage.
- Alterations to front facade: Removing covered porch on the side, removing railings on the front.

917 Rex St - Grant Request

- Request for \$162,244.

- Staff ensured work was described as necessary in the historic structure assessment and related to preservation, restoration, or rehabilitation.
- Relates to building size, condition, architectural details, or other unique condition compared to similar Lewisville properties.
- Staff compared requests to what has been approved/requested in other circumstances.
- Staff recommends \$154,220.
- Site grading, drainage, exterior appendages, and exterior details do not qualify for extraordinary circumstances.
- Full structural work on house and garage meets extraordinary circumstances based on size and condition.
- Restoration and preservation qualify based on scope and preservation of architectural details.
- Roofing and waterproofing for two structures is extraordinary.
- Six letters of support from neighbors and community members.
- Staff recommends approval of resolutions for landmark, alteration certificate, and grant.

Questions for Staff

- Commissioner asks if the garage was built at the same time as the primary structure.
- Staff says they don't have a reason to think it wasn't built at the same time.
- Commissioner asks for clarification on what's not recommended.
- Staff says site grading, exterior appendages, and exterior details are not considered extraordinary.
- Commissioner asks how size is being used as an extraordinary circumstance.
- Staff clarifies they are trying to be specific and not set a precedent.
- Staff reviews based on whether it is typical for a full foundation to need to be replaced.
- Size is not just the primary structure, but the fact that the grant would cover both the primary and the garage.
- Commissioner asks about the garage sitting on a slab in a different location.

- Staff defers to the applicant to describe the specifics of the garage foundation.
- Having a new foundation on a historic structure is a preservation practice.
- Commissioner asks about roofing and interior work being included in the request.
- Staff says interior work like redoing floors or bathrooms is not included.
- Things that relate to fixing the walls or rehabilitating it to make it functional can be covered.
- Roofing relates to preserving the existing house or making it livable and usable.

Public Comments

No public comments

Applicant Presentation – Architect:

- Andy Johnson from DAJ Design is presenting, along with Talbot, the owner of 917 Rex St. Josh Johnston from DAJ Design is also present online.
- DAJ Design previously worked with Talbot on 908 Rex in 2020.
- The presentation will address questions to staff.
- 917 Rex is located in the Old Town overlay, near Community Park.
- County assessor records suggest the home was built all at once.
- The home has an added railing with "tombstone or surfboard" decor.
- A lean-to roof enclosed a concrete patio.
- The garage has sliding doors.

Floor Plans and Proposed Changes

- Red on the floor plan indicates original construction, orange indicates additions.
- The house has a basement.
- Proposed additions are to the rear of the house.
- Preservation work is planned for the studio.
- A new garage is proposed off the alley.

Elevation and Preservation Efforts

- The house will largely remain as is.
- The lean-to will be removed, exposing the rear entry door.
- Preservation efforts are considered for the windows, with a possible pivot to storm windows for thermal efficiency.
- The studio (old garage) has functioning doors that will be refinished and reused.
- The center flat wood panels will be used as windows.
- The house is believed to have originally been clad in Dutch Cove wood siding under the stucco.
- The original stucco is intended to be kept.

Zoning and House Move

- The lot coverage is below the allowable limit.
- The house was moved back to the alley to replace the foundation.
- The west side foundation was leaning, cracked, and brittle.
- The studio's original location presents issues with fireproofing, overhangs, and zoning compliance.
- Code requires the studio to meet minimum zoning setbacks.

Demolition and Discoveries

- The front porch was in serious deteriorating condition.
- The lean-to was tied into the rafter tails of the existing roof.
- The house move allowed for inspection of the foundation and buried elements.
- The bottom plate of the west side structure had deteriorated.
- 1940s Pinups and newspaper clippings were uncovered.
- The doors are in remarkably good shape and will be reused.

House Lifting and Foundation

- House was lifted, allowing study of the concrete foundation.
- The concrete foundation had:
- Aggregate ranging from fist-sized to cobblestone-sized.
- Zero reinforcing.
- Brittle composition.
- Shallow depth.

- The front porch was made with a concrete rat slab.
- The home was originally set on 24in center rafters, later infilled to 12in centers.

Budget Considerations

- Site grading and drainage are a package deal with foundation work, requiring changes to meet code and interact with the new foundation.
- Roofing and waterproofing focus on gutters, downspouts, roof venting, and house wrap for a weather-resistant barrier.
- Insulation and drywall are critical for structural integrity and meeting energy codes, preventing moisture management issues.
- Heating, cooling, plumbing, and electrical were excluded from the budget.

Applicant Presentation – Property Owner:

- Talbot Wilt thanks the council for their help with his last home restoration project at 908 Rex Street.
- He expresses his love for restoring historic properties and saving Louisville's charm.
- He bought the house at 917 Rex Street from owners who wanted him to preserve it.
- The property includes a historic home and a historic garage on a large triple lot.

Commission Discussion

- Commissioner asked if the proposed budget numbers could be separated between the primary structure and the detached garage.
- Commissioner questioned the budget allocation for changing the detached garage into a habitable studio, requiring insulation and drywall.

Questions of Applicant:

- Applicant clarified that the primary cost in the garage preservation is in the foundation and structure, along with windows and doors.
- Applicant stated that the drywall is critical for lateral support of the building itself.

Public Comments

- There were no public comments in person or online, but three written comments were received and reviewed by the commission.
- The different grant requests are dependent upon landmarking.
- Commissioner finds the landmarking straightforward given the condition of the house and how well-preserved it is.
- Commissioner agrees that this is a strong candidate for landmarking, adding to the continuity of the neighborhood with its bungalow style.

Motion and Roll Call

Motion to Landmark for 917 Rex St, seconded and approved by roll call vote.

Alteration Certificates

- There are two alteration certificates, one for the home and one for the garage.
- The proposed structures are consistent with the existing ones.
- The additions are thoughtful, with good differentiation.
- Commissioner thinks the moving of the garage is a fine alteration.

Motion and Roll Call

Motion to approve the Alteration Certificates for 917 Rex St, seconded and approved by roll call vote.

Grant Request Discussion

- The grant request falls under preservation, restoration, and rehabilitation guidelines, requesting \$162,446.
- Discussion focused on the use of funds to insulate the garage, changing its use to an accessory studio.
- Commissioner questioned whether changing the use results in extraordinary circumstances, as insulating and drywalling would not be necessary if it remained a garage.

- Commissioner sees it as preservation, incentivizing the maintenance of the historic garage by making it more usable with insulation.

Insulation & Drywall Costs

- The \$27,000 for insulation and drywall is for the existing structures, with a larger portion going to the house.
- Commissioner stated that storage doesn't need to be insulated, and that funding insulation for extra housing is not historic preservation's role.
- Commissioner agreed with Linda's point, questioning funding beyond what's needed to use the garage as a garage.
- Commissioner stated that interior work like drywall is generally not included, unless it's structural.

Site Grading & Drainage

- Staff had hesitations about funding site grading and drainage.
- Commissioner believes grading is vitally important and should be included in the grant, addressing poor foundations.
- Commissioner found Andy's explanation compelling, stating that bringing everything up to code and allowing for what's required for the New Foundation it's sort of part of that scope.
- Commissioner agrees that drainage is important for the viability of the structure, addressing the deterioration.
- Applicant mentioned the addition of half-round guttering, which would be considered preservation work.

Moving the Garage

- The current foundation was not in good condition for both the house and the garage.
- The structural assessment indicated it was difficult to tell if the garage was supported by a foundation.
- There were no anchor bolts holding the house down to its foundation.

- Moving the home and garage and doing foundation work would preserve the structures.
- It is fortunate that they had the room to move the structures back on the property to do the foundation correctly.

Commission Discussion

- The dyall installation is a sticking point.
- Adding site grading and drainage would cost about \$1,750.
- A decision needs to be made about whether to keep the drywall installation in the grant request.
- The commission needs to decide if the insulation and drywall are part of preserving the garage structure.
- Commissioner says no, and the speaker tends to agree because it wouldn't need drywall then or insulation.
- The issue is more around the use of it turning into conditioned space.
- Applicant: "There is a huge motivation emotionally to preserve these buildings."
- The grant program makes preservation tangible and real.
- It is important to question things when they are extraordinary.
- It is important to make sure that they are paying for what they are supposed to pay as a historic preservation commission.

Proposal

- The speaker is offering a formal proposal to subtract \$6,903 from the total requested amount.
- The staff recommendation subtracts the site grading and also the exterior appendages and details.
- Exterior appendages include removing the plywood floor, investigating the floor framing, repairing and replacing as necessary, removing the columns and railings and replacing the columns with tapered columns to match the historic appearance, adding structural elements to properly support the roof, and repairing or replacing the ceiling.

- Exterior details include replacing the soft and fashion throughout with matching historic sizes and locations, repairing, restoring, and replacing the window and door trim freeze board and skirtboard, and adding new Corner trim.

Commission Discussion

- The commission is discussing how to allocate the original \$40,000 in the project budget versus any additional costs due to extraordinary circumstances.
- One argument is that the original \$40,000 should cover the exterior work, which is typically covered in a preservation grant.
- Commissioner explains that her spreadsheets for extraordinary circumstances include a column for "fund request for typical items," such as exterior details.
- The extent of the damage, described as "throughout" the structure, qualifies the project for extraordinary circumstances.

Porch Condition

- Applicant describes the front porch as severely deteriorated, requiring complete replacement from the roof down.
- Property owner adds that the porch had plywood covering, concealing the extent of the damage until demolition began.

Motion and Roll Call

- A motion is made to approve resolution six or seven for the grant amount of \$162,000 minus \$6,900.
- The \$6,900 is for garage insulation and drywall, which is being removed from the grant.
- The revised grant amount is \$155,043, with the removal of garage insulation from Exhibit A.
- The motion is seconded, and a roll call vote is taken, with all commissioners voting in favor.

Staff Updates

- There were no alteration certificates issued in the past month.
- A demolition review was conducted for 533 and 421 East due to a permit issue from a 2023 public hearing.

- The next regular meeting is scheduled for August 19th.
- The agenda includes at least one case and a grant update.

Commission Member Updates

- A previous discussion about a retreat and work plan will be brought back in August with concrete grant resolution language.
- Commissioner is unable to attend the next Museum Advisory Board meeting and has informed GG Yang.

Motion to Adjourn

Motion to adjourn was moved, seconded, and adopted by voice vote. The Commission was adjourned

Historic Preservation Commission Meeting Minutes

**Monday, September 16, 2024
City Hall, Council Chambers
749 Main Street
6:30 PM**

Call to Order – 6:30 PM

Roll Call was taken and the following members were present:

Commission Members Present: Lynda Haley, Chair
Christine Burg, Vice Chair
Josh Anderson
Gary Dunlap
Keith Keller
Sloan Whidden

Commission Members Absent: Marty Beauchamp

Staff Members Present: Rob Zuccaro, Director of Community
Development
Emily Cline-Gibson, Planner II
Gabby Muratti, Administrative Assistant
Ben Jackson, Planning Clerk

Approval of Agenda

The agenda was approved by voice vote.

Public Comments on Items Not on the Agenda

None were heard.

Public Hearing Items

a) 1025 Front St – Probable Cause

Staff Findings:

Cline-Gibson introduced the presentation for the probable cause application. She noted that there had been changes to the porch and windows, but that the house had otherwise remained intact since at least 1948. It was approximately 127 years old, in the national folk style, and met the criteria for architectural and social significance.

Staff Recommendation:

City of Louisville

Community Development 749 Main Street Louisville CO 80027
303.335.4592 (phone) www.LouisvilleCO.gov

Staff recommended a finding of probable cause.

Commissioner Questions of Staff:

None were heard.

Applicant Presentation:

Kimberly Echols, resident, noted that her family had lived in the house for decades. She spoke to why the porch had been enclosed, saying that it did not have enough space for a full length dining table without the enclosed porch. She also noted that the windows and siding had been replaced due to a previous hail storm.

Questions of Applicant:

None were heard.

Public Comment:

None were heard.

Commissioner Discussion:

Anderson said that he was in favor.

Dunlap said that he was pleased the property had been brought forward for preservation, and was in support.

Burg noted the rare double pyramid roof, and said that she was looking forward to seeing the completed HSA. She was in favor.

Haley noted that it met all criteria, and said that she was in support.

Motion to approve the finding of probable cause was moved by **Whidden** and seconded by **Anderson**. The motion was adopted by a vote of 6 to 0.

b) 921 Main St – Probable Cause

Staff Findings:

Cline-Gibson introduced the presentation for the probable cause application. She said that there had been very minimal changes to structure, and that it was approximately 131 years old. The property was in the national folk style, and was originally a residential structure before being converted to an office use. She said that it met the criteria for architectural and social significance.

Staff Recommendation:

Staff recommended a finding of probable cause.

Commissioner Questions of Staff:

None were heard.

Applicant Presentation:

Andy Johnson, resident, from DAJ Design, spoke to the history and uses of the building. He noted that the owner had expressed interest in preserving and restoring the property.

Questions of Applicant:

Dunlap asked about the intended use of the building.

Johnson said that the applicant intended for it to remain commercial.

Dunlap asked how the age of the tree was determined.

Johnson said that it was discovered from a discussion with the city forester.

Public Comment:

None were heard.

Commissioner Discussion:

Haley noted the strong history, and that it was in good condition. She was in support.

Anderson asked to clarify the size of the grant. He also thought it was interesting that it was eligible for a commercial HSA grant given this was historically a residential property.

Haley confirmed that the grant was to be up to \$9,000, and said that the grant type was determined by current use.

Burg agreed that it was a good use of funds, and noted its prominent location. She was in support.

Motion to approve the finding of probable cause was moved by **Anderson** and seconded by **Whidden**. The motion was adopted by a vote of 6 to 0.

Items from Staff

Cline-Gibson said that one demolition review had been released in late July.

Updates from Commission Members

Whidden spoke about the upcoming Museum advisory board meeting.

Anderson asked whether there could or would be an end of year summary on the costs of completed HSAs.

Zuccaro said that staff could look into it.

Dunlap spoke about his work with Burg to update the Commission's bylaws, and wanted to know where the proposed changes needed to be sent.

Haley suggested that staff review the changes before bringing them to the Commission.

Zuccaro agreed that the proposed changes should be sent to staff.

Motion to adjourn was moved by **Burg**, seconded by **Anderson**, and adopted by voice vote. The Commission adjourned at 6:56pm.

Historic Preservation Commission Meeting Minutes

**Monday, October 21, 2024
City Hall, Council Chambers
749 Main Street
6:30 PM**

Call to Order – 6:30 PM

Roll Call was taken and the following members were present:

Commission Members Present: Lynda Haley, Chair
Christine Burg, Vice Chair
Josh Anderson
Marty Beauchamp
Gary Dunlap
Keith Keller
Sloan Whidden

Staff Members Present: Rob Zuccaro, Director of Community
Development
Emily Cline-Gibson, Planner II

Approval of Agenda

The agenda was approved by voice vote.

Public Comments on Items Not on the Agenda

Andy Johnson, resident, from DAJ Design, wanted to discuss the costs of completing an HSA, and how he wanted to ensure that all HSAs funded through the grant process were completed to an acceptable standard.

Public Hearing Items

a) 641 Main St – Probable Cause

Staff Findings:

Cline-Gibson introduced the presentation for the probable cause application. She noted that there had been significant architectural changes between the 1948 assessor's card and the present day, though the building's footprint and overall character remained largely the same. It was approximately 144 years old, and met the criteria for geographic and social significance.

Staff Recommendation:

City of Louisville

Community Development 749 Main Street Louisville CO 80027
303.335.4592 (phone) www.LouisvilleCO.gov

Staff recommended a finding of probable cause.

Commissioner Questions of Staff:

None were heard.

Applicant Presentation:

Phillippa Clark, resident, and **Sheri Levine**, non-resident, spoke to the structural integrity of the building. Clark said that they had concerns about the condition of the foundations, and wanted to get a better understanding of what needed to be restored.

Commissioner Questions of the Applicant:

Dunlap noted that the nearby Parks and Recreation building, which was of a similar age, had sunk a bit due to mine subsidence, and wondered whether this could also be an issue here.

Beauchamp asked whether they had any plans or ideas for upgrades or repairs yet.

Clark said that their intention at this stage was to assess the condition of the building, and added that they would consider applying for restoration grants if they felt they were necessary.

Levine spoke about her history with the building, and her desire to see it preserved.

Public Comment:

None were heard.

Commissioner Discussion:

Beauchamp felt that this was a straightforward case as it met the criteria, and was in support.

Dunlap said that this was an iconic building in Louisville, and that it was well worth preserving. He was in support.

Anderson said that he was in support.

Motion to approve the finding of probable cause was moved by **Burg** and seconded by **Anderson**. The motion was adopted by a vote of 7 to 0.

b) 1040 LaFarge Ave – Probable Cause

Staff Findings:

Cline-Gibson introduced the presentation for the probable cause application. She said that there had been very minimal changes to structure, and that it was approximately 112 years old. The property was in the pyramidal roof style, and had a strong connection to Louisville's history. She said that it met the criteria for architectural and social significance.

Staff Recommendation:

Staff recommended a finding of probable cause.

Commissioner Questions of Staff:

None were heard.

Applicant Presentation:

Andy Johnson, resident, DAJ Design, spoke to the history of the house, and noted that there had been a well-integrated addition to the house completed at an as of yet unknown time.

Commissioner Questions of the Applicant:

None were heard.

Public Comment:

None were heard.

Commissioner Discussion:

Haley said that it seemed very straightforward.

Beauchamp agreed.

Anderson said that it was interesting to see a property that had seen such little change over time. He was in support.

Burg said that it was nice to see a corner lot, and was interested in learning more about it.

Motion to approve the finding of probable cause was moved by **Anderson** and seconded by **Whidden**. The motion was adopted by a vote of 7 to 0.

Items from Staff

Cline-Gibson noted the upcoming plaque ceremony, and upcoming workshops for the Comprehensive Plan.

Updates from Commission Members

Burg introduced the bylaws subcommittee's proposed changes to the Commission's bylaws.

There was also a discussion about the hiring process for the new Historic Preservation Planner.

Motion to adjourn was moved by **Anderson**, seconded by **Keller**, and adopted by voice vote. The Commission adjourned at 7:07pm.

Historic Preservation Commission Meeting Minutes

**Monday, November 18, 2024
City Hall, Council Chambers
749 Main Street
6:30 PM**

Call to Order – 6:30 PM

Roll Call was taken and the following members were present:

Commission Members Present: Lynda Haley, Chair
Christine Burg, Vice Chair
Josh Anderson
Marty Beauchamp
Gary Dunlap
Keith Keller
Sloan Whidden

Staff Members Present: Rob Zuccaro, Director of Community
Development
Emily Cline-Gibson, Planner II
Ben Jackson, Planning Clerk

Approval of Agenda

The agenda was approved by voice vote.

Public Comments on Items Not on the Agenda

None were heard.

Public Hearing Items

a) 1016 Main Street – Probable Cause

Staff Findings:

Cline-Gibson introduced the presentation for the probable cause application. She noted that there had been very little change since the early 1900s, and that it was approximately 114 to 129 years old, in the Queen Anne style. She explained its notable social significance, and emphasized its connections to Italian immigrant history and the City's mining history. It met the criteria for architectural and social significance.

Staff Recommendation:

Staff recommended a finding of probable cause.

Commissioner Questions of Staff:

None were heard.

Applicant Presentation:

Andy Johnson, resident, DAJ Design, was the architect for the applicant. He spoke to the history of the house and its current condition.

Questions of Applicant:

Haley asked if they had found any Sears and Roebuck stamps or logos on the house yet. **Johnson** said that they had yet to find any.

Public Comment:

None were heard.

Commissioner Discussion:

Anderson said that this was an easy application to move forward with. He noted that it was well preserved, and was in favor.

Haley agreed, and said that it met all of the requirements.

Burg said that it would be nice to see Queen Anne style home preserved, and was in support.

Haley added that it was particularly important to preserve given it was on the National Register.

Dunlap said that it would help preserve Main Street. He was in support.

Motion to approve the finding of probable cause was moved by **Burg** and seconded by **Whidden**. The motion was adopted by a vote of 7 to 0.

Discussion Items

a) Bylaws Draft Update

Commissioner Discussion:

Burg spoke about the work of the subcommittee to update the bylaws, and was presenting the draft bylaws to the Commissioners for discussion. She added that there would not be a vote on these changes at this meeting, but it would instead be an opportunity to discuss them.

Dunlap went over some of the changes and reasoning for the changes. He also explained the intentions behind the changes.

There was an extensive discussion on the impacts of the changes, what Commissioners wanted to see out of them, and what they were and were not able to change without City Council approval. The general consensus was that the proposed changes were all reasonable and worth implementing.

Zuccaro also clarified that Commission could impose a maximum time limit on alteration certificates, but that it had to be at least 3 years. The Commission would also have to

explicitly state this maximum limit at approval.

Public Comment:

None were heard.

b) Difference in time periods for landmark designation (50 years or older) and demolition review (in or before 1955)

Staff Presentation:

Cline-Gibson introduced a staff presentation for the proposed change to the period of significance. She explained why staff at the time believed that the intention of Preservation Master Plan was to also change the landmark and demolition criteria to 1955, instead of just the demolitions as ended up happening. Staff wanted the Commission to discuss whether the demolition review criteria should be reverted back to a 50 year standard, or if landmarking should be limited to properties built in or before 1955, as they felt both should use the same standard.

Commissioner Discussion:

Haley noted that the national standard was at 50 years or older rather than being set to a fixed time period. She said that when it was adopted in 2015, HPC was in favor of keeping the time period in line with this, but City Council disagreed due to the potential to overburden staff and the Commission.

The general consensus of Commissioners was that they wanted to allow the preservation program to keep a “living history” of Louisville. As a result, they were in favor of using a rolling 50 year time frame rather than anchoring the time period to pre-1955, or any other fixed period of time. However, there were some concerns about the potential volume of applications that could come to staff and the Commission. There was a suggestion that the time period could be varied by neighborhood in the city.

Public Comment:

Andy Johnson, resident, said that it would be a question of geography rather than numbers. He suggested that the time period seemed rather arbitrary, and suggested weighting eligibility by the historic value of each neighborhood.

Items from Staff

Cline-Gibson provided updates on the CLG annual report, and on the Commission’s upcoming meeting dates.

Updates from Commission Members

Dunlap asked whether another member of the Commission would be interested in taking over the role of placing information about the work of the Commission in the Downtown Business Association’s newsletter once his term expires at the end of the year.

Adjournment

Motion to adjourn was moved by **Burg**, seconded by **Anderson**, and adopted by voice

vote. The Commission adjourned at 7:51pm.

Historic Preservation Commission Meeting Minutes

**Monday, December 16, 2024
City Hall, Council Chambers
749 Main Street
6:30 PM**

Call to Order – 6:30 PM

Roll Call was taken and the following members were present:

Commission Members Present: Lynda Haley, Chair
Christine Burg, Vice Chair
Josh Anderson
Marty Beauchamp
Gary Dunlap
Keith Keller
Sloan Whidden

Staff Members Present: Rob Zuccaro, Director of Community
Development
Emily Cline-Gibson, Planner II
Ben Jackson, Planning Clerk

Approval of Agenda

The agenda was approved by voice vote.

Public Comments on Items Not on the Agenda

None were heard.

Public Hearing Items

a) 833 LaFarge Avenue – Probable Cause

Staff Findings:

Cline-Gibson introduced the presentation for the probable cause application. She noted that the home was approximately 77 years old, had unusual architectural features due to its past usage as a church, and had a strong social significance. It met all requirements for a probable cause finding.

Staff Recommendation:

Staff recommended a finding of probable cause.

Commissioner Questions of Staff:

None were heard.

Applicant Presentation:

Andy Johnson, resident, from DAJ Design, spoke to the history of the property.

Questions of Applicant:

None were heard.

Public Comment:

None were heard.

Commissioner Discussion:

Dunlap said he was pleased to see it on the agenda, and thought that it would be a great addition to the City's landmarked properties.

Haley agreed, and noted that it satisfied all criteria.

Beauchamp noted that there had been some changes, but he thought that it qualified on the social criteria alone. He did not think that the architecture was unique, but he was supportive of the application.

Motion to approve finding of probable cause was moved by **Whidden** and seconded by **Beauchamp**. The motion was adopted by a vote of 7 to 0.

b) 1237 Grant Avenue – Probable Cause

Whidden recused herself from this item as the applicant was a family member.

Staff Findings:

Cline-Gibson introduced the presentation for the probable cause application. The property was approximately 76 years old, in the minimal traditional style, and had a long term ownership and connection to immigration history.

Staff Recommendation:

Staff recommended a finding of probable cause.

Commissioner Questions of Staff:

None were heard.

Applicant Presentation:

Rosemary Kavanagh-Whidden, resident, had met past owners before they passed, and spoke to the history of their connection to the property.

Questions of Applicant:

None were heard.

Public Comment:

None were heard.

Commissioner Discussion:

Beauchamp said that this was a very straight forward application, and that he was in support.

Anderson noted his interest in the continuous female ownership since construction.

Burg noted the lack of physical change, and said that it met all of the criteria.

Haley said that there were fewer post WWII properties landmarked in that area, and thought that this house would be a welcome addition.

Motion to approve the finding of probable cause was moved by **Dunlap** and seconded by **Keller**. The motion was adopted by a vote of 6 to 0 with **Whidden** recused.

Discussion Items

a) HSA Process and Grant Funds

Staff Presentation:

Zuccaro introduced the presentation on updates to the HSA process. He covered the history of the grant process, the purpose of the process, HSA procedures and scope of work, and why staff felt that change was needed. He provided a list of questions for Commissioners to discuss.

Public Comment:

Andy Johnson, resident, DAJ Design, pooled with **Josh Johnston**, resident, and **Michelle Frieswyk-Johnson**, resident, noted his history with the HSA process. He showed the results from an audit of HSAs conducted by his business, DAJ Design, and the costs associated with them. He said that the grants were not large enough to cover the costs of residential assessments, though they were largely on par for commercial properties. He suggested modest increases to the grant amounts, and that there be a provision for exceptional circumstances where the grants could be increased for more complicated assessments. He also suggested that all HSAs be documented and catalogued at the library.

Commissioner Discussion:

Haley asked about the list of qualified professionals the City provided to applicants who were interested in the HSA process.

Zuccaro said that they had not updated the list in a long time, and noted that typically applicants came to them after they had already started working with an architect.

Haley asked how often HSAs were sent back for more information.

Zuccaro said he was not sure, but thought that it had been at least a few years since this last happened.

Beauchamp asked how often the HSA process was used to successfully landmark a property.

Johnson said that they were able to complete them around 30% of the time, though were expecting to get to around 60%.

Anderson noted that the 30% figure was likely low due to the number of recently completed HSAs that had yet to get to the landmarking stage.

Zuccaro added that staff typically encouraged applicants for demolition review undertake an HSA, so that there would at least be a record of the history of the structure before it was demolished.

Dunlap said that the process was not straightforward for those who wanted an HSA simply so they could landmark their property. He also agreed that the completed HSAs should be saved with the library. He was concerned that only 3 landmarks were created by the Commission in 2024, and though that this number ought to be far higher.

Zuccaro noted that some applicants were hesitant about landmarking for fear that they could lose the ability to redevelop their property.

Dunlap noted that these people tended not to start the HSA process at all.

Anderson asked whether there should be any size considerations for the HSA grant amounts. He also suggested that the City should require a licensed architect conduct the HSA, or to at least have the City interview the proposed assessor.

Anderson suggested that staff could send out an exit questionnaire after the probable cause hearing to ask the applicants what they were interested in doing after the completion of the HSA.

Zuccaro asked the Commissioners if they wanted to move forward with increasing the HSA grant amounts, and if they wanted to make changes to the program like requiring a structural engineer or allowing for extra funds for extraordinary circumstances.

Anderson asked how many HSAs had been completed without a structural engineer.

Zuccaro said that all HSAs in the last two years had used a structural engineer. He suggested that they could require a structural engineer as a base line, but allow applicants to request a waiver to not require one.

Anderson thought that this would be a good way to approach it.

Dunlap noted that people who only intended to go through the HSA process so they could landmark their properties may not need or want a structural engineer.

Beauchamp felt that both a licensed architect and a structural engineer should be involved in the process.

Haley said that more people might be willing to work on HSAs if the grants were more commensurate with the costs and time needed to complete them.

Whidden agreed, and wanted to see a staff proposal for an increase to the grant amounts. She also noted that some people may lose interest in the process due to the time and energy required to complete it.

Burg agreed that there was a need to increase these grant amounts, and thought that the HSA grants should be addressed first.

Johnson said that the reimbursement process had never been an issue or barrier from their experience. He added that he felt that a structural engineer was critical to the process.

Zuccaro noted that an applicant could skip the HSA process and move straight to landmarking if they wanted to.

Dunlap asked whether any changes to the grant amounts would have to go before voters.

Zuccaro said no, it would be up to Council instead.

Zuccaro also suggested that staff could send the completed HSAs to Commissioners so that they could see them.

b) Annual Work Plan 2024 Review

Staff Presentation:

Cline-Gibson introduced the presentation on the review of the 2024 work plan. She explained what had been completed over the course of 2024, and what they had not been able to get done.

Commissioner Discussion:

There was a discussion about the previous plan to create a new online map of the landmarked and historic properties in Louisville that could better convey the stories of these buildings than the maps currently on the website.

Burg spoke about the progress on updates to the Commission's bylaws, and said that they should be ready for review some time in 2025.

Items from Staff

Cline-Gibson provided an update on the subcommittees' action, and noted that the next meeting date had been moved to January 27, 2025 due to the public holiday on the 20th.

Updates from Commission Members

There was an acknowledgment that this was **Dunlap's** last meeting as a member of the Commission.

Adjournment

Motion to adjourn was moved by **Burg**, seconded by **Beauchamp**, and adopted by voice vote. The Commission adjourned at 8:11pm.

ITEM: 1016 Main Street Landmark Request

APPLICANT & OWNER: City of Louisville
749 Main Street
Louisville, Colorado 80027

PROJECT INFORMATION:

ADDRESS: 1016 Main Street
LEGAL DESCRIPTION: Lot 10, Block 17 Caledonia Place
DATE OF CONSTRUCTION: Ca. 1985-1910

REQUEST: A request to Landmark 1016 Main Street

VICINITY MAP:



SUMMARY:

The request is for landmark designation of 1016 Main Street, which was purchased by the City using Historic Preservation Funds (HPF). After landmarking, the City intends to sell the property, and the future owner will be able to take advantage of HPF grants and zoning incentives. The \$5,000 Landmark Bonus Grant will be passed on to the new owner.

BACKGROUND

1016 Main is one of twelve Louisville properties that were nominated for and received designation under the National Register of Historic Places in 1986.

Following the review of an application for complete demolition of 1016 Main Street in April 2025, the Historic Preservation Commission (HPC) placed a maximum-allowed 180-day stay on the demolition request, which expired on September 1, 2025. The demolition hearing garnered a high level of public interest and advocacy to preserve the historic home. After exploring preservation options with the property owner, the City Council entered into a contract to purchase 1016 Main Street for \$1,400,000 using the Historic Preservation Fund (HPF) at their August 5, 2025 meeting. The closing took place on September 30, 2025.

The intent of the City is to landmark 1016 Main Street, list it for sale, and reimburse the HPF with the proceeds of the sale. The future property owners will be subject to the preservation requirements for a locally landmarked home and be able to take advantage of HPF grants and zoning incentives to help maintain the home, and if desired, redevelop the property within the design requirements for historic homes. The \$5,000 Landmark Bonus Grant will be passed on to the new owner.

HISTORICAL BACKGROUND:

Information from Gigi Yang, Louisville Historical Museum

The history of 1016 Main exemplifies the modest lives of Louisville residents in the late 19th and 20th centuries. The property was used by several generations of the Ashe and Petrelli families as a source of rental income and as a home. It provides a distinctive example of mail-order house construction and of the building industry.

The exact year of construction cannot be determined. Boulder County Records give 1910 as the house's date of construction, however, the County Assessor Card notes the house was 55 years old in 1950, placing the earliest date of construction at 1895. Numerous resources indicate that the house was constructed from a Sears and Roebuck kit. The Sears Catalog of Modern Homes, selling do-it-yourself kits for building a house, was available from 1908-1948, which would bring the earliest date of construction to 1908.

Mary Quillian Ashe purchased the home in 1910, after having previously lived as a next-door neighbor. Mary and her husband, Thomas Gregory Ashe, who was a superintendent of the Lucas mine near Broomfield, moved to Texas with their six sons in 1911. However, the Ashe family retained ownership of the house for the next 27 years and used it as a rental until Mary's death in 1934.

In 1938, the Ashe family sold the home to Victor and Mary Petrelli. Victor was born in Italy and came to the US in 1910. Mary was of Italian descent and born in New Jersey. The Petrellis spent their early years of marriage in Italy until coming back to the United States with their two sons. They moved from Wyoming to Louisville after purchasing the house at 1016 Main, and Victor and his eldest son, Eugene, found work at the Louisville

Lafayette Coal Company. During World War II, Victor worked as a loader at the Centennial mine. Mary passed away in 1948 and Victor in 1961. The Petrelli family retained ownership of the property until 1982, when their three sons sold the property.

See Attachment No. 2 for complete Social History Report.

ARCHITECTURAL INTEGRITY:

1016 Main Street was documented in the PaleoWest “Stories in Places” residential context as displaying a Queen Anne architectural style, one of three in the Caledonia Place subdivision. It is likely that this building was constructed from a Sears and Roebuck house kit. The property exhibits a front-gabled roof and front porch. There is a single addition on the rear of the house that was added 1948 and was enclosed thereafter. Changes to the building also include a bay window and greenhouse on the south side, both added in 1989.

The house has maintained many of its original features, including the siding, windows, and trim. It is unclear if the front door is original. Overall, the property exhibits a high level of architectural integrity. This block of Main Street also includes many historical homes as well as the Louisville Historical Museum Campus, adding to the historic character and architectural integrity overall of this section of Old Town.

This property was registered with the National Register of Historic Places in 1986 with the following architectural description:

Wood frame Queen Anne Vernacular house characterized by large projecting bay. Trim on front façade includes diagonal shingles in gable of projecting bay, with slender columns separating the three “walls” of the bay. Plain window and door frames. Shed-roof porch supported by round columns extends over portion of façade of main house. Shed-roof carport added in c. 1980 off south side.



Photo and floor plan of 1016 Main from the 1948 Assessor's Card.



Photo of 1016 Main Street dated ca. early 1900s



Current image of 1016 Main Street.

HISTORIC STRUCTURE ASSESSMENT:

In 2024, the property owners received an HPF grant to complete a Historic Structure Assessment (HSA) for the property (see Attachment No.3). The HSA provides a detailed assessment of the history and condition of the building. While there are many noted recommendations and needs for restoration and preservation of the home, the most significant surrounds the height and integrity of the foundation. It is possible that a new foundation would be required for the home, which is not uncommon for the City's historic homes of a similar age.

HISTORICAL SIGNIFICANCE ANALYSIS AND CRITERIA FOR LISTING AS LOCAL LANDMARK:

In order to receive a City Landmark designation, landmarks must be at least 50 years old and meet one or more of the criteria for architectural, social or geographic/environmental significance as described in Louisville Municipal Code (LMC) Section 15.36.050(A).

Staff analysis of the criteria is as follows:

Sec. 15.36.050. - Criteria for Designation

Criteria	Meets Criteria	Evaluation
<i>A. Landmarks must be at least 50 years old and meet one or more of the criteria for architectural, social or geographic/environmental significance as described in this chapter.</i>	Yes	1016 Main Street was constructed ca. 1895-1910, making it approximately 114-129 years old.

Criteria	Meets Criteria	Evaluation
1. a. Architectural. 1) Exemplifies specific elements of an architectural style or period. 2) <i>Example of the work of an architect or builder who is recognized for expertise nationally, statewide, regionally, or locally.</i> 3) <i>Demonstrates superior craftsmanship or high artistic value.</i> 4) <i>Represents an innovation in construction, materials or design.</i> 5) <i>Style particularly associated with the Louisville area.</i> 6) <i>Represents a built environment of a group of people in an era of history that is culturally significant to Louisville.</i> 7) <i>Pattern or grouping of elements representing at least one of the above criteria.</i> 8) <i>Significant historic remodel.</i>	Yes	Architectural Significance - <i>Exemplifies specific elements of an architectural style or period.</i> • Queen Anne style is relatively rare in Louisville. • The property has maintained its Queen Anne architectural style and front-gabled roof. • The property was likely a kit house.
1. b. Social. 1) <i>Site of historic event that had an effect upon society.</i> 2) Exemplifies cultural, political, economic or social heritage of the community. 3) <i>Association with a notable person or the work of a notable person.</i>	Yes	Social Significance - <i>Exemplifies cultural, political, economic or social heritage of the community.</i> The social history of 1016 Main Street includes association with: • Italian immigration history • Mining history

Criteria	Meets Criteria	Evaluation
1. c. Geographic/environmental. 1) Enhances sense of identity of the community. 2) <i>An established and familiar natural setting or visual feature that is culturally significant to the history of Louisville.</i>	Yes	- The historic location of the house on Main Street helps to create a sense of community identity. - The high level of public interest and advocacy to preserve the historic home reflects its value and identity in the community.
3. <i>All properties will be evaluated for physical integrity and shall meet one or more of the following criteria:</i> a. <i>Shows character, interest or value as part of the development, heritage or cultural characteristics of the community, region, state, or nation.</i> b. Retains original design features, materials and/or character. c. Remains in its original location, has the same historic context after having been moved, or was moved more than 50 years ago. d. <i>Has been accurately reconstructed or restored based on historic documentation.</i>	Yes	<i>Retains original design features, materials and/or character.</i> - The house appears to have remained in the same location and setting since its construction. - The property has maintained its Queen Anne architectural style and front-gabled roof

FISCAL IMPACT:

There is no fiscal impact for the landmark request. The \$5,000 landmark incentive grant will be passed on to the new property owner. The new property owner may apply for grant funds within 3 years of the purchase date of the property.

STAFF RECOMMENDATION:

Approval of Resolution No. 10, Series 2025, recommending approval to City Council of a landmark at 1016 Main Street, to be named the Petrelli-Del Pizzo.

ATTACHMENTS:

1. Resolution No. 10, Series 2025 (Landmark)
2. Social History Report
3. Historic Structure Assessment (HSA)

**RESOLUTION NO. 10
SERIES 2025**

**A RESOLUTION MAKING FINDINGS AND RECOMMENDATIONS REGARDING THE
LANDMARK DESIGNATION FOR A HISTORICAL RESIDENTIAL PROPERTY
LOCATED AT 1016 MAIN STREET.**

WHEREAS, there has been submitted to the Louisville Historic Preservation Commission (HPC) an application requesting a landmark eligibility determination for a historical property located at 1016 Main Street, legally described as Lot 10, Block 17 Caledonia Place, City of Louisville, State of Colorado; and

WHEREAS, the HPC have reviewed the application and found it to be in compliance with Chapter 15.36 of the Louisville Municipal Code, including Section 15.36.050.A, establishing criteria for landmark designation; and

WHEREAS, the HPC has held a properly noticed public hearing on the proposed landmark application; and

WHEREAS, 1016 Main Street has social significance because it exemplifies the cultural, political, economic, or social heritage of the community considering its association with various Louisville families and Louisville's cultural heritage; and

WHEREAS, the property has architectural significance because it has architectural integrity that is representative of the built environment in 1900s Louisville; and

WHEREAS, the HPC finds that these and other characteristics specific to 1016 Main Street have social and architectural significance as described in Section 15.36.050.A of the Louisville Municipal Code; and

**NOW, THEREFORE, BE RESOLVED BY THE HISTORIC PRESERVATION
COMMISSION OF THE CITY OF LOUISVILLE, COLORADO:**

1. The application to landmark the property at 1016 Main Street be approved for the following reasons:
 - a. Architectural integrity has been largely maintained over time.
 - b. Association with Louisville's heritage.
2. With the amendment that the structure be named the Petrelli Del-Pizzo House.

PASSED AND ADOPTED this 20th day of October, 2025.

Lynda Haley, Chairperson



1016 Main St. History

Legal Description: LOT 10 BLK 17 CALEDONIA PLACE

Year of Construction: c. 1895-1910

Summary: The history of 1016 Main exemplifies the modest lives of Louisville residents in the late 19th and 20th centuries. The property was used by several generations of the Ashe and Petrelli families as a source of rental income and as a home. It provides a distinctive example of mail-order house construction and of the building industry.

Development of the Caledonia Place Subdivision

The subdivision in which this property is located was originally part of Caledonia Place which was platted and recorded with Boulder County in 1890 by James Cannon, Howard Morris, and Henry Brooks. It was the fourth addition to original Louisville, which had been platted in 1878.

Early Property Ownership

The earliest transaction for this property occurred in 1892 when J.C. Williams purchased Lot 10 Block 17 from Howard Morris, James Cannon Jr., and Henry Brooks- the original developers of Caledonia Place. J.C. Williams was an early developer in Louisville who owned many properties throughout downtown. He was a Superintendent for Northern Colorado and Coke and the Rocky Mountain Fuel Company.

Williams promptly resold the property to George B. Cannon, a Lafayette florist and brother of James Cannon, Jr. Within a year, in 1894, Cannon sold the property to the McAllister Lumber & Supply Company. At that time Frank L Boyd was the manager of the Louisville office of McAllister Lumber. McAllister Lumber provided building supplies to the mines and cities and had begun dabbling in the real estate market, purchasing and selling lots in Louisville and Lafayette. Nine years later, in 1904, through a quit claim deed, Frank Boyd acquired the property for \$40.

Joseph H. and Elizabeth Fearn Ownership, 1905-1910

Joseph and Elizabeth Fearn purchased the property from Frank Boyd in 1905 for \$1200. The Fearn family came to Louisville from Illinois and had been living in Louisville since 1895. They had two children – Ernest (b.1896) and Lela (b.1900). Joseph Fearn is listed as a coal miner in the 1900 and 1910 census and ran for Trustee of Louisville on the socialist ticket in 1910. The photo below is dated c. early 1900s and is most likely of the Fearn family outside 1016 Main.



Dates of Construction

It is possible a house was constructed on the lot while the property was owned by McAllister Lumber or Frank Boyd, however the year of construction cannot be accurately determined. Boulder County's online records give 1910 as the house's date of construction. However, the County has sometimes been found to be in error with respect to the date of construction of houses in the area, so other evidence is looked to. In this case, the date offered by the County contradicts the information, including information on the County Assessor card itself, which notes the house was 55 years old in 1950. This would place the earliest date of construction at 1895, around the time that McAllister Lumber acquired the property.

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anecdotal evidence all indicate that 1016 Main was constructed from a Sears and Roebuck kit. The *Sears Catalog of Modern Homes*, selling do-it-yourself kits for building a house, was available from 1908-1948, which would bring the earliest date of construction to 1908.

The 1909 Drumm's Map of Louisville shows a house located on Lot 10 Block 17 which also indicates that the house was constructed prior to 1909.



Ashe Family Ownership, 1910-1938

In 1910, the Fearn family moved to Nebraska and sold 1016 Main to their next-door neighbor, Mary Quillian Ashe (1882-1934). Mary Quillian was born in Colorado in 1882. Her parents came to Colorado in 1869 and her father, Asbury H. Quillian was a Protestant minister who travelled throughout Colorado. In 1906, Mary married Thomas Gregory Ashe (1875-1969). Thomas Ashe was of Irish descent and was a farmer in Iowa before coming to Colorado. By 1910, Mary and Thomas were renting a house on Main Street and Thomas was working as the superintendent of the Lucas mine near Broomfield. Two of their six sons were born in Louisville before the family moved to Texas in 1911. However, the Ashe family

retained ownership of the house for the next 27 years. It appears the Ashes rented the property from the 1910s-1930s until Mary's death in 1934, leaving the house to her sons. In 1936, her children transferred ownership to their father, Thomas Ashe until he sold the property to Victor and Mary Petrelli in 1938. Obituary notices note that Mary Ashe was active in the Methodist Church, Eastern Star, and Women's Christian Temperance Union, but it does not appear that she ever lived in Louisville again after 1911.

Petrelli Family Ownership, 1938-1982

Victor Petrelli and Mary Fallone Petrelli purchased 1016 Main in 1938. Victor Petrelli (1881-1978) was born in Italy and came to the US in 1910. Mary Fallone (1898-1948), also of Italian descent, was born in New Jersey. She married Victor in 1915 when she was 17 years old. It appears that Victor and Mary either met in Italy or returned to Italy for their wedding and lived there for the first few years of their marriage. Their eldest two sons, Eugene (1915-1995) and Emelio (1919-1965) were born in Italy. By 1920, the Petrellis had returned to the US and were living in Wyoming where Victor worked at a garage and their third son, Alfred (1922-1993) was born. They moved to Louisville in 1929 where Victor and his oldest son, Eugene, found work at the Louisville Lafayette Coal Company. Mary and Victor's two younger sons, Alfred and Joseph (1932-2002) would have grown up at 1016 Main and attended Louisville schools.



1947 Louisville Boys Baseball team at Miners Field.
Joe Petrelli is the first boy from the left in the back row.

During World War II, Victor worked as a loader at the Centennial Mine and their son Emelio joined the Army. In 1943, Emelio Petrelli was awarded the Soldier's Medal for clearing mine fields in Guadalcanal. Mary Petrelli died in 1948. Victor continued to live at 1016 Main and advertisements in the Louisville Times over the next decade show that he engaged in numerous enterprises including selling fryer rabbits

A black and white photograph of a small, single-story house with a porch, heavily shaded by large, leafy trees. A person is standing near a bicycle on the right side of the house.

GROUND PLAN SKETCH
(INDICATE NUMBER STORIES)

24

32

38

6

6

13

13

1 1/2

FRONT

In 1961, Victor remarried to Josephine Distolla. Josephine had six daughters from a previous marriage. Victor passed away in March of 1978 and Josephine died later the same year in December.

In 1982, three Petrelli sons- Eugene, Alredo, and Joseph sold 1016 Main to Barbara Bobinski and Randall Urnovitz. In 1986, during Bobinski and Urnovitz ownership, Louisville's Historic Preservation Commission identified 1016 Main as one of twelve Louisville properties that were added to the National Register of Historic Places. 1016 Main was recognized as an example of a Sears Roebuck house in the Queen Anne style.

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2005-2022 – Emily O'Brien Jasiak and Michael Jasiak

2022- present – Keith Wegen and TWSS Main LLC



Current photo of 1016 Main from Boulder County Assessor records.

The preceding research is based on a review of relevant and available online County property records, census records, oral history interviews, Louisville directories, and Louisville Historical Museum maps, files, and obituary records.

HISTORIC STRUCTURAL ASSESSMENT

1016 Main Avenue, LOUISVILLE, COLORADO

December 4, 2024



Evaluated by:

Andy Johnson, AIA
DAJ Design
922A Main Street, Louisville, CO 80027
303-527-1100; andy@dajdesign.com

This Project was paid for by the Louisville Preservation Fund grant.

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1.0 INTRODUCTION

1.1 RESEARCH BACKGROUND / PROJECT PARTICIPANTS

DAJ Design conducted an Historic Structural Assessment for the structure located at 1016 Main Avenue, Louisville, Colorado to determine its feasibility as a candidate for historic landmark designation as defined under the Historic Preservation program of the City of Louisville. The structure is a residential property. The City of Louisville Historic Preservation Commission found probable cause that the building may be eligible for landmarking under criteria in section 15.36.050 of the Louisville Municipal Code. Therefore, the Commission approved the Historic Structural Assessment to be paid for by the Louisville Preservation Fund grant.



The primary purpose of this HSA is to evaluate the property's current condition and to identify preservation priorities for the best use of rehabilitation funds. DAJ Design inspected 1016 Main visually to identify areas of necessary maintenance and repair. It is possible that complications exist that were not visible and therefore it is recommended that the property owner includes contingency funding in any repair budget.

DAJ Design inspected 1016 Main Avenue on October 8th, 2024, with GFE Structural. The weather for the site visit was warm with clear skies and no recent rain or snow. Adequate access to the basement was available, though not all areas were entirely visible. The attic is a finished second floor space and therefore assessment of the roof structure was limited.

LIST OF CONSULTANTS AND SOURCES:

STRUCTURAL ENGINEER

Vignan Beesam, M.S.

Reviewed By: Billy Schoelman, P.E.

GFE STRUCTURAL

PO BOX 20708

BOULDER, CO 80308

303.554.9591

SOURCES

"Louisville Historic Preservation Commission Staff Report," November 18, 2024.

1.2 BUILDING LOCATION

VICINITY MAP



LEGAL DESCRIPTION

Lot 10, Block 17, Caledonia Place

2.0 HISTORY AND USE

The following report was written by Gigi Yang of the Louisville Historical Museum.

1016 Main St. History

Legal Description: LOT 10 BLK 17 CALEDONIA PLACE

Year of Construction: c. 1895-1910



Summary: The history of 1016 Main exemplifies the modest lives of Louisville residents in the late 19th and 20th centuries. The property was used by several generations of the Ashe and Petrelli families as a source of rental income and as a home. It provides a distinctive example of mail-order house construction and of the building industry.

Development of the Caledonia Place Subdivision

The subdivision in which this property is located was originally part of Caledonia Place which was platted and recorded with Boulder County in 1890 by James Cannon, Howard Morris, and Henry Brooks. It was the fourth addition to original Louisville, which had been platted in 1878.

Early Property Ownership

The earliest transaction for this property occurred in 1892 when J.C. Williams purchased Lot 10 Block 17 from Howard Morris, James Cannon Jr., and Henry Brooks- the original developers of Caledonia Place. J.C. Williams was an early developer in Louisville who owned many properties throughout downtown. He was a Superintendent for Northern Colorado and Coke and the Rocky Mountain Fuel Company.

Williams promptly resold the property to George B. Cannon, a Lafayette florist and brother of James Cannon, Jr. Within a year, in 1894, Cannon sold the property to the McAllister Lumber & Supply Company. At that time Frank L Boyd was the manager of the Louisville office of McAllister Lumber. McAllister Lumber provided building supplies to the mines and cities and had begun dabbling in the real estate market, purchasing and selling lots in Louisville and Lafayette. Nine years later, in 1904, through a quit claim deed, Frank Boyd acquired the property for \$40.

Joseph H. and Elizabeth Fearn Ownership, 1905-1910

Joseph and Elizabeth Fearn purchased the property from Frank Boyd in 1905 for \$1200. The Fearn family came to Louisville from Illinois and had been living in Louisville since 1895. They had two children – Ernest (b.1896) and Lela (b.1900). Joseph Fearn is listed as a coal miner in the 1900 and 1910 census and ran for Trustee of Louisville on the socialist ticket in 1910. The photo below is dated c. early 1900s and is most likely the Fearn family outside 1016 Main.

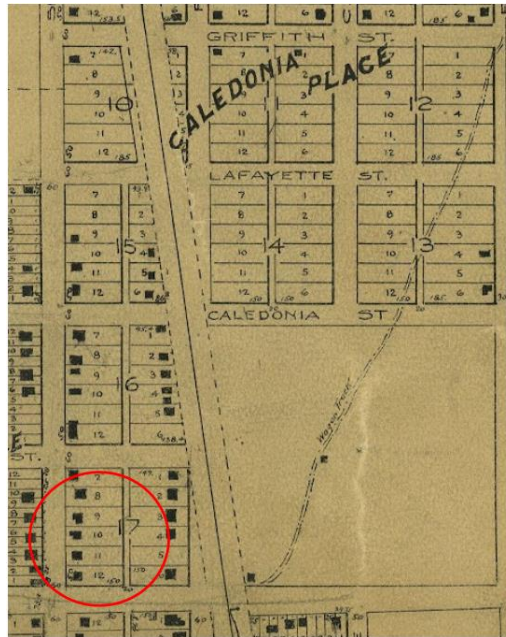


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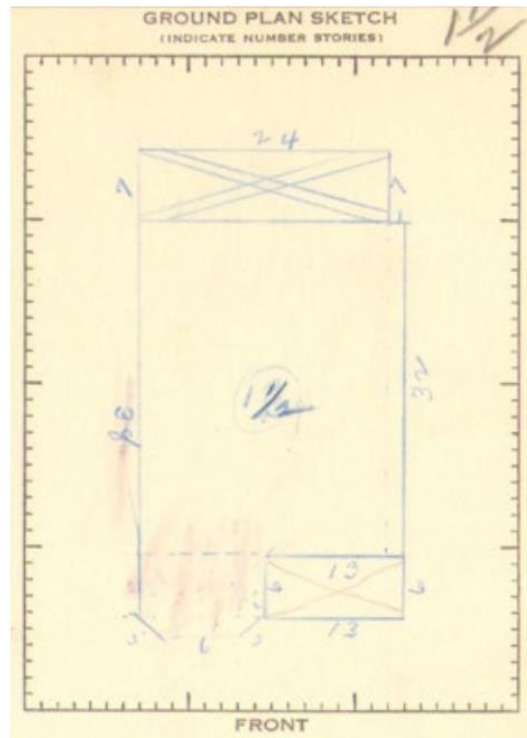


1947 Louisville Boys Baseball team at Miner's Field.
Joe Petrelli is the first boy from the left in the back row.

During World War II, Victor worked as a loader at the Centennial Mine and their son Emilio joined the Army. In 1943, Emilio Petrelli was awarded the Soldier's Medal for clearing mine fields in Guadalcanal. Mary Petrelli died in 1948. Victor continued to live at 1016 Main and advertisements in the Louisville Times over the next decade show that he engaged in numerous enterprises including selling fryer rabbits and taking in boarders at 1016 Main. He was also renting out additional properties at 1021 Main and 1314 Main.



1950 Boulder County Assessor card photo of 1016 Main and floorplan.



In 1961, Victor remarried to Josephine Distolla. Josephine had six daughters from a previous marriage. Victor passed away in March of 1978 and Josephine died later the same year in December.

In 1982, three Petrelli sons- Eugene, Alredo, and Joseph sold 1016 Main to Barbara Bobinski and Randall Urnovitz. In 1986, during Bobinski and Urnovitz ownership, Louisville's Historic Preservation Commission identified 1016 Main as one of twelve Louisville properties that were added to the National Register of Historic Places. 1016 Main was recognized as an example of a Sears Roebuck house in the Queen Anne style.

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Current photo of 1016 Main from Boulder County Assessor records.

The preceding research is based on a review of relevant and available online County property records, census records, oral history interviews, Louisville directories, and Louisville Historical Museum maps, files, and obituary records.

2.1 ARCHITECTURAL SIGNIFICANCE & CONSTRUCTION HISTORY

The residential property at 1016 Main was built sometime around between 1895 and 1910 with very few modifications made to the structure since then. A single addition to the east was added as a deck prior to 1948 and enclosed sometime after. The east addition is minimally visible from Main Street with a form and materials that are different than the original house. Later additions include a bay window and greenhouse on the south side, both added in 1989. The upper floor was remodeled in 1992, but it is unclear if the attic area was usable space prior to then.

An early 1900's photograph shows that the house as it exists in 2024 has many original aspects. Other than the structural elements of the house, other original items include the siding, windows, trim, ornamentation, and possibly the windows and front door. The original form of the house is still intact and is apparent when viewed from any direction. The primary façade faces west to Main Street with the north and south elevations partially visible from the street as well.

The building is a typical wood frame vernacular structure of the Louisville area. The structure was originally built as a house and has been used as such ever since. The earliest available photograph of the house is from the early 1900's with another photograph from 1948. The combination of historic photographs, available building records, and observations made during the site visit present clear evidence of the construction history and modifications made to the structure over the years.

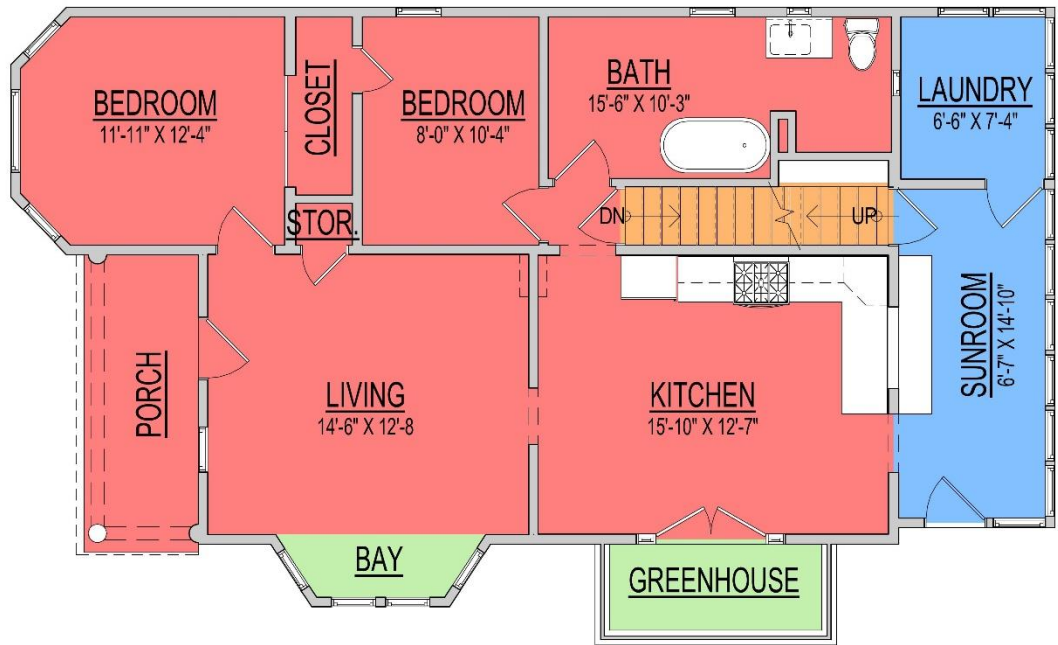
Other smaller changes over time include a new roof with skylights, gutters, and downspouts. The grading around the house sits higher than the original grade, likely due to Main Street being raised in elevation when it was paved. A garage is located at the back of the property, facing the alley, that likely meets the age minimum for historic consideration. There is also a studio that was built in 1995 and various other low-impact elements such as patios, decks, and trellis structures.

1016 Main has the potential to be restored to a high degree of architectural integrity when compared to historic photos. Overall, the building is well maintained, with items that require prioritization, as outlined in the analysis of this report. The original structure is essentially intact with very few modifications since the early construction phases in the first half of the 1900's. 1016 Main is listed on the National Register.

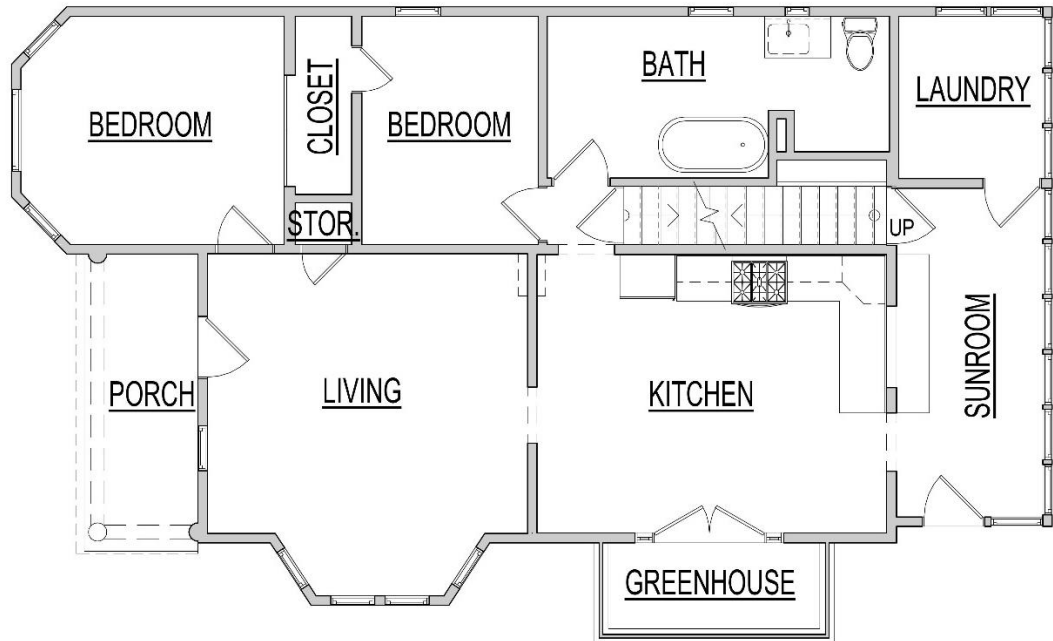


Primary Changes Occurring Over Time:

- Original house (RED): ca. 1895 - 1910
- Original front porch (RED): ca. 1895 - 1910
- East addition (BLUE): Unknown, prior to 1948, enclosed after 1948
- Bay window (GREEN): 1989
- Greenhouse (GREEN): 1989
- Upper floor remodel (ORANGE): 1992, may have been habitable space prior



2.2 FLOOR PLANS



Main Level Floor Plan



Upper Level Floor Plan

2.3 PROPOSED USE

There is no proposed change of use at this time.

3.0 STRUCTURE CONDITION ASSESSMENT

3.1 SITE

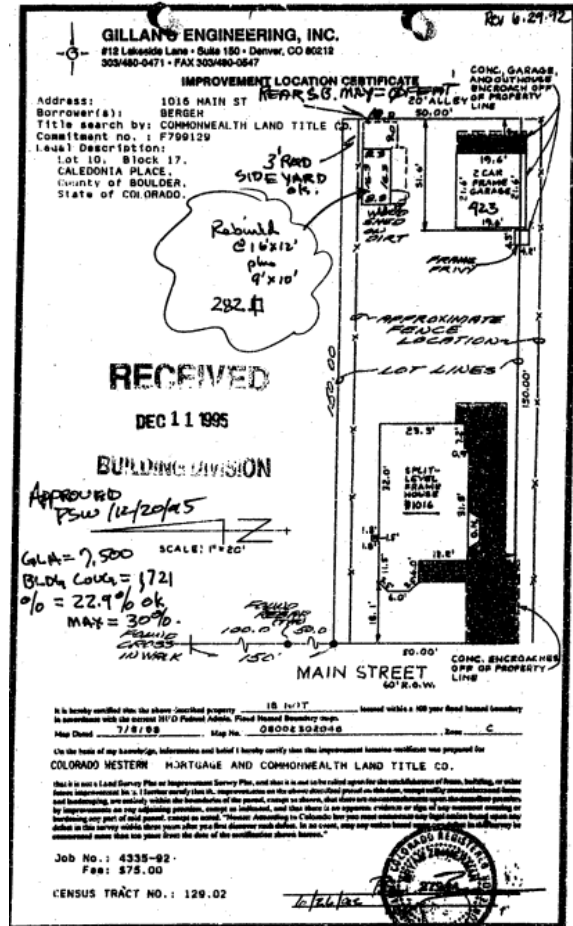
ASSOCIATED LANDSCAPE FEATURES

Description:

1016 Main is set on a typical lot in downtown Louisville that is approximately 50 feet wide by 150 feet deep, running lengthwise in the east-west direction and totaling approximately 7,500 sf. The property is bordered on the west by Main Street, on the north and south by residential properties, and on the east by an alley. The house sits on the western half of the property with a garage in the southeast property corner and a studio in the northeast corner.

The studio in the northeast corner of the property appears to have been built in 1995. There was a shed in this location prior, and plans indicate that the shed was expanded and remodeled as a studio, although it may have been altogether rebuilt. As this structure was built in 1995, it does not meet the minimum requirements for historic designation, nor is it listed on any register. Therefore, the structure was minimally assessed.

At the front of the house the property opens up to Main Street with a small yard and two mature trees. A six-foot painted wood fence is set back from the front façade that obscures much of the view of the sides of the house. Various wood and metal fences enclose the north, east, and south sides of the property as well as provide for a small private yard space on the south side of the studio. It appears that some of the fencing was replaced in 1996, though the various materials indicate that the fences are all from different periods.



Site plan indicating a shed in the northwest property corner that was rebuilt and expanded.

Approximately one quarter of the lot is covered by the footprints of the main house, garage, and studio. On the south side of the house there is a wood deck and a concrete patio in the southeast corner. There is also a flagstone patio on the east side of the house with a flagstone path to the garage and studio. The remainder of the property is primarily sod, with areas of mulch. There are several mature trees along the north property line, several smaller plants throughout, and vines growing on trellis structures around the house. Additionally, there is a groundcover vine at the west side of the house, a concrete planter on the west side of the front porch, and a concrete driveway in the southwest corner of the property.

Condition Evaluation:

Overall, the landscape features are in fair condition. The trees and large plants appear to be healthy and well maintained. The vines appear to have been trimmed away from the house roof but there are some around the northwest part of the house that are grown around the foundation and partially up the face of the house. There are some larger shrubs throughout the property that are overgrown but do not pose a risk to any of the structures. Furthermore, some of the hardscape walking surfaces throughout the site may pose tripping hazards as they are not level throughout but again, they do not pose any danger to the buildings.

Recommendations:

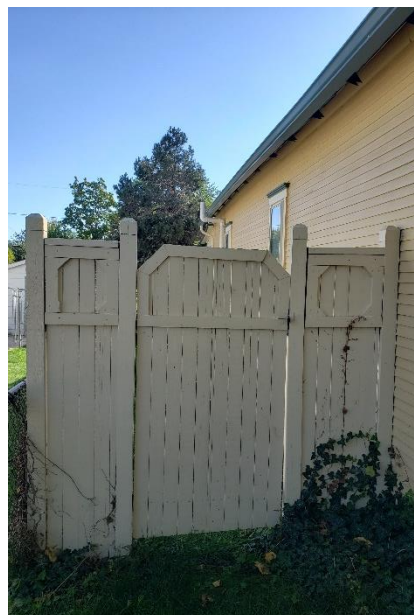
1. Work with a licensed arborist to maintain the mature trees and shrubs. Ensure that growth does not interfere with the house roof, siding, or foundation.
2. Keep overgrowth trimmed away from the house and overhead electrical lines and remove any overhead branches. The ground covers should be trimmed away from the house foundation and should not be allowed to grow up the house walls.
3. Consider replacing the hardscape walking surfaces throughout the rear and side yards with new surfaces that are level.



Ground covers growing on the house and the foundation.



Rear yard looking towards the garage & studio.



6-foot painted wood fence & gate.



Vines growing on trellis structure.

GRADING

Description:

Overall, the site is relatively flat with a slight downward slope to the east. Grading around the house appears to drain away from the foundation, though minimally in most areas. No areas of negative drainage towards the house foundation were observed. Finished grade sits below the finish materials of the house in all areas, though minimally along the west side of the house. The original grading would have sat lower than current grade as can be seen in the early 1900's photograph. The grade was likely raised when the streets of Louisville were also raised to be paved.



Condition Evaluation:

The overall site grading is in poor condition. It is important that the grading around the house should be a minimum of 6 inches below the top of the foundation and slope away from the foundation for at least the first 5 feet. Due to the nature of the lot, it is difficult to meet these requirements without a large amount of regrading, especially on the west side of the property. Regrading would also be difficult along the north and south sides of the house as there is little room to direct water away from the house and not onto the neighboring property. Bringing the top of the foundation up to allow for regrading is an option that would also be consistent with the historic aspect of the house relative to finished grade.

The effects of poor grading are difficult to determine in one site visit. However, no areas of water infiltration into the basement were observed or noted by the homeowner.



There is a slight downward grade slope to the east. The top of the foundation is minimally above grade at most locations. Also seen is the concrete foundation of an exterior chimney that was removed.

Recommendations:

1. Continue to monitor the drainage around the perimeter of the house. The perimeter should be observed after snow and significant rain events to assess for all areas of pooling water.
2. The top of the foundation relative to the top of grade should be determined around the entire perimeter of the house, especially at the west side of the house. If the top of the foundation is determined to be at or below the existing grade, new grading should occur to bring the grade down below the top of the foundation, as prescribed by a licensed structural engineer.
3. Finished grade around the house perimeter should be re-graded to create positive drainage away from the house. The top of finished grade should be a minimum of 6 inches below the top of the foundation and slope away from the foundation for at least the first 5 feet. Coordinate the slope with a licensed geotechnical engineer. This option may be difficult at the north, west, and south sides of the house as significant grading is necessary and there is little room to create new grading due to the proximity of the property lines.
4. The house foundation could be replaced to bring the top of the foundation at least six inches above finished grade. This option would allow for the best outcome of finished grade away from the house foundation and would ensure that the wood structure and wood siding are not susceptible to rot. Coordinate with a licensed structural engineer and a licensed geotechnical engineer. Construct a new foundation at either a basement or crawlspace depth below frost, or a combination of basement and crawlspace depths. New foundation walls should be designed by a licensed structural engineer and supported with proper footings.
 - a. A new foundation should be set high enough to allow for proper drainage away from the foundation as prescribed by a geotechnical engineer. To pour a new concrete foundation, the house will need to be temporarily lifted or moved to a temporary location by a licensed house mover. The location of the house on the site should not vary from the current, historic location. The top of the foundation will need to be increased to create proper drainage. This will minimally increase the height of the house but will reflect the original grade.
5. The wood floor framing members including the sill plate, rim board, floor joists, and floor sheathing should be inspected for rot caused by poor drainage. If rot is found in any of these members, the affected flooring should be replaced as prescribed by a licensed structural engineer. Rot was not observed during the site visit. However, many of the susceptible areas, primarily at the house perimeter, were not visible for analysis due to insulation in the basement.



The top of grade sits at or near the top of the foundation on the west side of the house.



PARKING

Description:

In the southeast corner of the property there is a 21 ½' x 19 ½' garage facing east towards the alley that appears to encroach on the south property line. This garage appears to be listed on the 1948 Boulder County Assessor's card and the construction techniques are of that time, but the exact construction date is unknown.

The garage has a concrete foundation of unknown depth and a concrete slab floor. The garage walls are framed with 2x4 studs with a single top plate and a single bottom plate that is embedded in the concrete foundation. The garage roof is constructed of 2x6 rafters at 20-inches on-center spacing, forming a gable roof running east-west. There are newer 2x collar ties and newer sheathing at the ridge, indicating that the roof may have been failing and new members were added as support. There are also a few 2x4 ceiling joists that appear to have been added only to create storage space. The gable end walls are extended up with 2x4 studs above the top plate. Additionally, there is painted wood shiplap siding attached directly to the wall studs and the siding matches that found on the east addition with a Dutch cove profile. The garage roof is composite asphalt shingles and there are k-style gutters and 2x3 downspouts.

The garage faces the alley with a small, deteriorating concrete slab between the alley and the garage. There is a single overhead garage door and two swing doors, all facing the ally. There is a person door and a window on the west elevation and a single window on the north elevation. The garage allows for two parking spaces, though access through the swing door would be difficult.

In the southwest corner of the property there is a concrete parking area off of Main Street. The parking appears to be made up of two sets of concrete wheel tracks and gravel. This parking provides access to the front porch and part of the parking area appears to be on top of a coal room below grade. The uncovered parking area provides one parking space.



Parking area in the southwest corner of the property.

Condition Evaluation:

The entire garage is in poor condition. The framing does not meet the current code by today's standards. The roof appears to be sagging and unsupported and the walls are set into the concrete foundation with unsupported gable end walls above the top plate. The concrete foundation and concrete slab are in poor condition with numerous cracks, and it is unclear how deep the foundation is or how it is supported. Additionally, the person door and overhead door appear to work but the two swing doors facing the alley do not appear to be operable or create proper seals.

The uncovered concrete parking space in the southwest corner of the property is in poor condition. The concrete is well beyond the expected lifespan with numerous cracks. Additionally, it appears that some of the parking area may be on top of the coal room below and therefore not properly supported.

Recommendations:

The garage likely meets the age to qualify as a historic element of the site. However, the garage was not originally constructed in a manner to have a long-life expectancy and has subsequently been minimally maintained. The size and location of the overhead garage door only provides one on-site parking space, and the condition of the roof poses a safety concern. For these reasons, we recommend removing the garage or extensive structural repair to the existing framing should occur to meet current code standards.

Similarly, the parking area on the west side of the house should be removed. On-site parking could be accommodated in this location with a new concrete slab or wheel tracks. However, no parking should occur above the coal room and the coal room should be further assessed prior to any above grade work.



Garage and studio viewed from the alley.

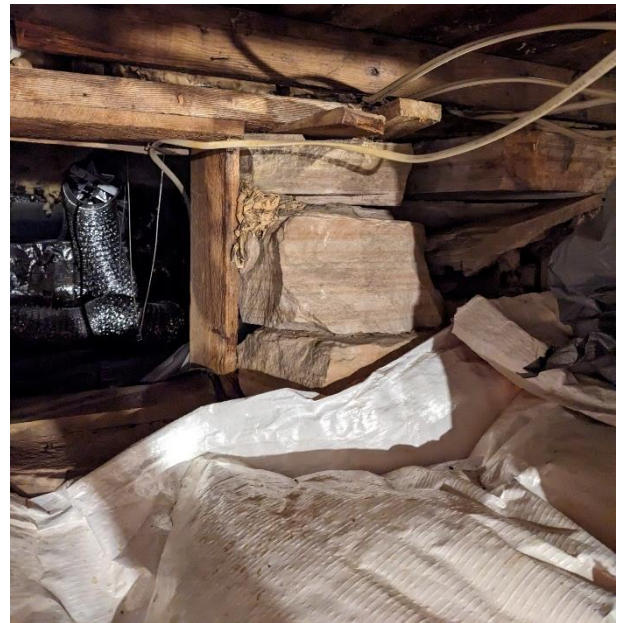
3.2 STRUCTURAL SYSTEM

FOUNDATION SYSTEMS

Description:

The foundation walls are visible above grade at the outside perimeter of the building as well as visible from within a dug-out basement space. However, there are some areas of the foundation that are not entirely visible for analysis as the basement transitions to crawlspace to the east with limited visibility and there are parts of the foundation that sit below grade. Additionally, there are layers of insulation throughout the basement that limit visibility of the foundation walls. This analysis is only for the visible portions of the foundation, however some assumptions can be made for the non-visible portions of the foundation and they are likely constructed in a similar manner to those that are visible. Access to the basement is through an interior stair towards the east end of the original house and the basement sits below the central part of the original construction. There is a crawlspace beneath the east addition, the wast bay area, and along the house perimeter on the south, west, and north sides.

When viewed from the exterior, the foundation walls appear to be concrete. However, for the original construction the concrete is only an inch or two thick and applied on top of an original stone foundation. The original stone foundation is visible from the interior and the concrete is flush with the siding, indicating that it was added later than the original construction and was likely added to help with waterproofing the stone foundation. The original stone foundation is at a crawlspace depth but the depth below grade or the presence of a footing could not be determined. The original house was probably built entirely over a shallow crawlspace with the basement area being dug out at a later date. The digging out of a central basement area was common throughout Louisville, oftentimes as a means of accommodating a coal furnace.



The original stone foundation is only exposed in some areas inside the basement but is mostly covered with insulation.



A jog in the foundation shows the concrete face over the original stone foundation (right) relative the concrete foundation of the east addition (left).

The 1948 Boulder County Assessor's card indicates that at that time there was a basement that was 80% excavated (likely referring to the amount of area beneath the house footprint) and that the basement was not finished but had dirt walls and a dirt floor. In 2024 the basement floor is a concrete slab of unknown depth and it could not be determined when the slab was poured. The retaining walls at the perimeter of the basement are 8-inch thick concrete walls that retain the soil at the crawlspace areas. The presence of a footing beneath the retaining walls could not be determined due to the concrete slab floor. The height of the retaining walls stops roughly at the height of the crawlspace grade and there are various wood posts bearing on the retaining walls that help to support the main level floor.

There is an area off of the southwest corner of the basement that extends beyond the west exterior wall below grade. This area is open to the basement but with a slightly raised concrete floor and a concrete ceiling. It appears that this would have originally been a coal storage room, which are commonly found throughout old town Louisville, but the coal storage room was later opened up to the basement.

The east addition foundation walls are concrete of unknown thickness and depth. There is a crawlspace beneath the east addition that is difficult to access from the basement but where visible concrete walls can be seen from the interior. Furthermore, there is a jog in the exterior face of foundation at the east addition indicating that the concrete foundation is original to this addition, and that this area was added after the original construction of the house.

Condition Evaluation:

Overall, the various foundation elements appear to be in fair to poor condition, but our assessment is limited. The foundation walls extend below grade and the presence of any footings cannot be determined without destructive investigation; it is likely that a footing does not exist. It is also likely that the original foundation does not extend to a minimum frost depth of three feet below grade. There is a layer of concrete on the exterior face of the original stone foundation that is in fair condition, but this obscures visibility of the stone foundation to determine its condition. The concrete layer on top of the stone foundation does not provide adequate waterproofing of the foundation and appears to run minimally below grade. Some of the crawlspace areas at the east and west ends of the house have limited access and limited visibility to be able to determine the condition at all locations. Finally, there is a layer of vinyl drape insulation that obscures most of the foundation walls on the interior face. Where observed, the stone foundation requires tuck-pointing and it is presumed that this is true of the entire stone foundation.



The foundation is minimally exposed as it is covered by insulation. The original foundation appears to be stone.

The basement wall insulation is in good condition and appears to have been added within the last 20 years. There are no visible areas of the foundation that appear to be in poor condition, and, without further deconstructive investigation to determine otherwise, it is likely that the non-visible portions of the foundation are in a similar condition to those areas that are exposed.



The concrete retaining walls are minimally exposed as they are covered by insulation.

Recommendations:

1. The basement and crawlspace foundation walls showed various signs of damage that require further evaluation. No additional load should be added to the existing foundation system without a full analysis of the current foundation walls/footings. Additional strengthening of existing crawlspace walls may be needed as determined by a licensed structural engineer to meet current code specifications.
2. Continually monitor the main floor walls for signs of foundation distress such as cracking or improper door operation. Cracks were not observed within the finishes on the main level. If signs of cracking are detected, these areas should be evaluated by a licensed engineer and repaired as needed.
3. The concrete on the exterior face of the stone foundation showed various signs of cracking. Further investigation is required to determine if the cracking is related to foundation movement in the stone foundation or if the cracking is caused by improper application of the concrete face.
4. The concrete face on the exterior side of the stone foundation should be removed. The stone foundation will need to be tuck-pointed and waterproofed. The depth of the stone foundation and the size of the footing (if any) should be determined and evaluated by a licensed structural engineer.
5. The concrete retaining walls in the basement need further investigation by a licensed structural engineer. These walls are covered with vinyl insulation that will need to be temporarily removed to determine how the retaining walls are supported. Further support of the retaining walls may be required as prescribed by a licensed structural engineer. Also, destructive investigation may be needed to verify the presence of footings below the retaining walls and additional strengthening to the footings may be necessary.



6. New footings are likely needed to support the point and distributed loads from the roof and floor framing as specified in the recommendations below. New foundation support below any new beam and posts supporting the floor and roof framing should be coordinated with a licensed structural engineer.
7. Alternatively, the foundation walls (including the perimeter and interior walls) could be replaced with a new concrete foundation at either a basement or crawlspace depth below frost, or a combination of basement and crawlspace depths. New foundation walls should be designed by a licensed structural engineer and supported with proper footings.
 - a. A new foundation should be set high enough to allow for proper drainage away from the foundation as prescribed by a geotechnical engineer.
 - b. To pour a new concrete foundation, the house will need to be temporarily lifted or moved to a temporary location by a licensed house mover. The location of the house on the site should not vary from the current, historic location. The top of the foundation will need to be increased to create proper drainage. This will minimally increase the height of the house.
 - c. A new concrete foundation will benefit the overall structure of the house with minimal impact to the exterior appearance of the house. Benefits include a foundation that has a proper footing set below the minimum frost depth; new waterproofing of a concrete foundation will prolong the overall lifespan of the structure; will eliminate the need to remove the existing concrete facing to tuck-point and waterproof the existing stone foundation; a new concrete foundation will support the gravity and lateral loading of the house as well as support the required structural elements needed to support the floor structure, walls, and roof as described below.



The concrete face over the stone foundation is cracked and does not extend below grade in most areas.

FLOOR & CEILING SYSTEMS

Description:

The floor framing of the main floor was not entirely exposed for analysis. The floor framing is mostly visible from beneath within the basement area but the east and west sides of the house sit over a crawlspace that extends to areas that are difficult to see. There is also insulation material that obscures the floor framing, mostly the connections at the perimeter walls. Therefore, our analysis is only for the visible portions of the floor framing. However, it is likely that the non-visible floor framing is constructed in a similar manner to those areas that are visible. The basement is unfinished and therefore much of the floor framing in this area was exposed for review.



The floor framing of the original house is constructed with 2x6 floor joists at 24-inches on-center, spanning in the north-south direction and spliced over a central beam line. The joist sizing is roughly 1 3/4" x 5 1/2", indicating that the joists are of older construction and likely original. The 1948 Boulder County Assessor's card also states 2x6 floor joists at 24-inch spacing. The joists found in the east addition are also 2x6 but span in the east-west direction. On the south side of the original house there is a bay window that is an addition. The floor framing of the bay window is partially visible as newer 2x6 floor joists back spanning into the basement and sistered to the original floor joists.



Floor joist supports bearing on a retaining wall.

The original floor joists were constructed to bear on the exterior walls and spliced on a central beam line. The central beam was replaced when the basement was dug out, but a new beam supports the floor joist splice. The newer beam is constructed of a triple-ply 2x6 with an additional 4x6 member added to the center span of the beam. The beam is supported by three large wood columns that appear to bear on the concrete slab floor. There is a second beam line supporting the floor joists on the south side that is constructed of a two-ply 2x6 and supported by adjustable steel pipe columns. The steel columns also bear on the concrete slab floor but are not connected to the floor or the beam. The floor joists on the north side of the central beam are supported by wood columns that bear on the concrete retaining wall.

The floor sheathing beneath the bathroom is OSB whereas the original floor sheathing is 1x3 tongue-and-groove wood flooring that was the original finish floor. The OSB sheathing was added in 2021 as part of a bathroom remodel. The floor sheathing of the east addition could not be determined as there is insulation within the floor joist bays, obscuring the floor sheathing. The floor sheathing of the east addition may be different as this addition was not always enclosed, as seen in the 1948 floor plan sketch, and as is often the case found on similar houses throughout Louisville. There are different types of finish flooring (possibly multiple layers) on the main floor on top of the floor sheathing.

The area that was originally a coal room has a concrete ceiling with various metal supports cast in the concrete. The concrete ceiling is typical of coal rooms throughout Louisville, but normally these are found on either side of a house and not beneath a covered front porch, which is the case at 1016 Main.

The floor framing of the upper floor was not exposed as it is covered with finish materials above and below. Site measurements indicate that the upper floor joists are 2x6 and they likely span in the north-south direction, matching the gable roof rafters. Building records show that the upper floor was remodeled in 1992. However, it is unclear if the upper floor was finished and used as floor space prior to 1992 or if it was an attic.



Condition Evaluation:

Our evaluation of the floor structure is somewhat limited as not all of the structure was exposed for analysis. This includes thickness of the floor sheathing, inaccessible crawlspace areas on the east and west ends of the house, and the upper floor framing. Our assessment is for the portions of the floor framing that were visible. However, it is likely that the non-visible areas are framed in a similar manner and are in a similar condition to the areas that were visible. It is also noted that the floor framing materials and methods are typical of wood framed buildings constructed around the same timeframe in the Louisville area.

The 2x6 floor joists are in fair condition and are often found in houses built around the same time in the Louisville area. The joist sizing and spacing may not meet the minimum IRC code requirements for today's standards. The main level floor felt similar to homes of this era, and no significant areas of bulging or sagging were observed.

The beams supporting the floor joists are in poor condition. The spacing and sizing of the beams are not adequate for the current loads that they are supporting. The beams are not properly attached to their supports, nor extend the full length of the floor system. The beam sizing, spacing, and spans may not meet the minimum IRC code requirements for today's standards.

The floor joist supports bearing on the concrete retaining wall are in poor condition as well. The columns are not properly attached to the floor joists, and it is unclear how they are attached to the retaining wall or how the retaining wall is supported.

The floor sheathing appears to be in fair condition. The sheathing appears to be performing adequately, but the extent of the sheathing and the number of layers on top of the sheathing could not be determined. The floor sheathing does meet the minimum IRC code requirements for today's standards and appears to be performing adequately.

An evaluation of the second floor framing is not possible without further deconstructive investigation. It appears that the upper floor joists are 2x6, likely at 24-inches on-center spacing, and spliced on a central bearing wall. These are all assumptions and based on the assumptions, the upper floor joists do not meet the minimum IRC code requirements for today's standards.



Original floor joists and floor sheathing.



Concrete ceiling in what was previously a coal room.

The basement insulation is in good condition with insulation covering nearly all of the foundation walls in the basement and insulation in the floor system of the east addition.

Recommendations:

1. The beams and beam supports should be replaced or reinforced as prescribed by a licensed structural engineer. The best method is to construct new beams and beam supports that support the existing floor joists and remove the existing beams and beam supports as prescribed by a licensed structural engineer. These new supports should bear on footings, or any other type of foundation as prescribed by a licensed structural engineer and located at a depth and soil bearing capacity as specified by a licensed geotechnical engineer.
2. The floor framing should be further observed by a licensed engineer and repaired as needed. The existing floor joists may be over spanned per current IRC code. New floor joists could be sistered to the existing floor joists or new beam lines should be added to the main floor system to support the existing floor joists as mentioned above. Special attention should be given to the connections between the foundation walls, floor joists, beams, and beam supports. The floor joists are not suitable for additional load resulting from a remodel or addition.
3. It is likely that the non-visible portions of the floor structure are constructed in a similar manner to those areas that are exposed. However, the entire floor structure should be verified and evaluated by a licensed structural engineer prior to any remodel or addition.
4. If the main floor deflection is inadequate, consult a licensed structural engineer for additional support design options.
5. New beams may need to be added to support the point and distributed loads from the roof framing as specified in the recommendations of the 'Roof Framing Systems' section of this report.
6. The front porch appeared to be a concrete slab over basement/crawl space below. The slab at this location appears to span between the exterior foundation wall and interior floor structure. The thickness of the slab and connections at the ends were not visible for our review. Also, the reinforcing of the slab is visible when looking at the underside of the slab from the basement. This does not meet the minimum IRC code specifications of today's standards. The slab at this location and the connections at the ends of the slab shall be replaced or modified as prescribed by a licensed structural engineer to meet the minimum IRC code specifications of today's standards.



Two beam lines supporting the main floor joists with columns bearing on a concrete slab floor.

ROOF FRAMING SYSTEMS

Description:

Nearly all of the roof framing is not exposed for analysis. There is an upper floor built into the attic space that is finished, and the remaining attic spaces do not have access hatches. The only roof structure that is partially visible are the exposed rafter tails on the east addition. For this reason all of our roof framing analysis is based on assumptions. Some site measurements suggest roof member sizing, but the spacing, support, and attachments cannot be known at this time. Our assumptions are also based on typical building techniques and materials used on similar houses built around the same timeframe in the Louisville area.



The original house has a main roof gable that runs east-west with a smaller gable over the west build-out. This gable has a steep pitch and is continuous for the length of the original house. Measurements inside of the skylights indicate that the rafters are either 2x6 or 2x8 and they are likely on a regular spacing of 16 or 24-inches. There may be a 1x ridge joinder as is sometimes the case but likely not a ridge beam. It appears that there are collar ties in the upper 1/3 of the roof that are likely either at every or every-other rafter. The flat ceiling in the upper floor appears to be attached to these collar ties. It also appears that there is an inaccessible attic space above the collar ties, as there are roof vents near the ridge. The entire main gable appears to be acting as a rafter and ceiling joist system with what appear to be 2x6 ceiling joists, probably at 16 or 24-inches on-center spacing and possibly spliced on a central bearing wall. At the north and south sides of the upper floor there are stem walls that have attic space beyond, but these are not accessible, and appear to have been constructed in 1992 to define the livable space and create storage areas.

The gable roof over the west build-out is likely framed in a similar way to what is described above. However, there is no attic access to this area. Similarly, there is no access to view the roof over the covered front porch. This roof is a hipped roof with a flat top that appears to be constructed as an upper deck but without access.

The east addition has a low-pitch shed roof. This roof appears to be constructed with 4x6 rafters, as the rafter tails are exposed, and the rafters are at 24-inch on-center spacing. The rafters appear to be supported by a beam and columns within the wall structure.



The roof pitch, flat roof, and skylight depth indicate what the roof structure might be.

Condition Evaluation:

Without exposing the roof structure, we are unable to give an evaluation. The roof is probably constructed of typical materials and methods for houses built around the same time in the Louisville area. The roof member sizing, spans, and spacing likely do not meet the minimum IRC code for today's standards. The type and amount of roof insulation could also not be determined.

Recommendations:

The roof and ceiling structure is not to current code standards. Since Louisville did not likely have a building code at the time of construction, we are unable to determine if it was built to a code or engineered. The original roof is probably built to a similar standard of other buildings typical of this type and age.

All new repairs should be specified by a licensed structural engineer. Repair details should be provided and submitted to the City of Louisville for review and be observed by the engineer and city inspectors during construction.

1. Deconstructive investigation is necessary to fully analyze the roof structure. Coordinate locations to remove finish materials to view the roof structure with a licensed structural engineer.
2. Hurricane clips (or toe-nails) may need to be added where roof framing members bear on exterior walls to meet the minimum IRC code requirements of today.
3. Additional collar ties may be needed to be in compliance with current IRC code for prescriptive roof framing.
4. Diagonal braces and purlins may be needed to strengthen the existing rafters to be in compliance with the current IRC code for prescriptive roof framing.
5. Additional beams may be needed in the attic area to support the above-mentioned diagonal braces and purlins. This is mainly needed approximately at the mid-span of the roof rafters. These beams will require support in the wall system and likely would require new foundation support in the crawlspace and basement. This must be coordinated with a licensed structural engineer.
6. Attic insulation should be added to achieve an R-value as close as possible to current code standards. The maximum insulation possible should be added at the perimeter of the roof as the roof depth in this location does not allow for the minimum required by code. Any energy upgrades, such as increased insulation in the attic, could result in prolonged snow retention on the roof and could ultimately affect roof performance without first completing structural reinforcement.
7. It is not recommended to add additional roofing materials such as an additional layer of shingles, or solar panels without the additional structural support mentioned above.



The original roof is a steep gable & the east addition roof is a low pitch with exposed rafter tails.

3.3 ENVELOPE – EXTERIOR WALLS

EXTERIOR WALL CONSTRUCTION

Description:

The main level wall framing was not exposed for review. The wall framing is likely a 2x4 stud wall with studs on regular spacing as site measurements support this assumed wall thickness. The 1948 Boulder County Assessor's card indicates wood framing with no sheathing. It is likely that the wood siding is attached directly to the studs without an additional layer of sheathing. This construction method is typical of similar houses built around the same time in the Louisville area. It is also likely that there is minimal to no insulation in the original house walls.

It appears that the central interior wall running east-west is a load bearing wall for the upper floor framing and that this wall is supported by beams in the basement as described above. Further analysis of these walls should be complete prior to their removal or modification.

Condition Evaluation:

Since the wall structure was not exposed for observation, we are unable to evaluate the condition or determine if there is any structural damage. The wall heights are approximately 9 ½ feet tall, which is at the upper height limit for 2x4 wood stud construction. Wall finish cracks were observed on some of the interior wall and ceiling surfaces. The cause of this cracking could be from foundation movement or from improper application of textured surfaces of the original plaster over gypsum board. Furthermore, the insulation type and R-value within the walls could not be determined if any is present. It is likely that there is minimal to no wall insulation.

Recommendations:

1. Without the opportunity to observe the exterior wall structure, we do not have any recommendations currently. If the opportunity presents itself, the exterior walls should be assessed by a licensed structural engineer. The owner is to note that the walls will need to be evaluated if any remodels or additional load is to be added, including the interior walls as several of these walls appear to be load bearing. Also, if any remodel or addition plan is in place, new braced wall lines may be added by adding OSB or gypsum board on the interior side of exterior walls to resist wind loading.
2. Wall cavity insulation should be added to achieve an R-value as close as possible to current code standards. Any energy upgrades, such as increased insulation in the attic, could result in prolonged snow retention on the roof and could ultimately affect roof performance without first completing structural reinforcement.

EXTERIOR FINISHES

Description:

The original house is clad in painted wood clapboard siding that runs from the top of the foundation to the bottom of the roof eaves. The same clapboard siding is also present on the main roof gable ends on the east and west sides. However, the smaller gable end above the west bay has decorative painted wood shingle siding with a diamond face. The clapboard siding and the shingle siding appear to be original as both are seen in an early 1900's photograph of the house. The east addition siding is painted wood shiplap siding with a Dutch cove profile. This type of siding is commonly found throughout Louisville and is likely original to when this part of the house was enclosed.



Wood shingle siding in the smaller gable end.

Condition Evaluation:

Overall, the painted wood siding is in fair condition and appears to have been well maintained. However, the siding is likely original and there are some areas that show signs of deterioration that would be expected of wood siding over 100 years old.

Recommendations:

Scrape, repair, refinish, or replace the original wood clapboard, shiplap, and shingle siding as necessary.

EXTERIOR MASONRY

Description:

In 2024 there is no exterior masonry on the house, and it does not appear that any exterior masonry existed as part of the original construction or the east addition. At some point a brick chimney was added to the exterior face of the north wall. This chimney is visible in Google Street View images in 2012 but was removed by 2015. The location of the chimney is partially visible where patches were made to the siding and roof. The images of the chimney show that it was in poor condition, and it was likely removed as it was no longer being used, likely was not structurally stable, and was not historic.

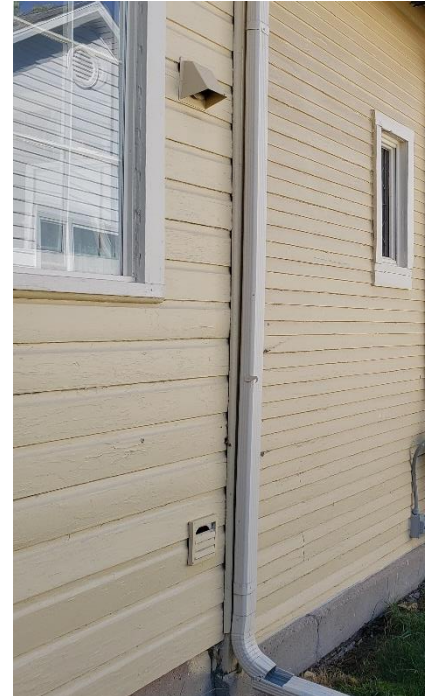
Recommendations:

No recommendations at this time.

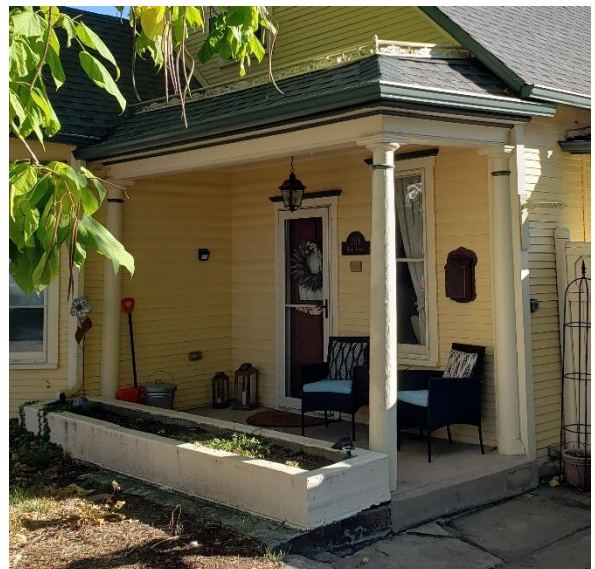
EXTERIOR APPENDAGES

Description:

The original house had a covered front porch attached to the west side that is still intact in 2024. The front porch is a poured concrete slab that likely replaced an original wood deck at some point. The front porch partially sits on top of the coal storage room and the porch floor may have been redone when the coal room was added or at the time that the coal room was no longer being used. The porch roof is a hipped roof with what appears to be intended as a balcony, though there is no access. The roof is supported by wood-wrapped beams supported by a turned wood column in the southwest corner and attached columns at the house. In 1948, the porch was wrapped with a knee wall that was later removed and there is currently a concrete planter on the west side of the porch.



Clapboard siding (right) on the original house and shiplap (left) on the addition.

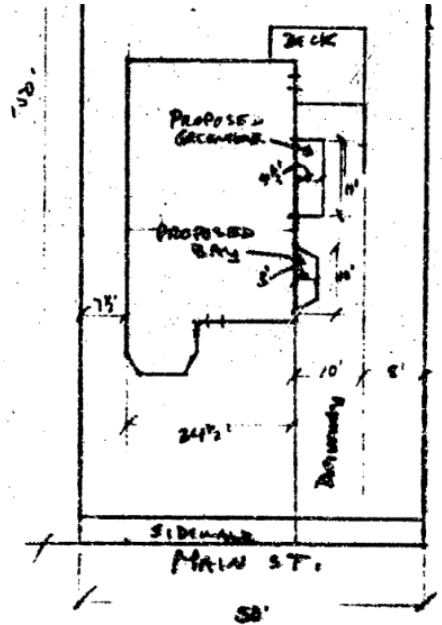


The covered front porch is mostly original with a concrete floor and planter that are not original.

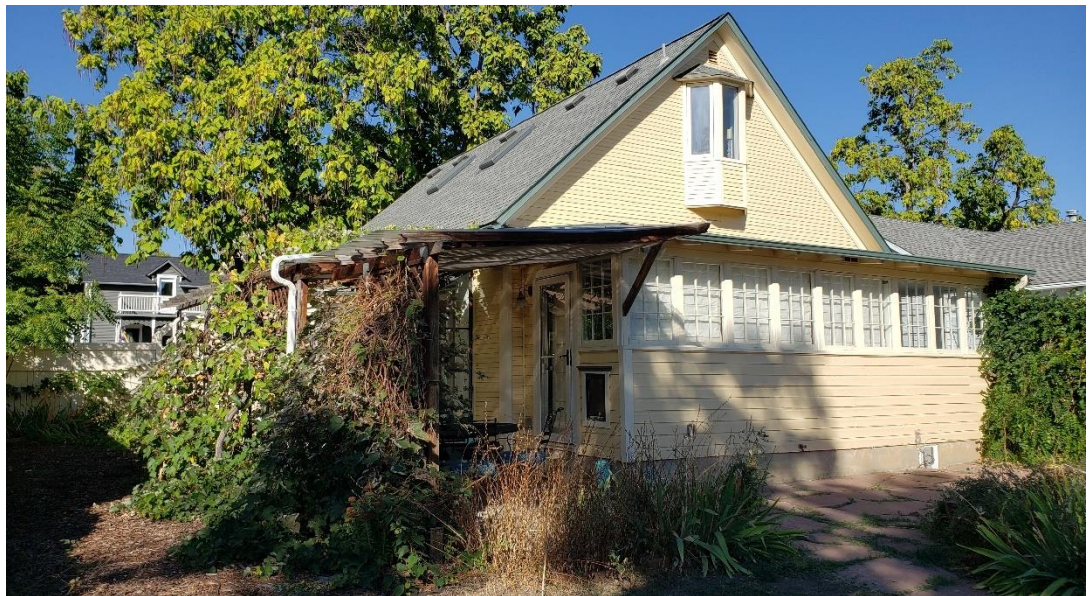


There are several appendages on the south side of the house, none of which are original. In 1967, a concrete patio was added at the southeast corner with a stained wood trellis structure and corrugated sheet roofing. The trellis is attached to and supported on the north side by the house. In 1989, a bay window and greenhouse were also added to the south wall of the original house. The bay window was designed to look like the original house, with siding, windows, and trim that all match the appearance of the original house. The bay window has a hipped roof that sits below the main gable roof and the floor is cantilevered. The greenhouse has a concrete foundation that supports a metal frame with single-pane glass windows, some of which are operable. The greenhouse is only accessible from within the house and has a wood deck floor.

The second floor was remodeled in 1992 which included adding insulation, a bathroom and a dormer. Building records indicate that the dormer was on the south side of the house. However, the dormer was never built. There is a bay window on the east side of the second floor that was likely part of the 1992 remodel, possibly replacing the original design to have a south side dormer. The east bay window is designed to look like the original construction with clapboard siding and trim that match the original house. The east bay window has a hipped roof and a cantilevered floor.



1989 site plan showing proposed bay and greenhouse additions.



A trellis structure in the southeast corner and a bay window on the upper floor, neither of which are original.

Condition Evaluation:

The covered front porch is mostly original, with the concrete slab floor and concrete planter as the only replacements. The structure of the porch was not exposed for analysis due to finish materials and no access to view the roof members. Therefore, our analysis of the structural elements is limited. The porch roof does appear to be sagging and is therefore likely not properly supported. The wood finish materials and the wood columns are in fair condition, similar to the exposed wood elements found elsewhere on the house.

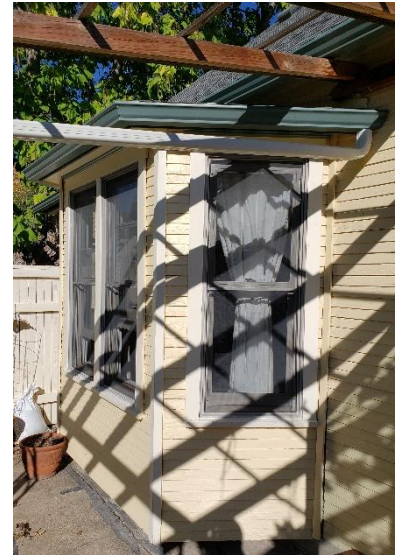
The concrete patio and trellis structure that were added in 1967 are in fair condition. The concrete slab is cracked but relatively level and does not slope water to the house foundation. The wood trellis appears to be properly supported, partially by the house, but the wood stain is weathered, especially on the members that are not covered by the corrugated roof. There are also numerous vines growing on the trellis, but these do not appear to be encroaching on the original house nor do they appear to be damaging the trellis.

The south side bay window is in good condition. This element was added in 1989 and appears to be well maintained, though not historic. The greenhouse, also added in 1989, is in good condition. The bay window structure and the foundation of the greenhouse were only partially visible for analysis. Building details found in the building records indicate how both of these elements were constructed, and it appears that both were engineered to a code at the time of construction.

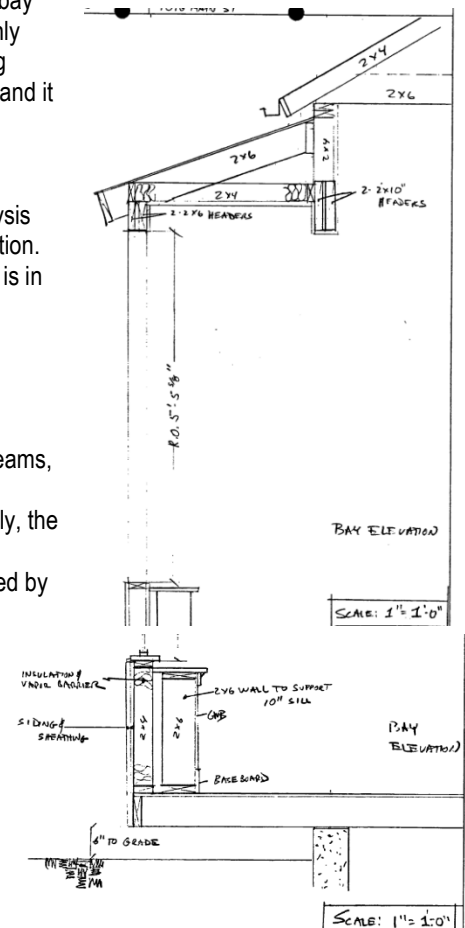
The structure of the east bay window was not exposed for analysis due to finish materials and there are no records of this construction. The east bay window appears to have been added in 1992 and is in good condition, but not historic.

Recommendations:

1. Further deconstructive investigation is necessary to properly analyze the covered front porch. The roof, beams, columns, and attachments need to be verified and analyzed by a licensed structural engineer. Additionally, the porch floor is sitting on top of the coal room, and it is unclear how it is supported. Further analysis is required by a licensed structural engineer to determine how the concrete porch slab is supported. The condition of all these elements needs to be verified with deconstructive investigation.
2. The concrete planter on the west side of the porch should be removed. This planter is not historic and may cause poor drainage away from the house foundation or from the coal room area below.
3. Consider removing the trellis structure on the south side of the house. This is not an historic element of the house and is attached to the house structure.



The bay window was designed to match the historic house.



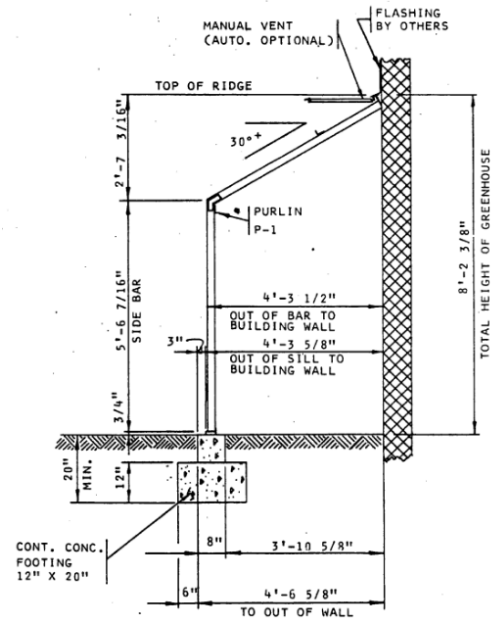
Bay window construction details.



4. Consider removing the greenhouse on the south side of the house. This is not an historic element of the house and is attached to the house. The doors accessing the greenhouse should also be removed with the removal of the greenhouse as these are not historic nor in a historic location.
5. The south side bay window should be removed. This is not an historic element though the appearance was intended to match the historic house. The bay window should be removed, and new windows should be added in this location that match the windows seen in the early 1900's photograph.
6. Consider removing the east side bay window on the second floor. This is not an historic element though the appearance was intended to match the historic house. However, the bay window is on the rear of the house and therefore is not visible when the house is viewed from Main Street, therefore the visual impact on the original house is minimal. If the east bay window is removed, consider adding a window in this location that matches the window in the west gable end. It is unclear if there was originally a window in this location and all evidence would be lost, but it is possible that the original structure had windows at both gable end walls.



Greenhouse attached to the south of the house.



Details for the greenhouse added in 1989.

3.4 ENVELOPE – ROOFING & WATERPROOFING

ROOFING SYSTEMS

Description:

The house roof is covered with an asphalt composite shingle roof that was added in 2018, according to building records. Building records indicate that the previous roof was removed down to the decking. In 2002 an asphalt roof was added on top of two layers of single-ply roof as was previously allowed by code. There is a small area of membrane roof at the covered front porch that is partially visible from the upper floor but is not accessible. The same type of membrane roof is also found on top of the low-pitch east addition roof. Building records state that the membrane roof is a single-ply torch down roof that was added in 2002. It does not appear that this roof was replaced in 2018. The 1948 Boulder County Assessor's card indicates that the shingles at that time were wood, which is typical for similar houses throughout Louisville.

There are several mushroom-style roof vents near the gable roof ridge on the south roof aspect. These vents appear to have been added in 2018. There is no lower roof, mid-roof, or soffit venting on the house. The roof vents appear to be venting a small attic space in the uppermost part of the gable as there is a finished second floor within the roof structure. There is no attic access to fully analyze roof insulation or venting. Painted aluminum drip edges along the rakes and eaves were also likely added in 2018 as drip edges were required by code during that time.



Asphalt shingle roof with roof venting near the ridge.



Condition Evaluation:

The asphalt composition shingle roof is in good condition. The areas of membrane roof appear to be in good condition but were not accessible during the site visit. The roof venting appears to be adequate for a small attic in the upper portion of the roof. However, this attic was not accessible and therefore assessment is limited.



Membrane roof at the covered front porch that is also found on the east addition.

Recommendations:

1. The membrane roof should be further inspected by a licensed professional. The roof was visible from within the house on the second floor, but not all areas were visible. Where visible, the roof appears to be in good condition and it was likely inspected in 2018 and deemed to be in good condition at that time as well, as it does not appear that it was replaced.
2. Keep all areas clear of debris, especially the low-pitch roof locations that are susceptible to debris build-up.
3. It appears that there is a small attic space in the upper part of the gable. This area was not accessible during the site visit to analyze the roof structure, insulation, and attic venting. Provide an attic access hatch and have the attic analyzed by a licensed structural engineer and licensed architect.

SHEET METAL FLASHING

Description:

Sheet metal flashing was not observed during the site visit. It is possible that sheet metal flashing exists beneath finish materials in several locations. Areas where sheet metal flashing may be found include where exterior low roofs meet exterior wall faces at the covered front porch, east addition, and bay window roofs. There is also likely flashing around the skylights beneath the asphalt shingles.

Condition Evaluation:

Since no sheet metal flashing was exposed, we do not have an evaluation currently. Since the roof was replaced in 2018, it is likely that sheet metal flashing was installed, replaced, or inspected as required by code at that time.

Recommendations

We do not have any recommendations at this time. If sheet metal flashing is exposed in the future with the removal of finish materials, the condition should be evaluated by a licensed professional.

PERIMETER FOUNDATION DRAINAGE

Description:

A perimeter foundation drain was not observed during the inspection. Due to the construction period and construction methods used, it is unlikely that a perimeter foundation drain exists.

Recommendations

No recommendations at this time.



DRAINAGE SYSTEM, GUTTERS & DOWNSPOUTS

Description:

Painted k-style gutters are found throughout the house. Gutters are located at the end of all roof eaves in appropriate locations and of appropriate lengths for adequate water collection. The roof eaves of the gable roofs are square-cut and therefore the gutters are attached with standoffs at regular spacing.

2x3 downspouts are located throughout and appear to be of an adequate amount for proper drainage where located. Downspouts have downspout extensions at all locations to direct water away from the foundation. There are downspouts on the south side that are routed across the trellis structure to direct water beyond the south side patio. Part of the trellis has a corrugated metal roof that does not have gutters or downspouts, but water is carried by the roof away from the house foundation.

Gutters and downspouts are not visible in the photographs from the first half of the 1900's and it is unclear when the k-style gutters and downspouts were added. Gutters may have been added after 1950 and the current gutters and downspouts may be replacements.



Typical K-style gutter, downspout, & downspout extension.

Condition Evaluation:

Overall, the gutters are in fair condition. Gutters can be difficult to assess outside of significant rain or snow events, but they appear to be properly attached, and no visible signs of leaking were present. Since we were unable to observe the gutters from above, it could not be determined whether the gutters are kept clear of debris or if any areas of standing water were present.

The downspouts are in fair condition as they appear to be of an adequate amount and in proper locations. Downspouts have extensions or are otherwise routed to direct water well beyond the house foundation.

Recommendations:

1. Ensure that all gutters, downspouts, and downspout extensions are maintained to discharge water away from the building foundation and are kept clear of debris.
2. Consider replacing the gutters with half-round gutters to match the historic style typical of Louisville. Downspouts should be replaced with round downspouts.

SKYLIGHTS / CUPOLAS

Description:



Skylights are visible in Google Street images as far back as 2012 and are present in 2024. It is unclear when the skylights were added but they are not original. Building records do not mention when the skylights were installed, but they may have been part of a re-roof that occurred in 2002. There are two skylights on the south aspect and one skylight on the north aspect of the main house gable. All three skylights are manually operable skylights.

Condition Evaluation:

Overall, the skylights appear to be in good condition and create proper seals, but operability was not tested. There is likely flashing around the skylights that were inspected or replaced in 2018 as part of a re-roof that would have been required by code.

Recommendations

We do not have any recommendations at this time. If sheet metal flashing is exposed in the future with the removal of finish materials, the condition should be evaluated by a licensed professional.



Operable skylights on the south roof aspect.

3.5 WINDOWS & DOORS

DOORS

Description:

The front door is a painted wood panel door with a 1/3 lite and a dentil beneath the glass panel. The front door has two panels above and five panels below the glass panel. In addition, there is a decorative trim below the dentil and a manual doorbell in the door panel. The front door faces west off the covered front porch and appears to be in an original location. There are no available historic photographs that show the front door. However, the current front door is likely historic, and possibly the original door. The front door has an aluminum full-lite storm door that is not historic.

There is a second exterior door in the southeast corner of the house facing south. The door in this location is a painted wood door with five panels. This location is likely original to the east addition and while it is difficult to determine if this door is the original door slab, the current door is likely historic. This door also has an aluminum full-lite storm door that is not historic.

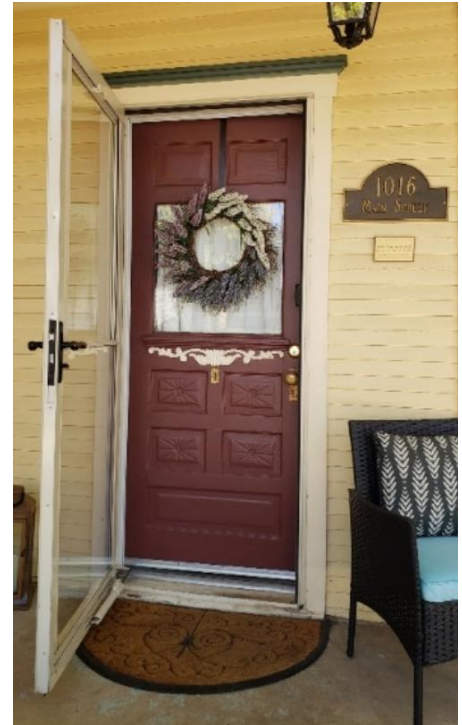
Also on the south side of the house is a double-panel French door that accesses the greenhouse. There are two single-pane side lites on either side of the French door and a stained-glass transom. This door and door location are not original. The doors may have existed prior to the greenhouse, providing access to a deck, or they might have been added in 1989 when the greenhouse was constructed.

There is door hardware throughout the house, including the handles, hinges, locking mechanisms, and the doorbell, that are likely historic elements.

Condition Evaluation:

The front door is in good condition. This door has been well maintained and the lifespan has been extended by the covered front porch and aluminum storm door.

The rear door is in fair condition. This door works properly and appears to create an acceptable seal. The rear door was exposed to elements prior to the construction of the trellis and added storm door but appears to have been well maintained.



Front door.



Double doors to greenhouse.



Door at east addition.

The French doors accessing the greenhouse are in good condition. These doors, along with the transom and sidelites appear to have been added relatively recently, possibly in 1989, and are protected from weather by the greenhouse.

Recommendations:

The painted wood rear door facing south should be fully restored. The wood door parts should be further inspected and repaired with replacement parts used only where necessary. All of the wood should be painted and sealed to resist weathering. The door hardware should also be repaired to remain functional. The weatherstripping around the doors should be replaced to create proper seals.



Interior doorknob that could be original.



Door handle and doorbell at front door. Both could be original.

WINDOWS

Description:

Most of the windows throughout the house are painted wood with single-pane glass. The windows in the original house are double-hung windows and the windows in the south bay window are single-hung. The east addition windows are all fixed three-over-three windows that are fixed, except for one casement window on the north side. There is also a fixed window on the north side of the original house with frosted glass. This window is in the bathroom and appears to be a replacement window, possibly in an original location, but does not match the original size. Two of the three windows in the upper floor bay window are casement windows while the third window is fixed.

Most of the windows appear to be original except for the windows on the second floor, the south bay windows, and one of the windows on the north side in the bathroom. The original double-hung windows have aluminum framed storm and screen windows. There is also evidence of exterior hardware that was previously used to attach screens that no longer exist.

Condition Evaluation:

Overall, the windows are in various conditions based on their time of construction. The newer windows on the upper floor and the south bay window are all in good condition as these would have all been added in 1989 or 1992. The windows on the original house and east addition are in fair condition. These windows are all well beyond the expected lifespan of painted wood windows. However, these windows appear to have been well maintained over the years and the aluminum storm windows have likely prolonged their lifespan.



Exterior hardware previously used to hold window screens.



Wood window with aluminum frame storm window and screen.



Single-pane 3-over-3 fixed windows at the east addition.

Recommendations:

1. The original wood double-hung and fixed windows should be properly restored as described below. Windows should be made to be operable, create proper seals, and only use replacement parts where no other option is available.
 - a. Remove and replace all window putty.
 - b. Clean and restore all glass panes with special care given to stained glass.
 - c. Repair and refurbish all wood window sash elements including stiles, rails, and muntins.
 - d. Repair and refurbish all wood window frames.
 - e. Repair and refurbish all counterweights and restore to operability.
 - f. Repair and refurbish all hardware including locking mechanisms.
 - g. Install new storm and screen windows with minimal frames.
2. Alternatively, all of the windows could be replaced with fiberglass or aluminum-clad wood windows. The replacement windows should match the size, location, and style of each existing window.
3. The bay windows should be removed as described above in section 3.3. The bay windows are not original and therefore should be removed. Paired double-hung windows should replace the south bay window as seen in the photograph from the early 1900's. A single window should be added to the east gable end that matches the window on the upper level in the west gable end.



Double-hung wood windows with aluminum frame screen windows.

3.6 EXTERIOR DETAILS

SOFFIT & FASCIA

Description:

The soffits on the original house gable rakes and eaves are painted 1x wood boards attached to the rafters. These match the soffits seen in the earliest photograph of the house and are likely original. The south bay window also has painted 1x wood soffits that are original to the bay that was added in 1989. There are painted wood beadboard soffits on the house that are likely original. The beadboard soffits are located at the covered front porch ceiling and where the roof overhangs the west bay. The east addition has exposed rafter tails on the east side that are painted.

The fascia throughout the house is minimally exposed as it is covered at nearly all locations with gutters and painted aluminum drip edge. The fascia is partially exposed from underneath, but assessment is limited. The fascia appears to be 1x wood fascia and attached to square-cut rafter ends. The painted wood fascia on the original house is likely original.

Condition Evaluation:

Overall, the soffits are in fair condition. The soffits have been well maintained and are protected from the elements. However, it is likely that the soffits are original and therefore the painted wood is over 100 years old. Some chipping and cracking of the wood is present and some of the seams are not flush.

The fascia was minimally exposed for analysis due to being covered by gutters and aluminum drip edge. Where visible the fascia is in good condition. Further analysis is required when the k-style gutters are removed.

Recommendations:

1. Scrape, repair, refinish, or replace all painted wood soffits.
2. The fascia should be fully evaluated when the k-style gutters are removed. The fascia may need to be repaired or replaced and properly reinforced for new gutter attachment.



Painted wood 1x soffit & fascia at the eaves and rakes with beadboard soffit at some locations.



Exposed painted rafter tails at the east addition.

TRIM

Description:

The house has 1x4 painted wood corner trim throughout on the original house as well as the subsequent additions. The original house also has painted wood decorative ogee trim at the top of the corner trim that matches the window head trim. Additionally, there are painted wood frieze boards of various sizes throughout the entire house.

The window trim on all the original house window locations is painted wood 5-piece trim. The windowsills are 2x6 with 1x4 jamb and head trim and a decorative ogee header. This window trim is also what is found on the front door and was copied for the south bay windows.

The east addition windows have a painted wood 2x6 sill with painted wood 1x picture frame jamb and head trim. The east addition door also has painted wood 1x picture frame trim.

The trim throughout the house generally matches that seen in the 1948 image. However, the details of the window and door trim are difficult to determine in historic photographs. It is likely that the current window and door trim is original with some possible modifications made over time, particularly where the bathroom window was replaced.



Decorative painted wood trim is found at the windows, doors, corners, and gable ends.

Condition Evaluation:

Overall, the painted wood trim is in fair condition. The wood trim has been well maintained over its lifespan and has been protected by the roof overhangs. There are some signs of chipping and cracking as would be expected of wood trim that is likely over 100 years old.

Recommendations:

Repair, restore or replace all of the painted wood trim as necessary.

ORNAMENTATION

Description:

The ornamentation found on the house is in the detail of the wood trim and the front door panel as discussed above. There is also a decorative painted wood railing on top of the covered front porch roof. The railing is original and gives the impression that this area is an upper floor deck, but it is not accessible. Other ornamentation is found at the front porch column capitals, the painted wood ogee trim at the gable roofs, and the shingle siding in the upper gable end of the smaller west facing gable.

Condition Evaluation:

Overall, the painted wood ornamentation elements are in fair condition. The wood trim has been well maintained over its lifespan and has been protected by the roof overhangs. There are some signs of chipping and cracking as would be expected of wood trim that is likely over 100 years old. The painted wood railing on top of the front porch roof is less protected from weather and is therefore further deteriorated. There is also a small dip in the front porch roof structure that is noticeable in the railing.

Recommendations:

Repair, restore, or replace all of the painted wood ornamentation as necessary.



Decorative painted wood railing and column capitals at the front porch roof.

3.7 MECHANICAL SYSTEMS

HEATING & AIR-CONDITIONING

Description:

Heating is provided to the entire house through a gas-fired forced-air furnace located in the basement. Building records do not indicate when the furnace was replaced but it appears to have been installed within the last ten years. The furnace is direct-vented out of the north wall of the basement. Air conditioning is not part of the forced-air system, but window air conditioning units were installed during the site visit. The furnace sits on the concrete slab floor in the basement with adequate space for servicing. A combination of rigid and insulated flexible ductwork runs throughout the basement to floor vents servicing the main floor. There are wall registers on the upper floor that also appear to be served by the basement furnace. Building records indicate that in 1996, a gas line was run, and a free-standing stove was installed. This appears to refer to the studio.

Condition Evaluation:

The furnace and air delivery system appear to be in good condition but were not tested. As the furnace is a newer unit, it is likely that performance is adequate for the current size of the house. Insulation upgrades mentioned elsewhere in this report will increase heating and cooling efficiency.

Recommendations:

1. Continue to perform routine maintenance on the furnace to prolong the lifespan.
2. If heating or cooling does not perform to the homeowner's satisfaction, consult with a licensed mechanical designer for upgrade options.



Furnace and ductwork in the basement.

WATER SERVICE, PLUMBING, & SEWER UTILITIES

Description:

A standard 50-gallon gas-fired water heater is located in the basement and is atmospherically vented through the roof. Building records indicate that the unit was installed in 2006. Building records also indicate that there was water damage in the bathroom which required new sheathing, insulation, plaster/drywall, and finishes. These support what was seen for floor sheathing as noted in the *Structural System* part of this report. The water delivery system is a combination of copper and PEX pipes with the waste lines being PVC, ABS plastic and cast-iron. The sewer line exits the house as cast iron on the east side, at a relatively low depth which is common for similar houses in Louisville. Building records state that the sewer line was replaced and a water line was run to the garage in 2009. It appears that the water line and sewer were actually run to the studio at the time that it was remodeled with a bathroom added. The extent of the sewer line replacement and the material used could not be determined. Additionally, there is no fire sprinkler system in the house.



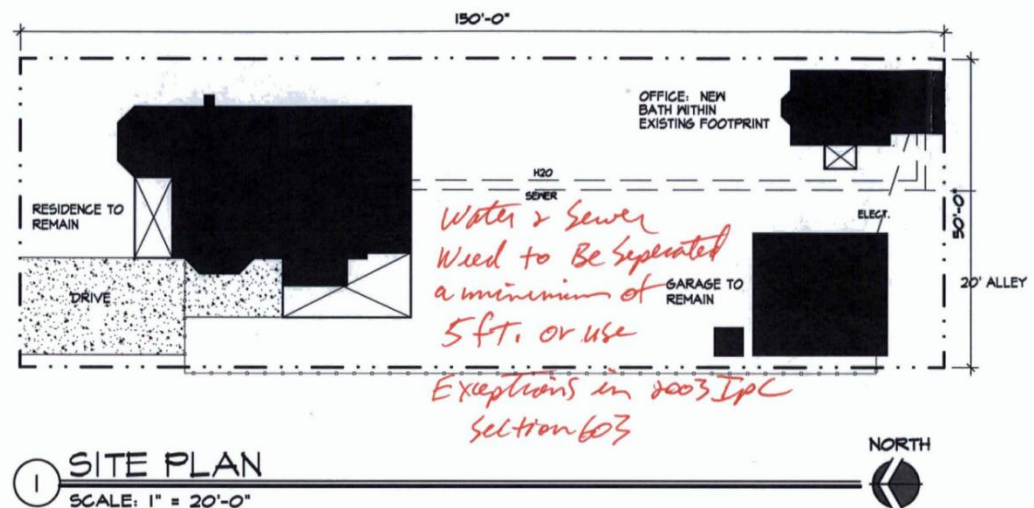
Water heater, supply, and waste lines in the basement.

Condition Evaluation:

The water heater, supply and waste lines, and sewer appear to be in good condition, but were not tested. Building records indicate that the water heater was installed in 2006, therefore, the water heater may be nearing the end of an expected lifespan.

Recommendations:

Consider replacing the water heater with a high-efficiency unit with a sealed combustion intake/exhaust system.



Site plan from 2009 indicating new sewer and water lines running to the studio.

3.8 ELECTRICAL SYSTEMS

ELECTRICAL SERVICE & PANELS

Description:

Electrical service is brought in overhead to the east side of the garage from an electrical pole located in the alley. The electrical meter is located on the exterior face of the north side of the garage and the main electrical panel is on the interior side of the garage. Building records indicate that the electrical panel was moved in 1992, and it appears that the panel was upgraded to a 200-amp service at that time. The electrical panel and meter were likely previously located on the house and then relocated to the garage, with an underground electrical line running to the house. There is a sub-panel located in the basement of the house, and it appears that there is also a sub-panel in the studio, though this could not be located due to limited access.

Condition Evaluation:

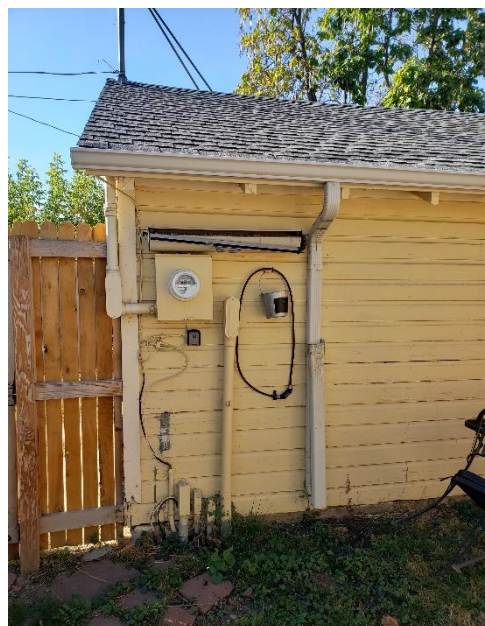
The electrical service was not tested during the site visit but appears to be in working condition. The panel appears to be sized appropriately for the existing house and studio requirements.

Recommendations:

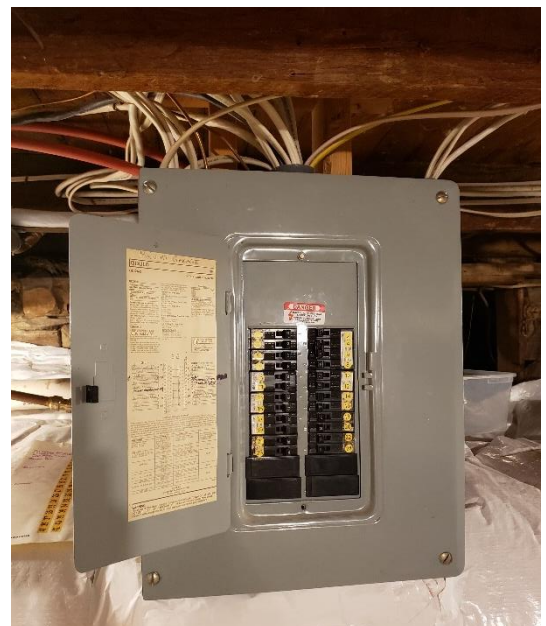
We do not have any recommendations at this time. Any future plans to remove the garage or construct a new garage should keep the main electrical panel on the garage with sub-panels in the house and studio. Future electrical work should be performed by a licensed electrical engineer and shall meet all applicable building codes.



Main electrical panel in the garage.



Electrical meter on the north side of the garage.



Sub-panel in the house basement.

ELECTRICAL DISTRIBUTION SYSTEM

Description

Electrical distribution throughout is Romex wiring that is visible in the basement and garage. It appears that this wiring serves the entire house, though not all areas are visible for analysis. It is likely that knob-and-tube wiring was originally used, as was common with similar houses in the Louisville area, and there are remnants of abandoned knob and tube wiring in the basement and in the garage. It appears that all the knob-and-tube wiring has been abandoned and is no longer in use. Building records indicate that in 1984, electrical wiring was added to the garage and modified in the kitchen and living room as part of a remodel.



Condition Evaluation:

The electrical distribution was not tested during the site visit but appears to be in good condition.

Recommendations:

No recommendations at this time.



Romex wiring next to abandoned knob-and-tube wiring in the garage.

LIGHTING

Description:

There is a pendant light fixture located at the covered front porch. An early 1900's photograph shows a light fixture in this location but the fixture in 2024 is a replacement, added at an unknown time. The wiring for this light fixture could not be determined as there is no access to the front porch roof. There is also an exterior wall sconce located next to the south facing door. This fixture location might be original to when this addition was enclosed sometime after 1948. At the rear of the house, in the southeast corner, there is a flood light that appears to be equipped with motion and light detection. None of the light fixtures were tested but appear to be in working condition. The front porch light and the wall sconce appear to be on interior switched circuits while the east light fixture appears to be motion controlled.

Condition Evaluation:

The light fixtures were not tested but appear to be in working condition. None of the exterior light fixtures are historic but the light fixture at the front porch is a replacement fixture in a historic location and the wall sconce on the south side of the house might be in an original location as well.

Recommendations:

Consider installing new exterior lighting that complies with Dark Sky regulations.



Pendant light fixture at the front porch.



Wall sconce at the east addition.



Flood light at east exterior wall.

4.0 ANALYSIS AND COMPLIANCE

4.1 HAZARDOUS MATERIALS

Due to the age of the building, the finish coatings may contain lead-based paint and asbestos may be present in the plaster topcoat. A professional evaluation should be conducted to determine the presence of any hazardous materials.

4.2 MATERIALS ANALYSIS

Does not apply.

4.3 ZONING CODE COMPLIANCE

Notes:

- It is recommended that the owner have a survey of the property conducted to verify the *Lot Size*. All *Lot Coverage* and *Floor Area Ratio* percentages are based on the actual property size and are subject to change from what is specified in this report.
- Building area square footages are taken from:
 - Boulder County Property Records (R)
 - As-built measurements as measured from the interior face of wall, by DAJ Design (M)
- Some areas are taken from the Boulder County Property Records. These records are found to be inaccurate at times. All areas are subject to change based on actual measurements.
- Only the main floor and upper floor of the house were measured by DAJ Design as this is the main historic structure located on the specified property.

Legal Description:

Lot 10, Block 17, Caledonia Place

Year Built (Main House):

City of Louisville, County of Boulder, State of Colorado

Lot Dimensions:

c. 1895-1910

Lot Size:

Approx. 50' x 150'

Zoning:

7,500 sf (ILC)

[RM](#) (one residential unit per 3,500sf)

Property is subject to the [Old Town Overlay Zoning District Regs](#)

Areas of levels in square feet (sf):

First level (above ground) finished area:	988 sf (M)
Upper level finished area:	392 sf (M)
Covered front porch area:	70 sf (M)
Attached greenhouse area:	50 sf (M)
Garage area:	420 sf (M)
Studio area:	282 sf @
Shed area:	18 sf (M)

Allowable Building Height (from existing grade):

Primary Structure:	27'
Accessory Structure:	20'

Lot Coverage:

Existing:	1,888 sf	25%	House, Front Porch, Studio, Garage, & Shed
Landmark:	3,000 sf	40%	1,112 sf remain

Floor Area Ratio:

Existing:	2,150 sf	29%	First Floor, Studio, Garage, & Shed
Landmark:	3,375 sf	45%	1,225 sf remain

Setbacks:

Front:	20'	(could be different depending on the front of neighboring house locations)
Front Porch:	14'	(6' encroachment into front yard & street side yard setback)
Rear:	25'	
Side (interior lot line):	5'	
Accessory Rear:	3'	
Accessory Side:	3'	



5.0 PRESERVATION PLAN

5.1 PRIORITIZED WORK

CRITICAL DEFICIENCY

One or more of the following indicate a critical deficiency:

1. *Advanced deterioration has resulted in failure of the building element, feature, or space, or will result in its failure if not corrected within two years.*
2. *Accelerated deterioration of adjacent or related building materials has occurred as a result of the feature or element's deficiency.*
3. *The feature or element poses a threat to the health and/or safety of the user.*
4. *The feature or element fails to meet a code/compliance requirement.*



- The top of the foundation relative to the top of grade should be determined around the entire perimeter of the house, especially at the west side of the house. If the top of the foundation is determined to be at or below the existing grade, new grading should occur to bring the grade down below the top of the foundation, as prescribed by a licensed structural engineer.
- Finished grades around the house perimeter should be re-graded to create positive drainage away from the house. The top of finished grade should be a minimum of 6 inches below the top of the foundation and the beginning of any wood framing, and the grade slope away from the foundation for at least the first 5 feet. Coordinate the slope with a licensed geotechnical engineer. This option may be difficult at the north, west, and south sides of the house as significant grading is necessary and there is little room to create new grading due to the proximity of the property lines.
- The house foundation could be replaced to bring the top of the foundation at least six inches above finished grade. This option would allow for the best outcome of finished grade away from the house foundation and would ensure that the wood structure and wood siding are not susceptible to rot. Coordinate with a licensed structural engineer and a licensed geotechnical engineer. Construct a new foundation at either a basement or crawlspace depth below frost, or a combination of basement and crawlspace depths. New foundation walls should be designed by a licensed structural engineer and supported with proper footings.
- A new foundation should be set high enough to allow for proper drainage away from the foundation as prescribed by a geotechnical engineer. To pour a new concrete foundation, the house will need to be temporarily lifted or moved to a temporary location by a licensed house mover. The location of the house on the site should not vary from the current, historic location. The top of the foundation will need to be increased to create proper drainage. This will minimally increase the height of the house but will reflect the original grade.
- The concrete on the exterior face of the stone foundation showed various signs of cracking. Further investigation is required to determine if the cracking is related to foundation movement in the stone foundation or if the cracking is caused by improper application of the concrete face.
- The concrete face on the exterior side of the stone foundation should be removed. The stone foundation will need to be tuck-pointed and waterproofed. The depth of the stone foundation and the size of the footing (if any) should be determined and evaluated by a licensed structural engineer.
- The concrete retaining walls in the basement need further investigation by a licensed structural engineer. These walls are covered with vinyl insulation that will need to be temporarily removed to determine how the retaining walls are supported. Further support of the retaining walls may be required as prescribed by a licensed structural engineer. Also, destructive investigation may be needed to verify the presence of footings below the retaining walls and additional strengthening to the footings may be necessary.
- New footings are likely needed to support the point and distributed loads from the roof and floor framing as specified in the recommendations below. New foundation support below any new beam and posts supporting the floor and roof framing should be coordinated with a licensed structural engineer.



- Alternatively, the foundation walls (including the perimeter and interior walls) could be replaced with a new concrete foundation at either a basement or crawlspace depth below frost, or a combination of basement and crawlspace depths. New foundation walls should be designed by a licensed structural engineer and supported with proper footings.
 - A new foundation should be set high enough to allow for proper drainage away from the foundation as prescribed by a geotechnical engineer.
 - To pour a new concrete foundation, the house will need to be temporarily lifted or moved to a temporary location by a licensed house mover. The location of the house on the site should not vary from the current, historic location. The top of the foundation will need to be increased to create proper drainage. This will minimally increase the height of the house.
 - A new concrete foundation will benefit the overall structure of the house with minimal impact to the exterior appearance of the house. Benefits include a foundation that has a proper footing set below the minimum frost depth; new waterproofing of a concrete foundation will prolong the overall lifespan of the structure; will eliminate the need to remove the existing concrete facing to tuck-point and waterproof the existing stone foundation; a new concrete foundation will support the gravity and lateral loading of the house as well as support the required structural elements needed to support the floor structure, walls, and roof as described below.
- The beams and beam supports should be replaced or reinforced as prescribed by a licensed structural engineer. The best method is to construct new beams and beam supports that support the existing floor joists and remove the existing beams and beam supports as prescribed by a licensed structural engineer. These new supports should bear on footings, or any other type of foundation as prescribed by a licensed structural engineer and located at a depth and soil bearing capacity as specified by a licensed geotechnical engineer.
- The front porch appeared to be a concrete slab over basement/crawl space below. The slab at this location appears to span between the exterior foundation wall and interior floor structure. The thickness of the slab and connections at the ends were not visible for our review. Also, the reinforcing of the slab is visible when looking at the underside of the slab from the basement. This does not meet the minimum IRC code specifications of today's standards. The slab at this location and the connections at the ends of the slab shall be replaced or modified as prescribed by a licensed structural engineer to meet the minimum IRC code specifications of today's standards.
- Scrape, repair, refinish, or replace the original wood clapboard, shiplap, and shingle siding as necessary.
- The south side bay window should be removed. This is not an historic element though the appearance was intended to match the historic house. The bay window should be removed, and new windows should be added in this location that match the windows seen in the early 1900's photograph.
- The membrane roof should be further inspected by a licensed professional. The roof was visible from within the house on the second floor, but not all areas were visible. Where visible, the roof appears to be in good condition and it was likely inspected in 2018 and deemed to be in good condition at that time as well, as it does not appear that it was replaced.
- The painted wood rear door facing south should be fully restored. The wood door parts should be further inspected and repaired with replacement parts used only where necessary. All of the wood should be painted and sealed to resist weathering. The door hardware should also be repaired to remain functional. The weatherstripping around the doors should be replaced to create proper seals.
- The original wood double-hung and fixed windows should be properly restored as described below. Windows should be made to be operable, create proper seals, and only use replacement parts where no other option is available.
 - Remove and replace all window putty.
 - Clean and restore all glass panes with special care given to stained glass.
 - Repair and refurbish all wood window sash elements including stiles, rails, and muntins.
 - Repair and refurbish all wood window frames.
 - Repair and refurbish all counterweights and restore to operability.
 - Repair and refurbish all hardware including locking mechanisms.
 - Install new storm and screen windows with minimal frames.

- Alternatively, all of the windows could be replaced with fiberglass or aluminum-clad wood windows. The replacement windows should match the size, location, and style of each existing window.
- Scrape, repair, refinish, or replace all painted wood soffits.
- Repair, restore or replace all of the painted wood trim as necessary.
- Repair, restore, or replace all of the painted wood ornamentation as necessary.

SERIOUS DEFICIENCY

One or more of the following indicate a serious deficiency:

1. *Deterioration, if not corrected within two to five years, will result in failure of the feature or element.*
2. *Deterioration of a feature or element, if not corrected within two to five years, may pose a threat to the health and/or safety of the user.*
3. *Deterioration of adjacent or related building materials and/or systems will occur as a result of the deficiency of the feature or element.*



- Keep overgrowth trimmed away from the house and overhead electrical lines and remove any overhead branches. The ground covers should be trimmed away from the house foundation and should not be allowed to grow up the house walls.
- Continue to monitor the drainage around the perimeter of the house. The perimeter should be observed after snow and significant rain events to assess for all areas of pooling water.
- The wood floor framing members including the sill plate, rim board, floor joists, and floor sheathing should be inspected for rot caused by poor drainage. If rot is found in any of these members, the affected flooring should be replaced as prescribed by a licensed structural engineer. Rot was not observed during the site visit. However, many of the susceptible areas, primarily at the house perimeter, were not visible for analysis due to insulation in the basement.
- The garage likely meets the age to qualify as a historic element of the site. However, the garage was not originally constructed in a manner to have a long-life expectancy and has subsequently been minimally maintained. The size and location of the overhead garage door only provides one on-site parking space, and the condition of the roof poses a safety concern. For these reasons, we recommend removing the garage or extensive structural repair to the existing framing should occur to meet current code standards.
- Similarly, the parking area on the west side of the house should be removed. On-site parking could be accommodated in this location with a new concrete slab or wheel tracks. However, no parking should occur above the coal room and the coal room should be further assessed prior to any above grade work.
- The basement and crawlspace foundation walls showed various signs of damage that require further evaluation. No additional load should be added to the existing foundation system without a full analysis of the current foundation walls/footings. Additional strengthening of existing crawlspace walls may be needed as determined by a licensed structural engineer to meet current code specifications.
- New footings are likely needed to support the point and distributed loads from the roof and floor framing as specified in the recommendations below. New foundation support below any new beam and posts supporting the floor and roof framing should be coordinated with a licensed structural engineer.
- The floor framing should be further observed by a licensed engineer and repaired as needed. The existing floor joists may be over spanned per current IRC code. New floor joists could be sistered to the existing floor joists or new beam lines should be added to the main floor system to support the existing floor joists as mentioned above. Special attention should be given to the connections between the foundation walls, floor joists, beams, and beam supports. The floor joists are not suitable for additional load resulting from a remodel or addition.
- It is likely that the non-visible portions of the floor structure are constructed in a similar manner to those areas that are exposed. However, the entire floor structure should be verified and evaluated by a licensed structural engineer prior to any remodel or addition.
- New beams may need to be added to support the point and distributed loads from the roof framing as specified in the recommendations of the 'Roof Framing Systems' section of this report.
- Deconstructive investigation is necessary to fully analyze the roof structure. Coordinate locations to remove finish materials to view the roof structure with a licensed structural engineer.



- Hurricane clips (or toenails) may need to be added where roof framing members bear on exterior walls to meet the minimum IRC code requirements of today.
- Additional collar ties may be needed to be in compliance with current IRC code for prescriptive roof framing.
- Diagonal braces and purlins may be needed to strengthen the existing rafters to be in compliance with the current IRC code for prescriptive roof framing.
- Additional beams may be needed in the attic area to support the above-mentioned diagonal braces and purlins. This is mainly needed approximately at the mid-span of the roof rafters. These beams will require support in the wall system and likely would require new foundation support in the crawlspace and basement. This must be coordinated with a licensed structural engineer.
- Attic insulation should be added to achieve an R-value as close as possible to current code standards. The maximum insulation possible should be added at the perimeter of the roof as the roof depth in this location does not allow for the minimum required by code. Any energy upgrades, such as increased insulation in the attic, could result in prolonged snow retention on the roof and could ultimately affect roof performance without first completing structural reinforcement.
- Wall cavity insulation should be added to achieve an R-value as close as possible to current code standards. Any energy upgrades, such as increased insulation in the attic, could result in prolonged snow retention on the roof and could ultimately affect roof performance without first completing structural reinforcement.
- Further deconstructive investigation is necessary to properly analyze the covered front porch. The roof, beams, columns, and attachments need to be verified and analyzed by a licensed structural engineer. Additionally, the porch floor is sitting on top of the coal room, and it is unclear how it is supported. Further analysis is required by a licensed structural engineer to determine how the concrete porch slab is supported. The condition of all these elements needs to be verified with deconstructive investigation.
- The concrete planter on the west side of the porch should be removed. This planter is not historic and may cause poor drainage away from the house foundation or from the coal room area below.
- Remove the greenhouse on the south side of the house. This is not an historic element of the house and is attached to the house. The doors accessing the greenhouse should also be removed with the removal of the greenhouse as these are not historic nor in a historic location.
- Consider removing the east side bay window on the second floor. This is not an historic element though the appearance was intended to match the historic house. However, the bay window is on the rear of the house and therefore is not visible when the house is viewed from Main Street, therefore the visual impact on the original house is minimal. If the east bay window is removed, consider adding a window in this location that matches the window in the west gable end. It is unclear if there was originally a window in this location and all evidence would be lost, but it is possible that the original structure had windows at both gable end walls.
- It appears that there is a small attic space in the upper part of the gable. This area was not accessible during the site visit to analyze the roof structure, insulation, and attic venting. Provide an attic access hatch and have the attic analyzed by a licensed structural engineer and licensed architect.
- Consider replacing the gutters with half-round gutters to match the historic style typical of Louisville. Downspouts should be replaced with round downspouts.
- The fascia should be fully evaluated when the k-style gutters are removed. The fascia may need to be repaired or replaced and properly reinforced for new gutter attachment.

MINOR DEFICIENCY

One or more of the following indicate a minor deficiency:

- 1. Standard preventive maintenance practices and building conservation methods have not been followed.*
- 2. A reduced life expectancy of affected or related building materials and/or systems will result.*
- 3. A condition exists with long-term impact beyond five years.*



- Work with a licensed arborist to maintain the mature trees and shrubs. Ensure that growth does not interfere with the house roof, siding, or foundation.
- Consider replacing the hardscape walking surfaces throughout the rear and side yards with new surfaces that are level.
- Continually monitor the main floor walls for signs of foundation distress such as cracking or improper door operation. Cracks were not observed within the finishes on the main level. If signs of cracking are detected, these areas should be evaluated by a licensed engineer and repaired as needed.
- If the main floor deflection is inadequate, consult a licensed structural engineer for additional support design options.
- Without the opportunity to observe the exterior wall structure, we do not have any recommendations currently. If the opportunity presents itself, the exterior walls should be assessed by a licensed structural engineer. The owner is to note that the walls will need to be evaluated if any remodels or additional load is to be added, including the interior walls as several of these walls appear to be load bearing. Also, if any remodel or addition plan is in place, new braced wall lines may be added by adding OSB or gypsum board on the interior side of exterior walls to resist wind loading.
- Remove the trellis structure on the south side of the house. This is not an historic element of the house and is attached to the house structure.
- Ensure that all gutters, downspouts, and downspout extensions are maintained to discharge water away from the building foundation and are kept clear of debris.
- Continue to perform routine maintenance on the furnace to prolong the lifespan.
- If heating or cooling does not perform to the homeowner's satisfaction, consult with a licensed mechanical designer for upgrade options and/or all-electric heating and cooling options.
- Consider replacing the water heater with a high-efficiency unit with a sealed combustion intake/exhaust system or an all-electric heat pump water heater.
- Consider installing new exterior lighting that complies with Dark Sky regulations.

5.2 PHASING PLAN

A phasing plan is not available at this time.

5.3 ESTIMATE OF PROBABLE COST OF CONSTRUCTION

A probable cost of construction is not available at this time.

6.0 PHOTOGRAPHS AND ILLUSTRATIONS



c. early 1900s view from Main Street



1950 West Elevation



2024 West Elevation



2024 View from the Southwest



2024 View from the Northwest



2024 View from the Southeast



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Structural Engineering Consultants
P.O. Box 20708
Boulder, Colorado 80308
303.554.9591

December 2, 2024

Attn: Josh Johnston
DAJ Design
Louisville, CO

Dear Josh,

We visited the building at 1016 Main Street, Louisville, CO on October 8, 2024, to review the existing building for the purpose of documenting and evaluating the existing structure. It was at this time that we reviewed the building with DAJ Design and coordinated our findings with the report created by DAJ Design.

On December 2, 2024, we reviewed the final report and made any necessary modifications to the structural sections. All findings, evaluations and recommendations are in the report. Below, in this letter, are our structural conclusions and a summary of our scope of work. Please feel free to contact us for any further information.

Structural Conclusions:

A. In our professional opinion, the building's structure is adequate for its continued safe use. The construction does not meet all modern code standards; however, it has performed adequately up to this point. We recommend that a licensed Structural Engineer be retained to further evaluate the structure, provide the repairs recommended in each of the sections of this report and assist in any modifications to the structure proposed by the owner and an architect.

Please see the recommendations sections of the report for any required or recommended structural recommendations, to be completed by a licensed structural engineer and contractor.

It is also important to note that a significant portion of the building's structure was not exposed for our review. There may be damaged structure that we were not able to observe due to finish materials. Also, additional cosmetic imperfections could arise, which is normal for an old structure.

B. An extreme event occurring at the site, such as a tornado, a serious (rare) earthquake or other unforeseen event could significantly damage the structure. But this is also true for most old structures in Louisville and is only mentioned for completeness of this report.

C. The drainage around the home should be addressed to allow for water to flow away from the building. Poor drainage could result in water infiltration or excessive movement and damage to the foundation and wood framing.



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P.O. Box 20708
Boulder, Colorado 80308
303.554.9591

Summary and Limitations:

A. Summary:

1. The goal of our site observation and the structural portion of the report is to provide an overview of the building's structure and foundation and identify areas where remedial work in the near future is prudent.
2. The recommended remedial measures are intended to promote the building's continued safe use and are not intended to eliminate all existing and potential future cosmetic defects.

B. Limitations:

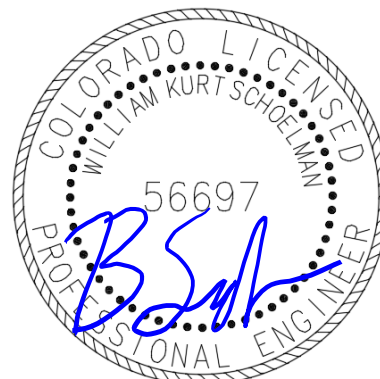
1. The information contained in the report is the author's professional opinion based on visual evidence readily available at the site, without the removal of existing finish materials. Of course, this means there could be hidden defects which are not discoverable at this time, without demolition of finish materials. That is true for most buildings, and an inherent limitation for this kind of report. Should additional information become available or additional movement is perceived, we recommend that our firm be contacted for further review.
2. The issuance of the report does not provide the building's current or future owners with a guarantee, certification, or warranty of future performance. Acceptance and use of this report do not transfer financial liability for the building or the property to the author or this engineering firm.
3. The report is also only preliminary to make note of areas that need to be addressed. A licensed Structural Engineer should be retained to provide a more thorough investigation and provide appropriate repair details for all necessary repairs.

Prepared by,

Vignan Beesam, M.S.

Reviewed by,

Billy Schoelman, P.E.



12/02/2024

ITEM: 701 Lincoln Avenue

APPLICANT & OWNER: Dan Weller & Ariel Meyers
701 Lincoln Avenue
Louisville, Colorado 80027

PROJECT INFORMATION:
ADDRESS: 701 Lincoln Avenue
LEGAL DESCRIPTION: Lots 10-11-12, Block 19, Pleasant Hill
DATE OF CONSTRUCTION: Ca. 1900

REQUEST: A request for a Preservation and Restoration Grant

VICINITY MAP:



SUMMARY:

The applicant is requesting the following:

- A Preservation and Restoration Grant of \$35,095.67.

Staff recommend denial of the grant request due to ineligibility. The property was landmarked in 2015, and under the funding resolution in place at that time the deadline to apply for grants was 18 months following landmark approval.

HISTORICAL BACKGROUND:

Information from Bridget Bacon, Louisville Historical Museum

This house was owned by the Jaksa, Jefferson, Horn, Viggers, and Vaughn families over a period of over 100 years. Ambrose Vaughn, Sr. worked as a coal miner in Kentucky before moving to Colorado. Like other miners who moved to Louisville during the Depression, he may have been drawn to Louisville because of the availability of mining work. Ambrose Vaughn, Jr. served in World War II, and he appears in a short scene on the Louisville Historical Museum's World War II film showing local servicemen while they were home on leave.

Please see the attached Social History Report (Attachment No. 1) for more detail.

ARCHITECTURAL INTEGRITY:

The PaleoWest Historic Context, [*Stories in Places*](#), lists 701 Lincoln Street as National Folk type architecture style. The structure appears to have maintained architectural integrity since its construction ca. 1900. The property was landmarked in 2015 by Resolution No. 49 (Attachment No. 2). The staff report from 2015 described the architectural integrity of the property at that time as follows:

Overall, the structure has maintained a high level of integrity. There has been some loss of detail but the form has remained the same. The structure has a hipped roof with three gables extending to the north, south, and east sides. The front facade of the house has a shed - roofed porch with low wall and square supports. The house is clad in wood siding. The majority of the windows are 1/1 double -hung sash. The paired window on the front gable is smaller than the 1948 assessor's photo. In addition, the window in the southern gable has been replaced. There is a rear porch on the southwest corner of the property. Based on the photo from 1910 -1920, the rear porch had elements of the Folk Victorian style. The house has a central brick chimney.



Photo from the Boulder County Assessors Card, Circa 1948



Current photo of property in October 2025



Current photo of property in October 2025

Three (3) alteration certificates have been approved since the property was landmarked:

1. July 2018 – Re-roof (previous owner)
2. June 2018 – Re-roof which included same request as above, with the addition of siding repair/replacement (previous owner)
3. November 2024 - siding replacement in the existing dimensions of 6" soft lap, porch repairs, replacement of windows and doors not original to the house (current owner)

A Historic Structure Assessment was completed in 2018 (Attachment No. 3) and paid for by the Historic Preservation Fund (HPF) in the amount of \$900.00. The HSA identified priority work of including new roof, replacement of non-historic window and the door, replacing some siding, and limited porch repairs.

GRANT REQUEST:

The applicant is requesting a total Preservation and Restoration Grant of \$35,095.67 for work already completed at 701 Lincoln Street. The total project cost is \$70,191.35.

The property was landmarked in 2015 and is subject to the resolutions in effect at that time, as per current Resolution 17, Series 2019, Section 12:

f. Owners of properties landmarked prior to enactment of this resolution shall have access to the grant funds available through the resolutions in effect at the time of landmarking approval. Such owners may also apply for additional grants through the extraordinary circumstances process described above.

The previous property owners were awarded a \$1,000 landmark bonus as per Resolution No. 20, Series 2010. Under Resolution No. 2, 2012, Section 3:

- a. For a period of 18 months from when a property is declared a landmark pursuant to Chapter 15.36 of the Louisville Municipal Code the owner of the property shall be eligible for a grant from the Historic Preservation Fund in the amount of up to \$ 5, 000 for residential structures and up to \$ 65,000 for commercial structures. These grants are available for the following purposes...*

The property is not eligible for grant funds from the resolution at the time, as eligibility to seek grant funds expired in August 2016 (18 months past landmarking of the property in February 2015). The previous owners did not begin to undertake recommended priority work from the HSA, including the re-roof and siding, until mid-2018. The current owner acquired the property in 2018 and did not begin some of the scope in the HSA until 2024.

The grant program provides an incentive for a property owner to landmark a property and is not intended to have an open-ended timeframe for applying for grants. The deadlines for requesting grants are necessary to administer the program to ensure accounting of available funds. Additional grants may be approved if there are extraordinary circumstances. However, in this case, staff finds that the grant requests are typical restoration and rehabilitation work and there were no extraordinary circumstances that delayed restoration and rehabilitation work.

Staff have communicated that the work is not eligible for grant funds to the property owners on several occasions since late 2024 as per Resolution No. 17, Series 2019 and the applicable Resolution at the time (Resolution No. 2, 2012). In May 2025, the Historic Preservation Commission was provided a letter from staff at the request of the applicant (Attachment No 4.).

The applicant then submitted an application for grant and restoration funds. As per Resolution 17, Series 2019, Section 12:

g. The Commission will review all grant applications and make recommendations to the City Council for approval or disapproval. The City Council may approve, deny, or return a proposal to the Commission for further information.

Staff findings of the Preservation and Restoration Grant request are summarized in Table 1:

Table 1. Summary of staff analysis of qualification of Preservation and Restoration Grant				
	Requests		Analysis	Extra. Circum. Eligible
Description	Final	Preservation, Restoration, Rehabilitation	In HSA?	
Siding	\$28,834.30	Rehab.	Partly; replace a few siding boards. <i>\$4000 estimated.</i> <u>Final scope:</u> replaced half of the siding	No
Porch Repair	\$20,253.67	Rehab.	Partly; new wood floor for front porch, fix/paint trim and siding on low walls. Side porch should get horizontal lap siding and double hung windows. <i>\$1700 estimated.</i> <u>Final scope:</u> Entire porch removed and rebuilt including the vertical support beams for the roof.	No
Window Replacement	\$21,103.37	N/A (Not historic)	Partly; painting and replacing aluminum storms with wood for historic compatibility. Also replace metal front storm door. <i>\$2400 estimated.</i> <u>Final scope:</u> Six windows were replaced with historically accurate models; added proper sheathing before reinstalling new sashes.	Not eligible
Total Project Cost	\$70,191.35	HSA estimated \$8,100 in total in 2018.		
Total Request	\$35,095.67			
Total Recommended	\$0.00	Eligibility expired August 2016 under Resolution No. 2, 2012 (18 months).		

FISCAL IMPACT:

The current unincumbered Historic Preservation Fund (HPF) balance is in excess of \$3.5M with around \$1M in revenues each year. Staff anticipate reviewing multiple commercial grant applications for more than \$1 million in 2025/2026. The HPF will sunset in 2028 unless extended. As the owner is not eligible to receive grant funding under Resolution No. 2, 2012, or Resolution No. 17, Series 2019, staff do not find that there are funds to support the request.

STAFF RECOMMENDATION:

Staff recommend denial of the grant request for the following reasons:

1. The property was landmarked in 2015 – over ten years ago. The grant program has been established as an incentive to landmark a property and includes a maximum allowed timeframe to apply for grants following landmark designation. The property is not eligible for grants under Resolution No. 2, 2012, as the deadline to submit a grant request was August 2016.
2. There is no showing of extraordinary circumstances to extend the timeline to consider a grant request. The current property owner purchased the property in 2018. The project did not begin until late 2024; a ~6 year lapse from the time of ownership and an ~8 year lapse from the HSA completed in 2018.
3. The HSA included limited scope for work on the porch and replacement of limited siding for the condition presented in 2018. The grant request does not meet the definition of extraordinary circumstances, and the scope of work falls under maintenance.
4. The windows that were replaced were not historic and not eligible for grant funding.

Staff directed the property owner to the Colorado State Income Tax Credit for the Preservation of Historic Structures program. The applicant indicated they are aware of this program and have received a tax credit for the scope of work presented.

ALTERNATIVE OPTION

Resolution No. 11, Series 2025 is attached (No. 5) should the Historic Preservation Commission decide to award a grant from the HPF fund (not recommended).

ATTACHMENTS:

1. Social History Report
2. Resolution No. 49, Series 2015 (Landmark Designation)
3. Historic Structure Assessment (HSA)
4. Email to Historic Preservation Commission from Applicant, dated May 14, 2025.
5. Resolution No. 11, Series 2025 (Grants)



701 Lincoln Ave. History

Legal Description: Lots 9, 10, and 11, Block 9, Pleasant Hill Addition

Year of Construction: circa 1900

Summary: This house was owned by the Jaksa, Jefferson, Horn, Viggers, and Vaughn families over a period of over 100 years.

Establishment of the Pleasant Hill Addition

The subdivision in which 701 Lincoln is located is the Pleasant Hill Addition. This addition was platted and recorded with Boulder County in 1894 by Orrin T. Welch. Orrin Welch was the half-brother of Charles C. Welch, the prominent Colorado businessman who played the main role in the founding of Louisville and the opening of its first coal mine, the Welch Mine, back in the 1870s. In the 1890s, Charles Welch was still involved in the development of the town, in this case through the transfer of property to Orrin Welch in 1893.

Jaksa Ownership and Residency; Date of Construction of House

County property records show that John and Annie "Saksa" purchased lots 10 and 11 of this parcel from Orrin T. Welch by a deed recorded in 1897. These two lots of the three lots that now make up the parcel are the ones nearest Pine Street. The name "Saksa" is believed to have likely been transcribed in error from "Jaksa," which was the name of a known Louisville family from Slovenia.

In the 1900 census, which appears to show the Jaksa family in this location, the name has been transcribed as "Laksa." John Jaksa worked as a coal miner. The 1910 census then indicates that the "Yackcha" family was in the vicinity of 701 Lincoln; it may have been members of the same Jaksa family, but they were now renting.

Although records show that members of the Jaksa family might have continued to live at 701 Lincoln, they did not continue to be owners of it. In 1902, they sold Lots 10 and 11 to Iva Lemon

Jefferson. It is possible that they or relatives under the name “Yackcha” were then renting 701 Lincoln from Jefferson at the time of the 1910 census, though this is not certain.

Boulder County property records give the year of construction for 701 Lincoln as 1900. Boulder County has sometimes been found to be in error with respect to construction dates of Louisville buildings, so other evidence is looked to. In this case, the Jaksa family had purchased lots 10 and 11 from the developer in 1897 and the family is shown as living in this location at the time of the 1900 federal census. Also, the 1909 Drumm’s Wall Map of Louisville does show a house located on lots 10 and 11.

No other evidence was found that would suggest an earlier or later construction date. For these reasons, the construction date is being noted as “circa 1900.”

Iva Lemon Jefferson Ownership (1902-1910)

In 1902, Iva Lemon Jefferson purchased Lots 10 and 11 from John and Annie Jaksa.

By a deed recorded in 1903, Iva Jefferson purchased Lot 9 from Orrin T. Welch, the developer of the Pleasant Hill Addition. Lot 9 was the next lot to the north and is still a part of this parcel.

Iva Myrtle Lemon was born in 1878 and was the daughter of a Louisville blacksmith, Sam Lemon. She married Gustav “Gus” Jefferson in about 1896. Evidence that Iva and Gus Jefferson actually resided at 701 Lincoln could not be located, though the 1904 directory lists them as living on Lincoln, between Pine and Spruce, which could be this house.

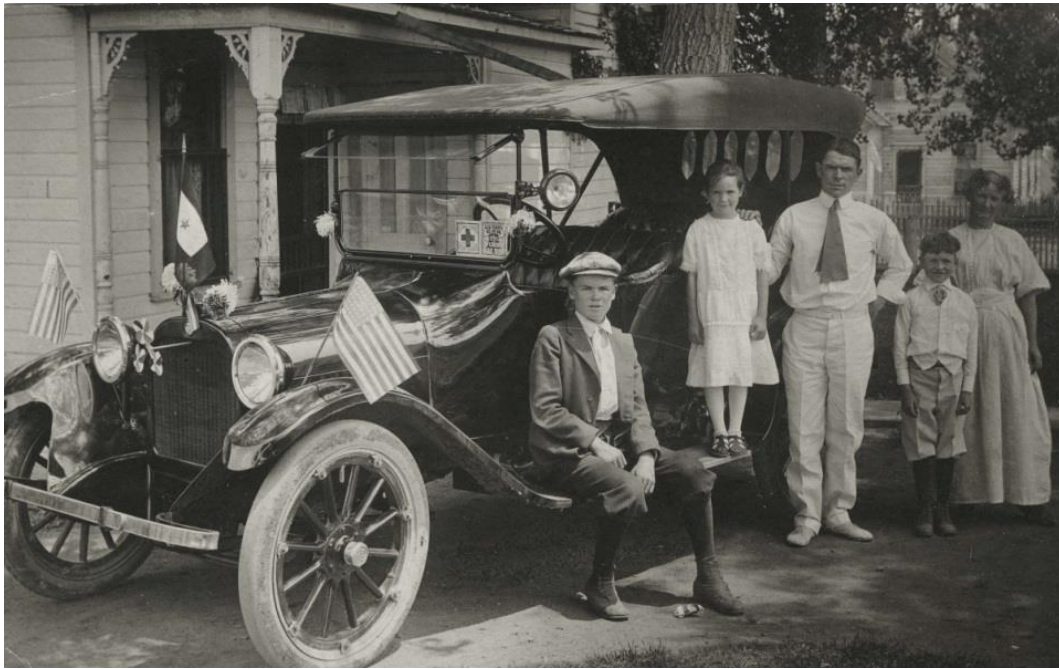
Tom Horn Ownership (1910-1920)

Thomas Horn purchased 701 Lincoln (now comprising all three lots) in 1910 and moved into the house with his family. The family previously lived elsewhere in Louisville.

Tom Horn was born in England in 1882 and came to the United States as a young child. In 1904, he married his wife, Edith, in Iowa. At the time that the family bought 701 Lincoln in 1910, they had a son, Harry, about age 5, and a son, Thomas Horn, Jr., about age 2. A daughter, Dorothy, was born in 1911. Records show that Tom Horn worked as a miner. The 1916 and 1918 directories, which are the only directories that were made for Louisville between 1910 and 1920, list the Horn family as living in this house.

Edith Horn died in December 1916, when her children were still quite young. Tom Horn remarried to Louisville resident Martha “Mattie” Harris. The Horn family then moved to Rock Springs, Wyoming sometime after September 1918.

The following photo shows the Horn family in front of 701 Lincoln, which Tom Horn then owned, in circa 1917-1918. The date range is indicated by the sign in the car referencing Liberty Bonds, which likely signifies the US already being involved in World War I. Believed to be shown, from left to right, are Harry; Dorothy; Tom; Tom, Jr.; and an unidentified woman.



In the photo, the Pine Street side of the house appears as a front of the house. The fence currently surrounding the back yard, and abutting Pine, was not in place at that time. The house at 700 Lincoln can be seen on the right of the photo, to the east across Lincoln.

Viggers Family Ownership (1920-1932)

Arthur Viggers (abt. 1871-1938) and Polly Viggers (1879-1951) purchased 701 Lincoln from Tom Horn in 1920.

Like Tom and Edith Horn, they had been born in England and lived in Iowa before coming to Colorado. At the time in 1920 that they moved in to 701 Lincoln, their children were Edna, about age 19; Frances, about age 16; Arthur Jr., age about 9; and Raymond, age about 4.

Arthur Viggers worked as a hoisting engineer in area coal mines. The family is listed as living in the house at the time of the 1930 census. Arthur Viggers and Raymond Viggers are believed to have served in World War II after the family moved away from 701 Lincoln.

The following photo, copied from a Viggers family tree on Ancestry.com, shows Polly and Arthur Viggers and their daughter, Frances, in about 1915:



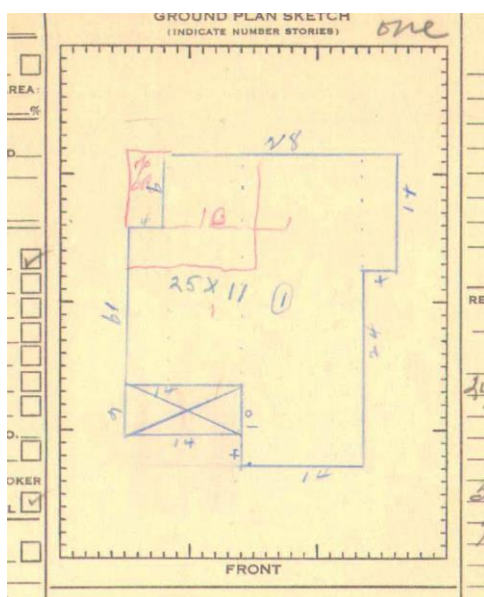
Ambrose & Audrey Vaughn Family Ownership (1932-2002)

In 1932, Ambrose Vaughn (1902-1981) and Audrey Vaughn (1907-1982) purchased 701 Lincoln. They had moved to Louisville with their son, Ambrose Jr. (1924-2005) from Kentucky in about 1930. Ambrose Vaughn, Sr. worked as a coal miner in both locations. Like other miners who moved to Louisville during the Depression, he may have been drawn to Louisville because of the availability of mining work here. Records from the 1930s to the 1980s show the Vaughns to be living in this house.

Ambrose Vaughn, Jr. served in World War II, and he appears in a short scene on the Louisville Historical Museum's World War II film showing local servicemen while they were home on leave. The film is entitled "Our Boys and Girls in the Armed Forces, 1943-44." The following screen capture from the film show Ambrose Vaughn in scene #213. He is walking by the Pine Street side of his house at 701 Lincoln, with 700 Lincoln shown in the background:



The Boulder County Assessor card for this property dates from 1948, when the property was owned by Ambrose and Audrey Vaughn. The following images show the front of the house on Lincoln as it appeared in 1948 along with the image of the ground layout at the time.



After Ambrose and Audrey Vaughn died in the early 1980s, son Ambrose Vaughn, Jr. appears to have then rented the house out. Directories from the late 1980s and early 1990s indicate that the resident at the time was Anne Drew.

Later Owners

In 2002, John T. Weise and Jessie Weise purchased 701 Lincoln from Ambrose Vaughn, Jr. Jessie Weise, who was born in 1933, passed away in 2009.

Mark Baxter purchased 701 Lincoln from John T. Weise in 2011 and sold it in 2012 to the current owner, Edward Wiley.

The preceding research is based on a review of relevant and available online County property records, census records, oral history interviews, Louisville directories, and Louisville Historical Museum maps, files, obituary records, and historical photographs from the collection of the Louisville Historical Museum.

**RESOLUTION NO. 49
SERIES 2015**

A RESOLUTION DESIGNATING THE VAUGHN HOUSE LOCATED AT 701 LINCOLN AVENUE A HISTORIC LANDMARK

WHEREAS, a historic landmark application for the Vaughn House , located at 701 Lincoln Avenue, on property legally described as Lots 9-11, Block 9, Pleasant Hill; has been submitted to the City Council; and

WHEREAS, the City Staff and the Louisville Historic Preservation Commission have reviewed the application and found it to be in compliance with Chapter 15.36 of the Louisville Municipal Code; and

WHEREAS, the Louisville Historic Preservation Commission held a properly noticed public hearing on the proposed landmark application and has forwarded to the City Council a recommendation of approval; and

WHEREAS, the City Council has duly considered the proposed landmark application and the Commission's recommendation and report, and has held a properly noticed public hearing on the application; and

WHEREAS, the building was constructed around 1900, and has retained its architectural form, and represents the vernacular style of building in early 20th century Louisville; and

WHEREAS, the building has social significance because of its association with the Vaughn family for over 70 years; and

WHEREAS, the City Council finds that these and other characteristics specific to the individual structures are of both architectural and social significance as described in Section 15.36.050 (A) of the Louisville Municipal Code and justify the approval of the historic landmark application.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO:

1. The proposed historic landmark application for the Vaughn House is hereby approved and is hereby designated a historic landmark to be preserved as such.
2. An incentive of \$1,000 shall be awarded to the property owner pursuant to Chapter 15.36 of the Louisville Municipal Code, with the attendant protections for landmarks pursuant to that chapter.

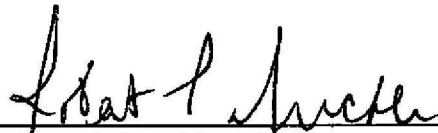
3. The City Clerk shall provide written notification of such designation to the property owners and cause a copy of this resolution to be recorded with the Boulder County Clerk and Recorder.

PASSED AND ADOPTED this 28th day of February, 2015.

ATTEST:


Nancy Varra, City Clerk




Robert P. Muckle, Mayor



845 Wade Road, Longmont, CO. 80503

scottcoburnarchitect@gmail.com

HISTORIC STRUCTURE ASSESSMENT...3/25/18

ED WILEY RESIDENCE

701 LINCOLN ST.

LOUISVILLE, CO.

For:

City of Louisville
Planning and Building Safety
749 Main Street
Louisville, CO 80027
laurent@louisvilleco.gov
[303-335-4594](tel:303-335-4594)

BUILDING DESCRIPTION and HISTORY

(see vicinity map)

Single family home, built circa 1900, “traditional style” wood frame, one story.

N.W. corner @ Pine. Three lots in Old Town, Louisville, CO.

Lots 9,10,11, Block 9, Pleasant Hill Addition

(see Louisville Historical Museum description and photographs, letter dated June 2015, including ownership and residency)

Parcel size = 75'x114.5' = 8587.5 sf

House size =952 sf main floor, 368 sf basement.

Outbuildings: three storage sheds, added 2015, approx.. 240 sf

(see Improvement Location Certificate 7/13/11 by Survey Solutions)



Front/East

HISTORY: (from Louisville Historic Library/Museum)

C1900 House built by John Jaska, Lots 10-11

1902-1910 Iva Lemon, added Lot 9

1910-1920 Tom Horn family (miner)

1920-1932 Arthur Vigges (mining engineer)

1932-2002 Ambrose Vaughn (miner)

2002-2012 Mark Baxter (ent)

2012-2018 Ed Wiley

CONDITION ASSESSMENT

1. SITE: Mostly unlandscaped with grass yard and one aspen in front and one large deciduous tree in rear. Site is only semi-pervious, slopes west to east, towards the house, and there is an irrigation ditch known to overflow to west, creating potential drainage issues/water damage for the house. Recommend minor grading improvement, creating small swales at sides of house to front. (see soils report by KC Hamilton Engineering 5/24/12)

2. FOUNDATION and CRAWLSPACE: Foundation is two types of cinder block with very little visible settling/cracking. Right front has minor movement. Previous owner reports prior moisture in crawl due to ditch overflow. There is no crawlspace ventilation, no floor drain or sump. Recommend vapor barrier, sand pit drain (for plumbing leaks) and perimeter ventilation per code to prevent mold and dry rot. (see Property Inspection Report 7/6/11 by Call2Inspect for verification & elaboration)

3. ROOF STRUCTURE: 2x6 rough sawn rafters @ 24" OC, with 1x6 board sheathing, four random diagonal or vertical braces to ceiling joists. No visible failure, cracking, sagging, but not to code. Recommend further evaluation by structural engineer, better bracing and perimeter metal collar ties. Also recommend eliminating flammable debris in attic (lightning/elec. fire hazard)

4. WALL STRUCTURE: original wall construction rough sawn 2x4 on 24" OC, blocking/bracing/attachment to floor&roof not visible. Not to code but in good condition. No recommendation.

5. FLOOR STRUCTURE: original framing r.s 2x6 of 24"OC, with two 4x6 beams at mid-spans, and four vertical columns friction fit to floor and beams. This is all not to code, but no signs of cracking, sagging, failure. Recommend structural engineer evaluation, probably tie joists to foundation and sister some floor joists.

6. ROOF: Asphalt shingles (2 layers) over tar paper, approx. 40 years old, end of life. Flat section has “tar paper” with exposed nails. Flashing/sealing around chimney and vent penetrations non-existent or cracking/failing. Water damage to ceiling of front and side porches indicates past roof leaking. Recommend entire new roof & flashing and cleaning debris from gutters.

7. EXTERIOR SIDING & TRIM: Original siding is 6” soft wood lap, painted. There is cracking, rot and missing/peeling paint on all sides. Fascia, soffits, casing, corner boards are in decent shape. Recommend replacing a few boards, sand, patch, prime paint entire house siding/trim for preservation.

8. WINDOWS: Original wood single pane double hungs with ‘newer’ aluminum storm windows. New casement at south side porch and one newer fixed on north wall, all good condition. Recommend painting all and replacing aluminum storms with wood for historic compatibility. Also replace metal front storm door.

9. PORCHES: Recommend front porch (Pine St.) gets new wood floor, fix/paint trim and siding on low walls. Side porch should get horizontal lap siding and double hung windows to better compliment the historic home.

10. MECHANICAL, ELECTRICAL PLUMBING: There is a new gas fired forced air furnace with existing ducts, new on-demand hot water heater, new (visible in basement) copper plumbing and new romex wiring to newish outlets and switches. Original main panel is 100 amp (bad brand), sub panel 20 amp. Recommend cleaning main drain lines to street and replacing main elec panel. (see Call2Inspect report for further details & verification)

11. Recommend Architect engage structural engineer, further detail and specify preservation construction requirements, acquire bids from sub-contractors, submit to owner and City prior to Historic Grant request.

Work Priority List:

Preservation: (to prevent further damage/degradation)

1. new roof
2. repair/patch/replace/paint exterior siding, trim, porch
3. structural tie-downs for roof and foundation to prevent movement
4. new electrical panel
5. better drainage

Restoration: (to help building look more original/authentic/historic)

1. replace windows and doors
2. remove or replace back porch walls & windows (modern addition)
3. remove modern storage sheds

PRELIMINARY COST ESTIMATE from recommendations above

1. Site work	\$ 1500
2. Foundation & crawl space	\$ 1800
3. Roof structure	\$ 900
4. Wall structure	
5. Floor structure	\$ 1200
6. Roof	\$ 5000
7. Exterior	\$ 4000
8. Windows	\$ 2400
9. Porch floor, door	\$ 1700
10. Plumbing 300 & Electrical 1500	\$ 1800
11. Specs, bids	\$ 1000
TOTAL	\$21300



North side



Back yard



p.7 South side, enclosed porch



replace some siding



patch, sand, prime, paint



front porch siding, trim, floor, door



Attic framing, sheathing, debris



Basement framing



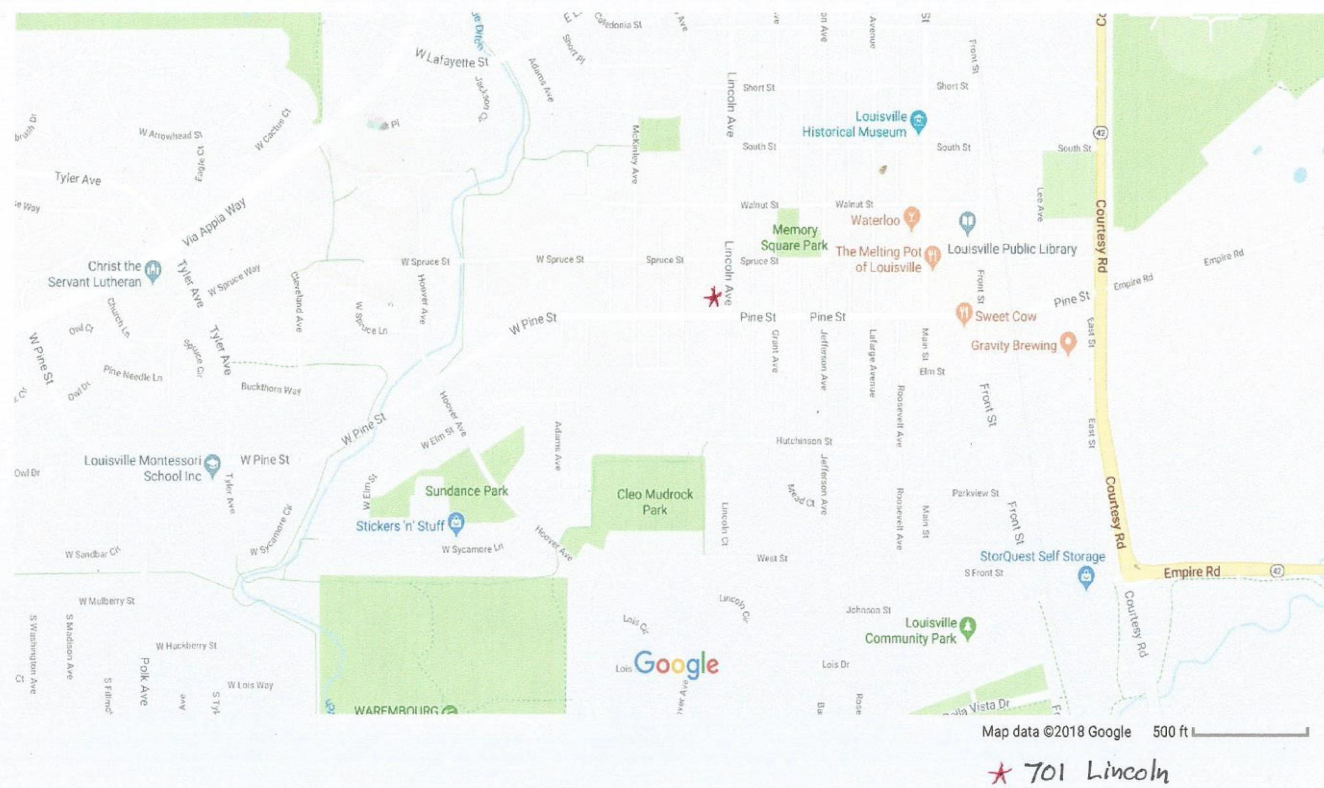
Basement framing



p.13.....more photos available on request, but you get the idea

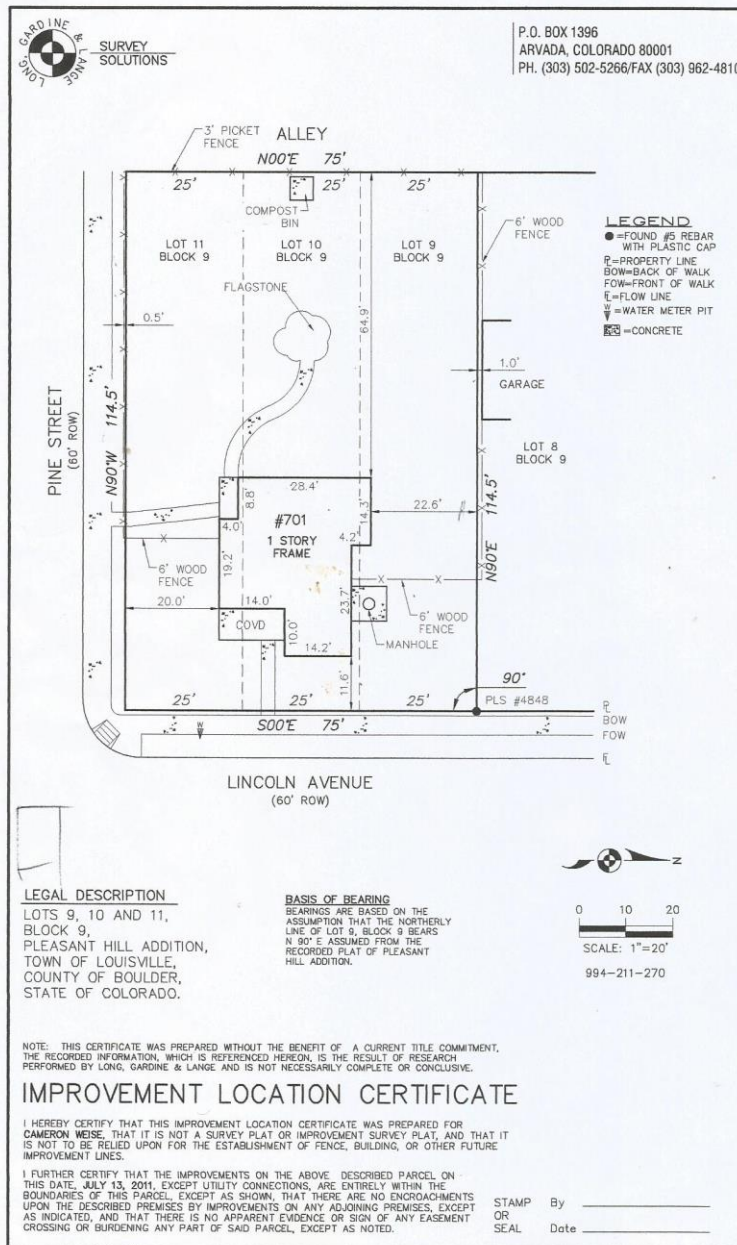
3/10/2018

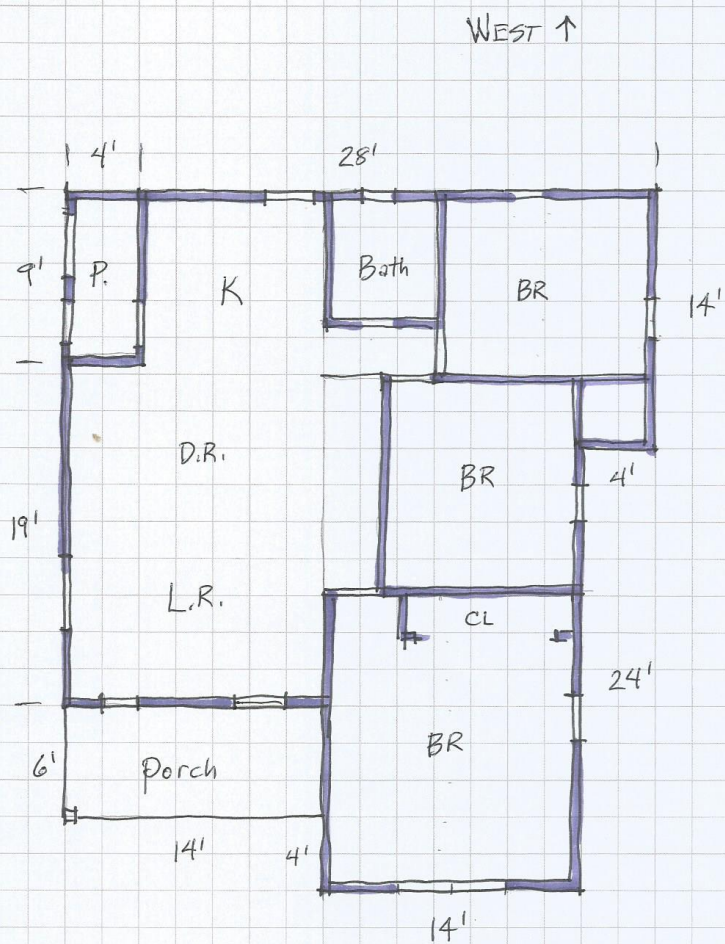
Google Maps



<https://www.google.com/maps/@39.9760206,-105.1381312,16z?hl=en>

p.15 Improvement Location Certificate – not to scale





WILEY FLOOR PLAN
 701 Lincoln Ave.
 Louisville, CO. $\frac{1}{8}" = 1'$

From: [Emily Cline-Gibson](#)
To: [Jess Daniels](#)
Subject: FW: HPC Event Sign-Up, June Meeting Cancellation, and More
Date: Monday, September 29, 2025 3:39:13 PM
Attachments: [image001.png](#)
[Grant Program_Vaughn House.pdf](#)
[\[ColoradoCLGs\] You're Invited to Attend On the Road in Pueblo.pdf](#)

Hi Jess,

This is the email that was sent to all commissioners that included the Vaughn House letter.

Thanks,

Emily Cline-Gibson *(she/her)*

Planner II

303.335.4887

eclinegibson@louisvilleco.gov



LouisvilleCO.gov

From: Emily Cline-Gibson
Sent: Thursday, May 29, 2025 2:41 PM
To: 'Lynda Haley' <haleysincolorado@yahoo.com>; Chrissie Burg <cdunningburg@gmail.com>; Keith Keller <keller1378@gmail.com>; Josh Anderson, Assoc. AIA <joshmanderson@gmail.com>; Marty Beauchamp <marty@redpencilarchitecture.com>; TALBOT WILT <talbotwilt@hotmail.com>; Sloane Whidden <sloane@whiddengroup.com>
Subject: HPC Event Sign-Up, June Meeting Cancellation, and More

Good afternoon Commissioners,

I have a few items to share with you:

1. The HPC will be hosting booths at the following events:

- **Taste of Louisville/Summer Fest** – Saturday, June 7th from 8:30AM-2:30PM
- **Farmers Market** – Saturday, June 14th and Saturday, August 23rd from 8:30AM-1:30PM

Each event is broken into two shifts with booth setup/breakdown time included. Please review the sign-up sheet and add your name to any available slot. **We need one more volunteer for the Taste of Louisville/Summer Fest from 8:30-11:30 and two volunteers for the Farmers Market on June 14th**. The August market date is also added, but not as urgent to be filled in at this time.

Please use the following link to sign-up. The spreadsheet is live, so new names should be visible to everyone as slots fill up. [HPC In-Person Events Sign-Up Sheet 2025](#)

2. The June 16th regular HPC meeting is cancelled due to lack of agenda items. The July 21st meeting will take place.

3. We have received one public comment letter from a homeowner of a landmarked property, please see attached.

4. Finally, I am attaching information about an upcoming History Colorado event. We have a training budget and encourage participation in seminars and events, so let me know if you are interested in attending or would like a list of more upcoming events.

Thank you!

Emily Cline-Gibson *(she/her)*

Planner II

303.335.4887

eclinegibson@louisvilleco.gov



LouisvilleCO.gov

From: [Dan Weller](#)
To: [Emily Cline-Gibson](#)
Subject: Grant Program / Vaughn House
Date: Wednesday, May 14, 2025 8:24:09 AM

Hi Emily - I'm hoping to get this message to the HPC regarding our preservation project at my home at 701 Lincoln. The [Louisville.gov](https://louisville.gov) website says to go through the "staff liaison", so here you go:

Dear Historic Preservation Commission,

I'm writing regarding the city's historic preservation grant program. My home at 701 Lincoln Ave, aka the Vaughn House, was designated a historic landmark in 2015. We purchased it in September 2018—after the 36-month grant window had closed—and are now investing significantly to preserve the house.

To our knowledge, the previous owner did not take advantage of the grant program, aside from possibly any initial landmarking bonus and the historic structure assessment. No major preservation work was done, and no grant money has been spent on the property.

In our current project we are ensuring we preserve the house's historic character while making the home safe and functional for our family, including our two young boys. The financial investment is significant, and I believe our efforts are exactly the type of work the grant program was intended to support.

I'm reaching out for two reasons: first, to ask whether there might be any flexibility in how the program is applied in cases like ours, and second, to encourage the HPC to consider updating the policy so that future homeowners who inherit the responsibility of a landmarked property can also access preservation funds—especially when no grant money has been used previously.

Thank you for your time and consideration. I'd be happy to discuss further or provide more details about our preservation work.

Thanks,

Dan Weller

720 393 9023

701 Lincoln Ave - "Vaughn House"

==CAUTION: EXTERNAL EMAIL==

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**RESOLUTION NO. 11
SERIES 2025**

**A RESOLUTION MAKING FINDINGS AND RECOMMENDATIONS REGARDING A
PRESERVATION AND RESTORATION GRANT FOR THE MALCOLM HOUSE
LOCATED AT 701 LINCOLN AVENUE**

WHEREAS, there has been submitted to the Louisville Historic Preservation Commission (HPC) an application requesting a preservation and restoration grant for the historic residential structure located at 701 Lincoln Avenue on property legally described as Lots 9-10-11, Block 9, Pleasant Hill, City of Louisville, State of Colorado; and

WHEREAS, the City Staff and the HPC have reviewed the application and found it to be in compliance with Section 3.20.605.D and Section 15.36.120 of the Louisville Municipal Code; and

WHEREAS, the HPC has held a properly noticed public hearing on the preservation and restoration grant; and

WHEREAS, the preservation and restoration work being requested includes making repairs to the existing structure; and

WHEREAS, the Historic Preservation Commission finds these proposed improvements will assist in the preservation of the Vaughn House, which is landmarked.

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF LOUISVILLE, COLORADO:

1. The Historic Preservation Commission recommends the City Council approve the proposed preservation and restoration grant application for the Malcolm House, in the amount of **\$XX** for work as described in the attached Exhibit A.

PASSED AND ADOPTED this 20th day of October, 2025.

Lynda Haley, Chairperson

EXHIBIT A

ITEM: Historic Preservation Fund (HPF) Grant Program Update – Draft Resolution No. XX, Series 2025

STAFF: Jess Daniels, Senior Planner

PURPOSE

The purpose of this report is to:

1. Present draft Resolution No. XX, 2025 which updates the Historic Preservation Fund (HPF); and request that a motion be made by the Historic Preservation Commission (HPC) for City Council to consider the resolution for adoption.

BACKGROUND

The Historic Preservation Fund (HPF) was established in 2008. The purpose of the fund is to incentivize landmarking in the City and supplement eligible preservation, restoration, and rehabilitation costs with matching grant funds. The HPF is not intended to pay for all costs, but support the financial viability of historic preservation projects as an incentive to landmark a property. A 1/8% sales tax funds the HPF, which will sunset on December 31, 2028. Staff anticipate extending the HPF tax of 1/8% by ballot in 2026 to continue the program.

The last comprehensive update to the HPF was in 2019 ([Resolution No 17, Series 2019](#)). A key project in the 2024/2025 Historic Preservation Commission (HPC) Work Plan is providing a recommendation to Council to update the HPF grant program.

DISCUSSION

At the August 18, 2025, Historic Preservation Commission (HPC) meeting, staff recommended a proposed approach for updating the grant program. Staff analyzed past projects that received grant funds between 2019 and 2025 to determine average project costs and line item costs, adjusted for inflation. Staff also conducted an inflation analysis and used the national building cost index (5%) to calculate proposed grant increases. Proposed grant increases were calculated adding 5% to base grant limit amounts, plus an additional 10% incentive for each category (excluding HSAs). A new tiered approach was presented, as well as other recommended changes (Attachment No. 1). The HPC was supportive of the presented approach and provided additional direction for staff to incorporate into the draft resolution and general process improvements:

- Ensure that the new structural grant language is clear.
- Limit payment of the new structural grant to foundation of historic home only (not new foundation).
- Consider increased amounts for Tier 2, structural grant, and top end of inflation categories (calculated through to 2028).
- Add more clarification and “teeth” for Exceptional Circumstances language.

- For income qualified applicants, include all assets and income sources to determine eligibility (not just annual income).

Summary

Draft Resolution No. XX, 2025, incorporates the direction received by the HPC and is presented in Attachment No. 2. A summary of the key changes from the previous Resolution No. 17, Series 2019 are as follows:

1. Updated grant limits for residential and commercial properties to the amounts presented in Table 7 and Table 8 of the August 18, 2025, staff report (Attachment No. 1).
2. New structural grant category for residential properties that require extra stabilization and foundation work that exceeds Tier 1 base grant amounts, as justified by an approved Historic Structure Assessment (HSA).
3. Amended the *Extraordinary Circumstances* language to the following definition:

These grant limitations described above may be exceeded upon a showing of extraordinary circumstances that preserve, restore and maintain the integrity of historic architectural features and materials of the exterior of the buildings, including but not limited to historic windows, doors, siding, and other historic features, that without the fund, would be replaced by new materials. Vital structural work and code-related work of sensitive and limited systems update are eligible for extraordinary circumstances that exceed Tier 1 grant amounts if identified in an approved HSA.

4. Added a cap (i.e. maximum amount) to extraordinary circumstance requests:
 - a. \$22,300 for residential properties
 - b. \$80,000 for commercial properties
5. Added a new Exceptional Circumstances category to provide flexibility for residential and commercial properties in rare cases that may exceed the new proposed caps on extraordinary circumstances. These projects must meet all of the following criteria:
 - a. Demonstrate exceptional architectural style or social history contributing to the historic fabric of Louisville; and
 - b. Demonstrate exceptional uniqueness in the City; and
 - c. HPF funds are available, after taking into consideration other priorities and obligations (including encumbered funds).
6. Added an income qualifier for households that are at or 120% below Area Median Income (AMI) for property owners to:
 - a. access grants and loans for maintenance purposes; and

- b. request a cash match waiver of up to 50% for matching grant types

Note: staff will use processes and criteria for deed restricted programs established by the United States Department of Housing and Urban Development (“HUD”) to consider all income sources and assets in determining income qualification.

- 7. Continue the revolving loan program with no proposed changes.
- 8. Automatically set Contingency/Emergency Reserve Fund to 25% of the previous years’ sales tax.
- 9. Maintain the deadline for requesting grants (36 months after landmarking) and reimbursement (60 months).

STAFF RECOMMENDATION

Staff recommends that the HPC approve Resolution XX, Series 2025, recommending to City Council adoption of the proposed resolution updating the Historic Preservation Fund incentives. Staff would present the updated resolution to City Council as early as the December 16, 2025, City Council meeting.

ALTERNATIVES

- 1. Recommend approval of the updated funding resolution as drafted.
 - a. Provide staff direction on edits to the updated funding resolution if changes are desired.

ATTACHMENTS

- 1. August 18, 2025, Staff Report – Grant Program Code Update
- 2. Resolution No. 12, Series 2025

ITEM: Grant Program Update – Proposed Approach and Next Steps

STAFF: Jess Daniels, AICP, Senior Planner

PURPOSE

The purpose of this item is to:

1. Summarize previous research, analysis, HPC feedback, and community engagement conducted in Q1-Q2 2024;
2. Provide an overview of the Historic Preservation Fund (HPF) revenue and grant expenditures between 2019-2025;
3. Present the proposed updated grant limits informed by construction inflation data and current cost estimates; and
4. Present income, equity considerations, and process improvement updates to the grant program.

BACKGROUND

The Historic Preservation Fund (HPF) was established in 2008. The purpose of the fund is to incentivize landmarking in the City and supplement eligible preservation, restoration, and rehabilitation costs with matching grant funds. The HPF is not intended to pay for all costs but support the financial viability of historic preservation projects as an incentive to landmark a property. A 1/8% sales tax funds the HPF, which will sunset on December 31, 2028. Staff anticipate requesting to extend the HPF tax of 1/8% by ballot in 2026 to continue the program into 2029 and beyond.

The last comprehensive update to the HPF was in 2019. Resolution No 17, Series 2019 (Attachment No. 1) incorporated all previous resolutions for the program into one. This update also aimed to simplify the grant program from previous years by creating one bucket for restoration, rehabilitation, and preservation projects.

In 2024, the maximum historic structural assessment (HSA) grant amounts (non-matching) were increased from \$4,500 to \$7,500 for residential structures and from \$9,000 to \$10,000 for commercial structures. Resolution No 17, Series 2019 also includes maximum grant limits for residential structures, new residential additions, commercial structures, new commercial additions, and conservation easements; these have not been increased since 2019. “Extraordinary circumstances” are often requested above the established grant limit amounts, signaling that these may be misaligned with current market and economic conditions; including inflation, rising material, construction, labor, and professional design costs.

A key project in the 2024/2025 Historic Preservation Commission (HPC) Work Plan is providing a recommendation to Council to update the HPF grant program. After several years of implementation of the resolution, there are opportunities to clarify the criteria and establish new grant limits that are intended to better reflect current costs, be

impactful in achieving historic preservation goals, and assist with financial viability of projects over the next 3 years before the sales tax sunsets at the end of 2028. Should the sales tax be extended, these updates can also lay the foundation for the grant program to continue.

Past Work Completed

The analysis and staff recommendations incorporate the research, scoping and analysis already conducted by the HPC and staff in Q1-Q2 2024, which was paused due to a staff vacancy. This work includes:

HPC Retreat

In January 2024, staff and the HPC discussed ideas and goals for the new grant program at a retreat. Two goals for the update emerged from these discussions, which inform the overarching discussion and analysis in this report:

1. Increase grant amounts to reflect rising costs; and
2. Explore adding new grants for specific project types and applicant groups.

Discussion Direction

The May 20, 2024, staff report (Attachment No. 2) followed up on HPC feedback received at the retreat and included an estimation of remaining landmarks in the City, explored the creation of additional grant types, and provided a sample of some past residential and commercial projects costs. Points of discussion from the [May 20, 2024 HPC meeting](#) for further evaluation included:

- A potential financial cap per property on total individual commercial grant requests;
- More clarity for the extraordinary circumstances definition;
- Incorporating income and equity considerations into the update; and
- Request for additional analysis of inflation data.

Community Engagement

An HPC subcommittee prepared a *User Experience Survey* (Attachment No. 3) to gather input on the existing grant program in 2024. Key topics and themes gathered from seven (7) residents and architect interviews are summarized in Attachment No. 4.

ANALYSIS

Summary and Use of HPF Fund - 2019-2025

The current unincumbered HPF fund balance is approximately \$3.5M. Annual revenues and expenditures since 2019 are summarized in Table 1.

Table 1: Annual HPF Revenue (1/8% Sales Tax)							
Year	2019	2020	2021	2022	2023	2024	2025
Revenue	\$788,635	\$708,524	\$849,494	\$922,807	\$986,119	\$1,053,168	\$1,013,119*
Grant Expenditures	\$117,753	\$355,346	\$316,108	\$44,286	\$731,600	\$203,917	\$177,130**
Annual % Change	n/a	-11%	17%	8%	6%	6%	tbd

*Adjusted budget; actual tbd

**Current to August 2025

The balance of the HPF has been historically larger than requests received. 2022 experienced the lowest fund requests, followed by the highest utilization of the fund in 2023. 2024 requests were low in comparison to the sales tax generated for the fund that year, prompting discussions to increase community outreach while also updating the program.

Extraordinary circumstances are often requested as projects exceed the grant limits established by Resolution No 17, Series 2019. Extraordinary circumstances are broadly defined, discretionary and have no financial limitations other than what is available in the HPF, potentially making current and future requests for grant funds difficult for the HPC and Council to prioritize. This also provides flexibility to consider unanticipated conditions when awarding grant funds.

While the fund has been historically underutilized, staff anticipate reviewing multiple commercial grant applications for more than \$1 million in 2025/2026. Council also approved a contract on August 5, 2025, to purchase 1016 Main for \$1,400,000 using HPF funds with the intent of landmarking the property, reselling it, and reimbursing the HPF. This reflects how large-scale projects may have the potential to significantly deplete the fund.

Resolution No 17 has a provision (Section 3) that requires that the HPC recommend an annual contingency reserve to City Council for incentives and property acquisitions for exigent circumstances.

Current Cost Estimates

1. Landmarked Residential Project Costs

Between 2019-2025, the City received 9 requests for small residential preservation and restoration grants (under \$40,000 grant match). During the same time, the City received 10 requests for large (more than \$40,000) projects. Total project costs, adjusted for 5% inflation, and matching grants awarded during this time are summarized in Table 4.

Table 4: Summary of Large (\$40k+) Residential Project Costs – 2019-2025					
Year	Address	Total Project Cost	Inflation Adjusted	Approved Matching Grant	Inflation Adjusted Matching Grant
2024	917 Rex	\$342,892.00	\$360,036	\$162,446	\$170,568
2024	1209 Main	\$94,250	\$98,963	\$40,000	\$42,000
2023	1045 Front	\$359,550	\$377,527	\$132,000	\$145,530
2021	701 Grant	\$248,094	\$301,560	\$124,047	\$150,780
2020/ 21	833 Jefferson	\$208,000	\$265,466	Grant: \$55,00 Loan: \$100,000	\$70,195 \$127,628
2020	925 Jefferson	\$273,375	\$347,627	\$98,000	\$125,075
2020	1200 Jefferson	n/a	n/a	\$61, 600	\$78,618
2020	633 La Farge/1201 Lincoln	\$313,700	\$400,370	\$85,000	\$108,484
2020	908 Rex	\$96,000	\$122,523	\$76,775	\$97,986
2020	1016 Grant	\$86,000	\$109,760	\$55,000	\$70,195
Total Average			\$251,373	\$95,137	\$107,914

A cursory analysis of line-item costs from past residential projects (not adjusted for inflation) and 2025 market research (Attachment No. 5) are summarized in Table 5 and 6.

Table 5: Typical Costs for Residential Structural/Code Work	
Item	Cost Range
Foundation/Crawlspace	\$9,000 - \$60,000
Grading and Drainage	\$3,000 - \$15,000
Framing	\$8,000 - \$14,000
Roofing	\$5,000 - \$13,000
Floor Structure	\$4,000 - \$35,000
Mechanical systems	\$35,000 - 50,000
Electrical systems	\$25,000 - \$35,000
Plumbing systems	\$15,000 - \$40,000
Total Range of Cost Estimates	\$104,000 - \$262,000

Table 6: Typical Costs for Residential Restoration/Rehabilitation Work	
Items	Cost Range
Windows	\$4000- \$30,000
Doors	\$8000 – 10,000
Soffit & Fascia, Ornamentation, Trim	\$18,000 -\$22,5000
Exterior Masonry	\$3500 - \$10,000
Exterior Appendages	\$1500- \$12,000
Siding	\$1600 - \$7300
Hazardous Materials Abatement	\$12,000 - \$40,000
Total Range of Cost Estimates	\$48,600 - \$131,800

The data shows that the average/typical residential project costs between 2019-2025 (adjusted for 5% inflation) are between \$251,373 - \$271,00. This average includes 4 projects above \$350,000. The line-item cost estimates demonstrate that a project could range from \$104,000 - \$262,000 for structural work and between \$48,600 - \$131,800 for restoration/rehabilitation work; for a total residential project cost of \$152,600 – \$393,000.

2. Commercial Project Costs

Commercial costs are difficult to estimate due to variables in building size, condition, and economic intent. Table 7 summarizes recent costs and grant requests/awards for commercial projects and corresponding approved HPF funds.

Table 7: Summary of Commercial Project Costs – HPF Fund - 2011-2025					
Year	Address/Description	Total Project Cost	Inflation adjusted	Approved Matching Grant	Inflation Adjusted Matching Grant
2020	809 Main (Tebo Properties) <i>25 ft preservation & new 2 story addition</i>	\$2,070,000	\$2,656,552	\$492,083	\$628,036
2011	817 Main (Rex Theater/Waterloo) <i>Conservation easement (façade)</i>	\$162,500	\$312,738	\$62,573	\$123,890
Total Average		\$1,116,250	\$1,484,645	\$277,328	\$375,963

Other recent commercial project cost examples are summarized in Table 8. These projects did not landmark or request HPF grant funds, but are shown to demonstrate potential commercial project costs.

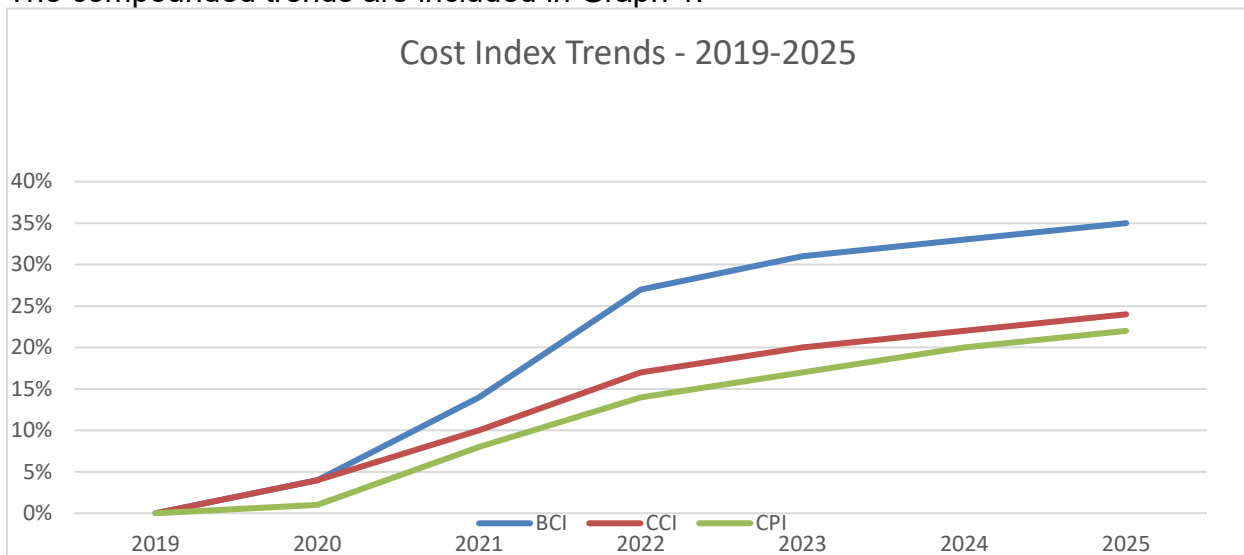
Table 8: Summary of Recent Commercial Project Costs (Not Landmarked)					
Year	Address/Description	Total Project Cost	Inflation adjusted	Approved Matching Grant	Inflation Adjusted Matching Grant
2025	947 Pine (Birdie Bar) 728 sq ft addition	\$1,417,000	\$1,417,000	N/A	N/A
2019	824 South Street (South Street Market) New 2 story build	\$3,401,245	\$4,557,993	N/A	N/A
Total Average		\$1,701,331	\$2,987,497	N/A	N/A

Inflation Calculations

Cost indexes from Engineering News Record and US Bureau of Labor Statistics were used to calculate construction and consumer inflation data between 2019-June 2025 to inform proposed grant amount updates. The selected indexes include the following:

- Construction Cost Index (CCI): Includes the 20-city average of common labor rates and material costs (steel, cement, and lumber). The CCI can be used where labor costs are a high proportion of total costs.
- Building Cost Index (BCI): Includes the 20-city average of skilled labor (i.e. bricklayers, carpenters and structural ironworkers rates), plus material costs (structural steel shapes cement and lumber). The BCI is more applicable for structures.
- Consumer Price Index (CPI): Represents changes in the prices of all goods and services purchased for consumption by urban households.

The compounded trends are included in Graph 1:



The average inflation per year between 2019- 2025 for each index is as follows:

- BCI: 5%
- CCI: 3%
- CPI: 3%

Methodology for Calculating Grant Increase Amounts

Based on the cost index analysis, an adjusted inflation rate of 5% was chosen to increase base amounts of all grant categories, exempting HSAs. This percentage reflects the inflation rate of the building cost index between 2019-2025, which is the most appropriate index for structures. Grant amounts were calculated through to 2026, and additional incentive increments of 5%, 10%, 15%, 20% were added for options (Attachment No. 6). The staff recommendation is for a 10% incentive, and these amounts are presented in Table 7 and 8.

RECOMMENDATION

The staff recommendations address HPC and community input while providing more predictability in the HPF. As previously noted, the HPF is not intended to pay for all costs but support the financial viability of historic preservation projects as an incentive to landmark a property.

Overall Grant Increases and Tiers

Using inflation and costs estimates, staff propose the new grant amounts in Table 7 for residential projects and Table 8 for commercial projects. These increases were calculated with an adjusted inflation of 5% applied to 2019 base amounts, and a 10% incentive was added.

Table 7: Proposed Residential Grant Amounts			
Type	Proposed Amount	Existing Amount	Increase
Residential Landmark Incentive	\$7,700	<i>\$5,000</i>	<i>\$2,700</i>
Tier 1			
Residential (Matching)	\$62,000	<i>\$40,000</i>	<i>\$22,000</i>
Additional Structural (Matching)	\$20,000	<i>\$0</i>	<i>\$20,000</i>
New Construction (Matching)	\$23,000	<i>\$15,000</i>	<i>\$8,000</i>
<i>(Tier 1 Subtotal)</i>	<i>\$105,000</i>	<i>\$55,000</i>	<i>\$50,000</i>
Tier 2			
Extraordinary Circumstances Cap (Match)	\$22,300	No limits	<i>Potentially less \$ due to cap</i>
<i>(Tier 2 Subtotal)</i>	<i>\$127,300</i>	<i>N/A</i>	<i>N/A</i>
Tier 3			
Exceptional Circumstances (Match)	Unlimited (pending criteria met)	<i>N/A</i>	<i>N/A</i>
Total Grant Funds Available Per Residential Property*	<i>\$136,000 (plus unlimited exceptional circumstances under Tier 3)</i>	<i>\$60,000 (plus unlimited extraordinary circumstances)</i>	<i>\$52,700 (plus Tier 2 and Tier 3)</i>

*Total includes landmark incentive

Table 8: Proposed Commercial Grant Amounts			
Type	Proposed Amount	Existing Amount	Increase
Commercial Landmark Incentive	\$77,000	<i>\$50,000</i>	<i>\$27, 000</i>
Tier 1			
Commercial (Match)	\$232,000	\$150,000	\$82,000
New Commercial Construction (Match)	\$111,000	\$75,000	\$36,000
<i>Tier 1 Subtotal:</i>	<i>\$343,000</i>	<i>\$225,000</i>	<i>\$118,000</i>
Tier 2			
Extraordinary Circumstances Cap (Match)	\$80,000	No limits	<i>Potentially less \$ due to cap</i>
<i>Tier 2 Subtotal:</i>	<i>\$500,000</i>	<i>N/A</i>	<i>N/A</i>
Tier 3			
Exceptional Circumstances (Match)	Unlimited (pending criteria met)	<i>N/A</i>	<i>N/A</i>
Total Grant Funds Available per Commercial Property*	\$500,000 (plus unlimited exceptional circumstances under Tier 3)	<i>\$275,000 (plus unlimited extraordinary circumstances)</i>	<i>\$145,000 (plus Tier 2 and Tier 3)</i>
OR			
Conservation Easement	\$77,000	<i>\$50,000</i>	<i>\$27, 000</i>

*Total includes landmark incentive

Tier 1: Base Funding

Under the Tiered approach, properties can access different levels of funding depending on project eligibility. All landmarked residential and commercial projects are eligible for consideration of Tier 1 base funding. Each residential project would be eligible for a maximum of \$105,000 in matching grant funds. Each commercial project would be eligible for a maximum of \$343,000 in matching grant funds. If a project exceeds requests under Tier 1, additional funding could be considered under Tier 2, pending eligibility.

Tier 2: Extraordinary Circumstances

Tier 2 is for extraordinary circumstances, which maintains some aspects of the current program structure. The definition for extraordinary circumstances is proposed to be changed from Section 12.d.c. in Resolution No 17, Series 2019 to the following definition for both residential and commercial projects:

These grant limitations described above may be exceeded upon a showing of extraordinary circumstances that:

- a) Preserve, restore, and rehabilitate the integrity of historic architectural features and materials of the exterior of the building, including but not limited to historic windows, doors, siding, and other historic features, that without the fund, would be replaced by new materials; and/or,*
- b) Vital structural work and building code compliance-related work that exceed Tier 1 grant amounts if identified in an approved HSA.*

In contrast to the current program, extraordinary circumstances are proposed to be capped at \$22,300 for residential properties and \$80,000 for commercial properties. The purpose of this is to maintain some flexibility for projects that go above Tier 1 baseline requests, while providing some predictability for the fund. Properties eligible for Tier 2 funding could receive a match of up to \$127,300 for residential projects and \$500,000 for commercial projects.

A match of up to \$127,300 funds would represent a grant contribution equal to 32% of a total residential property project costing \$393,000. For a commercial project, a match of up to \$500,000 could represent a grant contribution of up to or 16% for a 3 million dollar commercial project, or up to 33% for a 1.5 million dollar commercial project.

Projects that exceed these requests for Tier 2 funding could be eligible for additional funding under a new category: Tier 3 Exceptional Circumstances.

Tier 3: Exceptional Circumstances

Exceptional Circumstances is a new category intended to provide flexibility in rare cases for commercial or residential projects that:

- *Demonstrate exceptional architectural style or social history contributing to the historic fabric of Louisville; and*
- *Demonstrate exceptional uniqueness in the City of Louisville; and*
- *Availability of funds that will not be detrimental to the HPF.*

There is no cap on exceptional circumstances.

Revolving Loan Program

Staff consider the loan program to be generally working well and do not propose any changes. Engagement results indicated that some users were not aware of the loan component of the program, which staff plan to address in future community outreach.

Income Considerations

Staff recommend adding income related criteria supporting residential grant and loan requests for households earning 120% or below the Area Median Income (AMI). This aligns with the City's recently adopted Housing Plan recommendations to provide relief for households in this income range. Property owners seeking to access grant funds for general maintenance would need to meet this income qualification. Income qualified applicants may also seek a cash match waiver of up to 50% of the existing matching requirement.

Contingency/Emergency Reserve

Section 3 of Resolution 17 establishes an annual Contingency Reserve, to be evaluated by the Commission and City Council on an annual basis. Staff recommend amending this section to establish an annual contingency of 20% of the annual operating budget, which is consistent with best practices of the City's Finance Department and comparable to such funds administered by other City departments. This would then automatically set the reserve without having to take formal action on an annual basis.

Timeframe

Staff recommend no change to the current timeframe to receive grant applications after landmarking (36 months) and for property owners to request grant reimbursements for approved funds (60 months) to remain consistent with the intent of the overall program, which is to incentivize landmarking.

Equity Considerations

The proposed increased upper limits are intended to reflect more accurate costs, and caps on extraordinary circumstances are intended to also address equity considerations in the maximum total disbursement of funds per property. As discussed above, an income qualifier is also proposed to be incorporated to make the program more accessible to property owners, including long term Louisville property owners that may have household incomes below 120% AMI.

SUMMARY

The staff recommendation is to:

1. Update the grant limits for residential and commercial properties to the amounts in Table 7 and Table 8.
2. Amend Extraordinary Circumstances to:

These grant limitations described above may be exceeded upon a showing of extraordinary circumstances that:

- a. Preserve, restore, and rehabilitate the integrity of historic architectural features and materials of the exterior of the buildings, including but not limited to historic windows, doors, siding, and other historic features, that without the fund, would be replaced by new materials; and/or,*
 - b. Vital structural work and building code compliance-related work that exceed Tier 1 grant amounts if identified in an approved HSA.*
3. Add Exceptional Circumstances for residential and commercial properties and the criteria:
 - a. Demonstrate exceptional architectural style or social history contributing to the historic fabric of Louisville; and*
 - b. Demonstrate exceptional uniqueness in the City of Louisville; and*
 - c. Availability of funds that will not be detrimental to the HPF.*
4. Add an income qualifier prioritizing residential grants for households earning 120% or below AMI to:
 - a. Access grants and loans for maintenance purposes; and
 - b. Request a cash match waiver of up to 50% for matching grant types
5. Amend the process for establishing an annual contingency fund to be 20% of the adjusted annual budget.

ALTERNATIVES

1. Update the grant limits to an alternative amount presented in Attachment No 6.
2. Other direction to be considered by staff as directed by the Historic Preservation Commission.

NEXT STEPS

1. Staff plans to draft a new resolution with the recommendations presented for HPC to review and provide a formal recommendation to Council at an HPC meeting later in 2025.
2. Staff and the HPC plan to conduct community outreach to inform residents, realtors and property owners about the grant program and upcoming 1/8% sales tax ballot in Q1-Q2 2026, following adoption of any changes.
3. Staff to report back on preliminary implementation of the grant program update to the HPC in mid to late 2026.

ATTACHMENTS

1. Resolution No 17, Series 2019
2. May 20, 2024, Staff Report – Grant Program Code Update – Research Update
3. User Experience Stakeholder Interviews
4. 2024 Engagement Results – Summary of Key Topics and Themes
5. Typical Cost Estimates in 2025 for Historic Louisville Residential Properties
6. Inflation and Incremental Incentive Calculations

**RESOLUTION NO. 12
SERIES 2015**

**A RESOLUTION MAKING FINDINGS AND RECOMMENDATIONS REGARDING
UPDATES TO THE HISTORIC PRESERVATION FUND**

WHEREAS, there has been submitted to the Louisville Historic Preservation Commission (HPC) a Resolution modifying and increasing incentives utilizing the Historic Preservation Fund.

WHEREAS, historic properties and buildings of character in the City of Louisville (the "City") are major contributors to the character and quality of life of our City; and

WHEREAS, the City Council, pursuant to the City Charter, established a Historic Preservation Commission to assist it in the preservation and landmarking of these properties; and

WHEREAS, when properties are locally landmarked they are preserved for future posterity and enjoyment and continue to contribute to the unique character of the City; and

WHEREAS, at the November 4, 2008 election, the voters approved Ballot Issue 2A to levy a one-eighth of one percent (1/8%) sales tax for purposes of historic preservation purposes within Historic Old Town Louisville through December 31, 2018; and

WHEREAS, at the November 2, 2010 election, the voters approved Ballot Issue 2D to levy a permanent use tax of 3.50%, which superseded the City's then-current use tax, of which one-eighth of one percent (1/8%) of the use tax was dedicated to historic preservation purposes consistent with Ballot Issue 2A; and

WHEREAS, at the November 7, 2017 election, the voters approved Ballot Issue 2F, which extended the expiration date of the temporary sales tax of one-eighth of one percent for historic preservation from December 31, 2018 to December 31, 2028; and

WHEREAS, by Ordinance No. 1544, Series 2008, and Ordinance No. 1743, Series 2017, the City Council imposed the tax approved by the voters, established the Historic Preservation Fund ("HPF"), and codified the financial incentives set forth within Ballot Issues 2A (2008), 2D (2010), and 2F (2017); and

WHEREAS, Resolution No. 20, Series 2009, Resolution No. 20, Series 2010, Resolution No. 2, Series 2012, and Resolution No. 2, Series 2014, the City Council adopted provisions related to the administration and uses of the HPF and established grant programs and incentives to assist property owners in the rehabilitation and restoration of historic properties and new buildings of character; and

WHEREAS, by Resolution No. 4, Series 2014, and Resolution No. 21, Series 2016, the City Council established a revolving loan program within the HPF

to encourage landmark designations and rehabilitation of historic properties in the City of Louisville; and

WHEREAS, by Resolution No. 17, Series 2019, the City Council combined all previously-adopted incentives into a single resolution and increased certain incentives; and

WHEREAS, by Resolution No. 24, Series 2025, the amounts available for Historic Structure Assessment (HSA) grants were increased from \$4,000 to \$7,500 for residential properties and from \$9,000 to \$10,000 for commercial properties; and

WHEREAS, a core value of the City's Comprehensive Plan is promotion and preservation of the City's history and cultural heritage, particularly the City's mining and agricultural past; and

WHEREAS, increasing incentives for historic preservations will promote and strengthen another core value of the City's Comprehensive Plan, which is to promote of unique commercial areas and distinctive neighborhoods, recognizing the diversity of commercial areas and neighborhoods by establishing customized policy and tools to ensure that each maintains its individual character, economic vitality, and livable structures; and

WHEREAS, the Historic Preservation Commission desires to increase the maximum amounts of certain Historic Preservation.

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF LOUISVILLE, COLORADO:

1. The Historic Preservation Commission recommends the City Council approve Resolution XX, Series 2025 in the attached Exhibit A.

PASSED AND ADOPTED this _____ day of _____.

Lynda Haley, Chairperson

**RESOLUTION NO. XX
SERIES 2025**

**A RESOLUTION MODIFYING AND INCREASING INCENTIVES UTILIZING THE
HISTORIC PRESERVATION FUND**

WHEREAS, historic properties and buildings of character in the City of Louisville (the "City") are major contributors to the character and quality of life of our City; and

WHEREAS, the City Council, pursuant to the City Charter, established a Historic Preservation Commission to assist it in the preservation and landmarking of these properties; and

WHEREAS, when properties are locally landmarked they are preserved for future posterity and enjoyment and continue to contribute to the unique character of the City; and

WHEREAS, at the November 4, 2008 election, the voters approved Ballot Issue 2A to levy a one-eighth of one percent (1/8%) sales tax for purposes of historic preservation purposes within Historic Old Town Louisville through December 31, 2018; and

WHEREAS, at the November 2, 2010 election, the voters approved Ballot Issue 2D to levy a permanent use tax of 3.50%, which superseded the City's then-current use tax, of which one-eighth of one percent (1/8%) of the use tax was dedicated to historic preservation purposes consistent with Ballot Issue 2A; and

WHEREAS, at the November 7, 2017 election, the voters approved Ballot Issue 2F, which extended the expiration date of the temporary sales tax of one-eighth of one percent for historic preservation from December 31, 2018 to December 31, 2028; and

WHEREAS, by Ordinance No. 1544, Series 2008, and Ordinance No. 1743, Series 2017, the City Council imposed the tax approved by the voters, established the Historic Preservation Fund ("HPF"), and codified the financial incentives set forth within Ballot Issues 2A (2008), 2D (2010), and 2F (2017); and

WHEREAS, Resolution No. 20, Series 2009, Resolution No. 20, Series 2010, Resolution No. 2, Series 2012, and Resolution No. 2, Series 2014, the City Council adopted provisions related to the administration and uses of the HPF and established grant programs and incentives to assist property owners in the rehabilitation and restoration of historic properties and new buildings of character; and

WHEREAS, by Resolution No. 4, Series 2014, and Resolution No. 21, Series 2016, the City Council established a revolving loan program within the HPF to encourage landmark designations and rehabilitation of historic properties in the City of Louisville; and

WHEREAS, by Resolution No. 17, Series 2019, the City Council combined all previously adopted incentives into a single resolution and increased certain incentives; and

WHEREAS, by Resolution No. 25, Series 2025, the amounts available for Historic Structure Assessment (HSA) grants were increased from \$4,000 to \$7,500 for residential properties and from \$9,000 to \$10,000 for commercial properties; and

WHEREAS, a core value of the City's Comprehensive Plan is promotion and preservation of the City's history and cultural heritage, particularly the City's mining and agricultural past; and

WHEREAS, increasing incentives for historic preservations will promote and strengthen another core value of the City's Comprehensive Plan, which is to promote unique commercial areas and distinctive neighborhoods, recognizing the diversity of commercial areas and neighborhoods by establishing customized policy and tools to ensure that each maintains its individual character, economic vitality, and livable structures; and

WHEREAS, the City Council desires to increase the maximum amounts of certain Historic Preservation incentives to best serve the City's core values, as set forth herein.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO:

Section 1. Historic Preservation Fund.

There exists a Historic Preservation Fund ("HPF") in the City of Louisville, as established by Ordinance 1544, 2008 and amended by Ordinance 1743, 2017.

- a. The HPF shall be funded by:
 - i. Proceeds from the 1/8% sales tax established by 2008 Louisville Ballot Issue 2A and Ordinance 1544, Series 2008 and extended by Louisville Ballot Issue 2F and Ordinance 1743, Series 2017;
 - ii. Proceeds from the allocation of 1/8% use tax for historic preservation, as established by Louisville Ballot Issue 2D and Ordinance 1575, Series 2010;
 - iii. Private and public donations, bequests, grants and funding from other sources made to the City for historic preservation purposes;
 - iv. Interfund loans from the City of Louisville; if approved by ordinance; and
 - v. Earnings on such amounts as may be deposited in the HPF.

b. The City of Louisville Historic Preservation Commission (the “Commission”) shall make recommendations regarding expenditures from the HPF, but final action shall be taken by City Council by resolution, provided that after January 1, 2019, any expenditure of funds outside historic Old Town Louisville is approved by the affirmative vote of not less than five members of the entire City Council. The HPF should be managed to achieve maximum preservation of historic structures and the character of historic Louisville.

c. The Commission shall annually submit to the City Council an annual workplan and may supplement, modify, or update this document throughout the year as necessary.

d. As further detailed in the Sections below, the uses of the HPF shall be consistent with the following funds or purposes:

- i. Administrative Funds;
- ii. Contingency/Emergency Reserve Funds;
- iii. Sales and Use Tax Proceeds to Support the Operations and Maintenance of the Louisville Museum Campus;
- iv. Acquisitions Funds; and
- v. Incentives for Historic Preservation, to Preserve Character, and for New Construction, including grants and loans.

Section 2. Administrative Funds.

Administrative Funds shall be used for purposes consistent with the establishment of the HPF, and shall include, but not be limited to:

a. Historical building surveys, other site surveys or reconnaissance-level or intensive-level historic and architectural surveys;

b. Staff to support the Commission and City activities in administering programs funded by the tax, including, but not limited to, interns, preservation planners, staff to conduct research for demolition review functions by the Commission and to assist vendors in conducting historic preservation surveys, and other support staff;

c. Plaques or other designations to honor structures that are landmarked or add to the character of historic Louisville;

d. Public outreach and education efforts; and

e. Funding of public-private partnerships for preservation of buildings of historic significance.

Section 3. Contingency/Emergency Reserve Funds.

On an annual basis twenty-five percent (25%) of the previous year's 1/8% sales tax revenue shall be set as the Contingency/Emergency Reserve. These funds shall be accessed only for incentives or acquisitions that become necessary due to exigent circumstances, upon the recommendation of the Commission and approval of City Council. "Exigent circumstances" for purposes of this section shall mean that the Commission has determined, with concurrence of City Council, that without urgent action, significant damage will be done to the historic fabric or character of Louisville.

Section 4. Operation and Maintenance for the Louisville Museum Campus.

Each year no more than twenty percent (20%) of the net annual City fiscal year proceeds of the one-eighth percent sales and use tax for historic preservation shall be transferred from the HPF to the City's General Fund to be used for the operation and maintenance of the Louisville Museum Campus.

Section 5. Acquisitions Funds.

Use of Acquisition funds of the HPF shall include, but not be limited to:

a. The purchase of historic properties or properties which contribute to the historic character of Louisville. These properties, if eligible, shall be landmarked pursuant to Chapter 15.36 of the Louisville Municipal Code and if not eligible, shall have a conservation easement placed upon them to preserve the outside appearance of the structure or other historical attributes of the structure or site. Prior to the purchase of any property, the City Council shall consider the financial risk, but the City Council may base its approval on considerations other than financial. The City may perform any restoration or rehabilitation work necessary on properties the City acquires, subject to availability of funds therefore, and may then sell the properties unless retained for a municipal purpose. A conservation easement for historic preservation purposes may be placed on the property prior to or in connection with any sale. Any loss and any costs resulting from the acquisition, rehabilitation and sale of the property shall be charged to the HPF, while any profits shall be deposited to the HPF; and

b. The purchase of conservation easements to protect the appearance of structures that contribute to the character of historic Louisville. Easements funded by the City may be held solely by the City or jointly with another governmental entity or a third-party non-profit preservation organization.

Section 6. Grant program to conduct Historic Structure Assessments (HSAs) of eligible structures.

Prior to any structure being declared a landmark pursuant to Chapter 15.36 of the Louisville Municipal Code or the establishment of a conservation easement, or approval of grants for preserving, restoring, rehabilitating, or protecting a landmark property, the property will undergo a historic structure assessment (HSA) to develop a preservation plan to establish priorities for the maintenance of the property.

a. At a regular meeting, the Commission shall review the building history, application, and other relevant information to determine whether there is probable cause to believe the building may be eligible for landmarking under the criteria in § 15.36.050 of the Louisville Municipal Code. If probable cause is not found by the Commission, an HSA grant will not be issued. If probable cause is found by the Commission, the owner of the property shall be eligible for a Historic Structure Assessment (HSA) grant in an amount up to \$7,500 for residential properties and \$10,000 for commercial properties. Such grants shall be used solely to offset a portion or all of the cost of conducting the HSA. A finding of probable cause is solely for purposes of action on the HSA grant request and does not guarantee any outcome at subsequent hearings by the Commission or City Council.

b. The maximum grant amounts may be increased up to \$10,000 for residential properties and \$15,000 for commercial properties upon a demonstration by the applicant that the additional grant amount is needed due to extraordinary circumstances relating to building size, condition, architectural details, or other unique conditions compared to similar Louisville properties.

c. All grants are approved subject to the City's HSA process. The HSA shall be conducted by qualified consultants that are approved by the City prior to commencing the assessment. The primary consultant must be an architect licensed in the State of Colorado, and unless waived by the Historic Preservation Commission for good cause, a structural engineer licensed in the State of Colorado must contribute to all pertinent parts of the assessment. Qualified consultants in other specialty areas, such as mechanical and electrical systems, should be utilized as needed for a thorough and complete assessment. The primary consultant must have significant experience in the field of historic preservation and must be familiar with and able to apply The Secretary of the Interior's Standards for the Treatment of Historic Properties.

d. The City shall establish minimum standards and scopes of work for assessments and make such available to the consultants prior to commencing the assessment. The City shall be provided with a copy of any completed assessment for which grant funds are awarded and verify that the assessment meets the established standards and follows the scope of work prior to providing reimbursement of the grant funds awarded.

e. An exception to the requirement for an HSA prior to landmarking or the establishment of a conservation easement may be granted by the Commission for good cause.

Section 7. Qualifying Work for Grant and Loan Programs.

Grants and loans may be approved for any of the following categories of work; however, grant funds may not be used for interior improvements other than for protection, stabilization, or code-required work.

a. **Preservation** is the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property as they now exist. Approved work focuses upon the repair of exterior historic materials and features rather than extensive replacement and new construction.

b. **Rehabilitation** is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values. Rehabilitation acknowledges the need to alter or add to a historic property to meet continuing or changing uses while retaining the property's historic character. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate.

c. **Restoration** is the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time. Approved work focuses on exterior work and includes the removal of features from other periods in its history and reconstruction of missing features from the restoration period.

d. **Maintenance** is the act or process of maintaining or preserving the form, features, and characters of a property as existing at the time of the work to maintain its historic character and condition. Approved work is limited to exterior work.

Section 8. Grants for preserving, restoring, rehabilitating, or protecting landmarked property.

a. For a period of 36 months from when a property is declared a landmark pursuant to Chapter 15.36 of the Louisville Municipal Code or from the establishment of a conservation easement, the owner of the property may be eligible for a grant from the HPF in the amount set forth in Table 1 for residential structures and Table 2 for commercial structures.

b. The landmarking bonus is an unmatched incentive grant. Owners of a landmarked property will be eligible for this grant following the signing of the landmark and grant agreements. Except for applicants whose household income is at or below 120% Area Median Income ("AMI"), as calculated by the United States Department of Housing and Urban Development ("HUD") ("Income Qualified Applicants") who have applied for grant funds to perform maintenance, the remaining grants shall be conditioned based on the applicant matching at least one hundred percent (100%) of the amount of

the grant with expenditures or an equivalent value of approved in-kind services for approved work based on the completed HSA and deemed eligible for a grant from the HPF. Income Qualified Applicants will not be required to provide matching funds or approved in-kind services for maintenance work. Eligible work will fall under the preservation, rehabilitation, or restoration, and maintenance for Income Qualified Applicants, categories as described above.

d. Applicants must complete the work covered by any grants and submit their reimbursement requests within 60 months of the landmark declaration or the establishment of a conservation easement. Upon a showing of good cause, the above timeline may be extended with approval of a subcommittee consisting of a designated staff person and two randomly selected members of the Commission. If the request for timeline extension is not approved unanimously, the request shall be forwarded to the full Commission for consideration at a public meeting.

Table 1: Residential Grant Amounts	
Type	Amount
Residential Landmark Incentive	\$7,700
Tier 1	
Residential (Matching)	\$62,000
Additional Structural Funds (Matching)	\$20,000
New Construction (Matching)	\$23,000
<i>(Tier 1 Subtotal)</i>	<i>\$105,000</i>
Tier 2	
Extraordinary Circumstances (Maximum Amount; Matching)	\$22,300
<i>(Tier 1 + Tier 2 Subtotal)</i>	<i>\$127,300</i>
Tier 3	
Exceptional Circumstances (Matching)	No limit if criteria met
Total Grant Funds Available Per Residential Property*	\$136,000⁺

* Total includes landmark incentive

+ Plus unlimited exceptional circumstances matching grant under Tier 3

+Total excludes HSA grant.

Table 2: Commercial Grant Amounts	
Type	Amount
Commercial Landmark Incentive	\$77,000
Tier 1	
Commercial (Matching)	\$232,000
New Commercial Construction (Matching)	\$111,000
<i>(Tier 1 Subtotal)</i>	<i>\$343,000</i>
Tier 2	
Extraordinary Circumstances (Maximum Amount; Matching)	\$80,000
<i>(Tier 1 + Tier 2 Subtotal)</i>	<i>\$423,000</i>
Tier 3	
Exceptional Circumstances (Matching)	No limit if criteria met
Total Grant Funds Available Per Commercial Property*	\$500,000⁺
OR	
Conservation Easement	\$77,000

* Total includes landmark incentive

⁺ Plus unlimited exceptional circumstances matching grant under Tier 3

+ Total excludes HSA grant.

e. For purposes of Table 1 and Table 2, “extraordinary circumstances” shall mean additional grant funds are appropriate to:

- i. Preserve, restore, and rehabilitate the integrity of historic architectural features and materials of the exterior of the buildings, including but not limited to historic windows, doors, siding, and other historic features that, without the additional grant funds, would be replaced by new materials; or
- ii. Pay for vital structural work and building code compliance-related work that exceed Tier 1 grant amounts, if identified in an approved HSA.

f. For purposes of Table 1 and Table 2, “exceptional circumstances” must meet all of the following criteria:

- i. Demonstrate exceptional architectural style or social history contributing to the historic fabric of Louisville; and
- ii. Demonstrate exceptional uniqueness in the City; and
- iii. Demonstrate that, without the additional grant funds, the project is not financially viable; and
- iv. HPF funds are available, after taking into consideration other priorities and obligations (including encumbered funds).

Section 9. Residential new construction grants.

Owners of landmarked property or property with an established conservation easement on which additions to existing residential structures are proposed are eligible for matching grants as set forth in Section 8, Table 1 for new residential construction that, beyond mandatory requirements, substantially limits mass, scale, and number of stories, preserves setbacks in a manner that protects the historic integrity of the property and its environment by differentiating new work from the old. Qualifying new construction must maintain the existing height of the historic structure over the first 1/3 of the overall structure and have a floor area ratio (FAR) 10% below what is allowed by zoning.

Section 10. Residential Structural Grant.

Residential properties that require extensive stabilization work that exceeds Tier 1 funding amounts as set forth in Section 8, Table 1 may apply for additional funds for structural work. The condition warranting additional funds must be detailed/justified in an approved Historic Structure Assessment (HSA). Eligibility is for the historic home only and not foundation or stabilization work for new construction.

Section 11. Commercial new construction grants.

Owners of landmarked property or property with an established conservation easement on which new commercial structures or additions to existing commercial structures are proposed are eligible for grants as set forth in Section 8, Table 2 for new commercial construction that, beyond mandatory requirements, substantially limits mass, scale, and number of stories, preserves setbacks in a manner that, a protects the historic integrity of the property and its environment by differentiating new work from the old. Qualifying new construction must limit building height to two stories and have a floor area ratio (FAR) 20% below what is allowed by zoning.

Section 12. Time limits and procedures.

a. To be considered for incentives funding, the owner must complete an application and submit it to the Community Development Department, together with

sufficient building plans, if appropriate. Applications may be submitted at any time. Applications shall initially be reviewed by City staff, followed by a recommendation to the Commission. The Commission shall make a recommendation to City Council for final action. Any recommendation by the Commission may be to grant some, all, or none of the requested incentives. If the Commission recommendation is to grant the requested incentives in whole or part, it shall also forward recommendations regarding the terms of an agreement which must be met for receipt of the incentives. All recommendations are subject to approval, rejection and/or modification by City Council, and City Council may return recommendations for further information or review. All incentives are subject to budgetary requirements and considerations, including review of amounts currently and foreseeably available in the HPF and appropriation in the discretion of City Council. Applications for incentive and grant funds must be received by the Community Development Department within 36 months of the date a property is declared a landmark pursuant to Chapter 15.36 of the Louisville Municipal Code or the establishment of a conservation easement.

b. Reimbursement requests for completed work approved for grant funding must be received within 60 months of a property being declared a landmark pursuant to Chapter 15.36 of the Louisville Municipal Code or the establishment of a conservation easement.

c. Upon a showing of good cause, the above timeline may be extended with approval of a subcommittee of the Historic Preservation Commission consisting of a designated staff person and two randomly selected members of the Commission. If the request for timeline extension is not approved unanimously, the request will be forwarded to the full Commission for consideration at a public meeting.

d. Any time extensions due to extraordinary circumstances that exceed the 36-month cap for grant applications or the 60-month cap for reimbursement requests may require an update to the existing HSA described in Section 7 if the necessary work has changed in that time period or if the applicants are proposing work not identified in the HSA. If deemed necessary, this update will be completed at the expense of the applicant.

e. Owners of properties landmarked prior to enactment of this resolution shall have access to the grant funds available through the resolutions in effect at the time of landmarking approval. Such owners may also apply for additional grants through the extraordinary circumstances process described above.

f. The Commission will review all complete grant applications and make recommendations to the City Council for approval or disapproval. The City Council may approve, deny, or return a proposal to the Commission for further information.

g. Grants may be given in installments upon the satisfactory completion of portions of the project, or given in total upon the satisfactory completion of the project. Conditions for the satisfactory completion of the project shall be given when the grant is awarded. Grants may be revoked if the conditions are not met. Grants given prior to the beginning of a project may be given only in suitable situations, as recommended by the

Commission and approved by City Council, including approval by not less than five members of City Council for grants outside Old Town Louisville.

h. An applicant may request that the value of stabilization, restoration or preservation work completed on the structure prior to landmarking be considered as a credit against the matching requirement of this Section. Credit for such previously completed work is at the discretion of the City Council. Credit may only be considered under the following circumstances:

- i. Only work completed within five years prior to the effective date of landmarking may be considered for potential credit against the matching requirement.
- ii. The work previously performed was for stabilization, restoration, or preservation of the historic structure. No landscaping or site work may be considered for potential credit against the matching requirement. No interior work, except for structural work, sensitive upgrading of mechanical, electrical, and plumbing systems, and other code-required work to make the property functional, may be considered for potential credit against the matching requirement.
- iii. Consideration for credit against the matching requirement may only be given to costs of previously completed work which is documented by paid receipts or invoices. The applicant shall provide the City with complete copies of all such receipts or invoices together with proof of payment, and shall also provide any available supporting documentation upon City request. The request for consideration of previously completed work shall also be accompanied by applicant's written certification that the work for which credit is requested was completed and the costs thereof were incurred and paid, and that the information in such request is true and accurate to the best of applicant's knowledge and belief. The value of in-kind services completed by the applicant shall not be considered.
- iv. The amount of credit given for any previously completed work shall be determined by the City Council with input from the Commission, considering such factors as the nature, extent and useful life of the work, the time it was completed, the appreciated or depreciated value of the work, and such other factors as determined relevant.

Section 13. Incentive grants to encourage conservation easements on properties which contribute to the character, historical or architectural merit in Downtown Louisville and which are not eligible to be landmarked.

a. For a period of 18 months from when a property is designated by the City Council as a structure of merit, the owner of the property shall be eligible for a grant from the HPF as set forth in Section 8, Table 2. These grants are available for:

- i. Preserving, rehabilitating, restoring or protecting the property.
- ii. Offsetting costs of preserving the structural merit of a building that is being expanded pursuant to Sections 17.16.280 and 17.28.050 of the Louisville Municipal Code.
- iii.

b. Grant funding may only be expended for the activities listed in this section for those portions of a property designated to be a structure of merit.

Section 14. Loans from the Revolving Loan Program.

a. The historic preservation revolving loan program shall be used to provide low-interest loans for the purposes of preservation, restoration, rehabilitation and protection of properties that are landmarked pursuant to Chapter 15.36 of the Louisville Municipal Code or subject to a conservation easement to preserve the character of historic Louisville. All loans shall be funded solely from those funds held within the HPF for such purposes, and all loans shall be expressly contingent upon the availability of funds. Additionally, low-interest loans may be provided to Income Qualified Applicants for the purpose of maintaining a landmarked home.

b. The City Manager is authorized to issue requests for proposals and enter into contracts for entities to administer the loans from this program.

c. The City Manager is authorized to adopt written rules for the administration of the loan program, the provisions of which shall be consistent with Ballot Issues 2A, 2D and 2F and City ordinances and resolutions implementing the Ballot Issues.

d. Complete loan request applications shall be submitted to the Community Development Department and shall be reviewed by the Commission at a public meeting. The Commission shall provide its recommendation on the application before final action is taken by City Council. Final action on loans awarded to property outside historic Old Town Louisville shall be approved by at least five Council Members.

e. Loan requests applications may be submitted and considered in conjunction with grants from the HPF, respecting the grant limitations established herein. The Commission may recommend a mixture of loans and grants from the HPF even if the applicant requested only one type of assistance, and also may recommend one type of assistance where a mixture is requested. City Council may also decide to approve any one or a mixture of loans and grants regardless of the number or types of assistance requested in the request application. A mixture of loans and grants awarded to property outside historic Old Town Louisville shall be approved by not less than five Council Members.

f. Loans shall be at least \$2,500. There is no specific loan limit, but the Commission and City Council shall consider the following in setting a loan amount:

g. HPF funds are available, after taking into consideration other priorities and obligations (including encumbered funds).

h. The necessity of the work to be performed for the preservation or rehabilitation of the structure, or maintenance of the structure for those income-qualified applicants, and how the proposed work fits into the approved HSA recommendations;

i. The availability of other funding sources.

j. Interest rates shall be equal to 2% below the Wall Street Journal Prime Rate as reported on the date of city acceptance of a complete application, not to go below 1%. Any fees for loan processing shall also be established at the time of the award. The loan repayment schedule shall also be established at the time of the award; provided, however, that all loans shall include a due-on-sale clause providing that any outstanding balance on the loan shall be paid in full upon sale or transfer of the property.

k. In connection with the processing of loan requests, the City may require such information as is reasonably necessary to determine the state of title to and encumbrances upon the subject property, the creditworthiness of the proposed borrower(s), and other matters relevant to loan award and repayment criteria. The City or loan program administrator may require applicants provide written consents to obtain such information.

l. Receipt of any loans, grants or other incentives shall require that the structure be landmarked pursuant to Chapter 15.36 of the Louisville Municipal Code, or if not eligible for landmarking, that the owner grant the City a conservation easement to preserve the outside appearance of the structure or other historic attributes of the structure or site.

m. Loan funds may not be used for interior improvements other than for protection, stabilization, or code-required work.

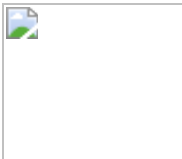
Section 15. Repeal and Reenactment; Effective Date. Resolution No. 17, Series 2019 and Resolution No. 24, Series 2025 are hereby repealed.

PASSED AND ADOPTED this ____ day of _____, 2025.

Christopher M. Leh, Mayor

ATTEST:

Genny Kline, City Clerk

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[vCard](#)**From:** Josh Johnston <josh@dajdesign.com>**Sent:** Monday, August 18, 2025 4:42 PM**To:** Jess Daniels <jdaniels@louisvilleco.gov>**Cc:** Andy Johnson <andy@dajdesign.com>**Subject:** Grant Program Updates

[EXTERNAL EMAIL] From outside of City of Louisville DO NOT CLICK links or attachments unless you validate the sender and know the content is safe.

Hi Jess,

In reviewing the agenda for tonight's HPC meeting, it came to our attention that the proposed approach to the grant update is on the schedule. Unfortunately neither Andy nor I will be able to attend the meeting due to prior commitments. I would like to outline our thoughts on the proposal below. I'd also like to say that I believe you have done a great job in putting this together and the outline is both very thorough and easy to follow. We at DAJ appreciate your hard work and were actually quite impressed that you were able to put all of this together so quickly.

The first point I'd like to address is in regards to the tiered funding approach. I think that this is a good idea to help property owners understand the available funding options while at the same time giving the city a better means of estimating costs. I think that the proposed amounts within each tier could be greater based on the projects we have completed and what we are seeing with current construction costs. I do understand that our projects are at the higher end of the spectrum when it comes to overall project costs and therefore my perspective is based on that reality. Regardless, one item that I believe should be increased is the Additional Structural amount in Tier 1 for residential. I think that \$20,000 can be used very quickly based on what we typically see for structural requirements and that a lesser amount may deter homeowners from addressing structural concerns.

I believe that having a new definition of extraordinary circumstances will go a long way in how Tier 2 is applied. I also understand the desire to have a cap on this amount but I believe the cap could be increased based on our experiences. My main concern with Tier 2 is the new definition of extraordinary circumstances. The way I read the definition is that replacing items such as windows, doors, and siding would not qualify for extraordinary circumstances. I believe that wholesale replacement of these items, as well as replacement of other items not listed (foundation) would put a project into this category. Based on pricing we have received on past projects, rehabilitation of these items would significantly increase the cost over replacement

and that is what I believe would put a project into Tier 3. It appears to me that the goal with Tier 2 is to incentivize keeping original elements as opposed to replacing them. I think that this is a good idea knowing that most homeowners will likely choose the replacement option as it is generally less expensive and provides a better end product (more energy efficient windows for example). Therefore I believe that the extraordinary circumstances amount either needs to be increased by quite a bit or the definition revised, leaving Tier 3 for rehabilitation work.

Finally, I am not entirely sure how Tier 3 will be implemented. Keeping some flexibility for rare cases does seem like a good idea. The definitions used for this category however appear to be too subjective in my opinion. I also don't think that it allows for exceptional cases in terms of the condition of a structure and limits it to historic contribution only. I am curious what types of projects would actually qualify for this funding tier. Is this something that makes more sense for commercial projects rather than residential? Perhaps different definitions for commercial and residential under this tier could help with clarity.

Thank you for taking the time to review my comments on this agenda item. Andy and I are eager to engage with staff as this topic continues. As you know we have completed dozens of HSA's over the past several years as well as worked on several landmarking projects and therefore we are hopefully able to provide a helpful perspective on the program.

Thanks,
Josh



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